



## COULSTOCK STREET PRECINCT (H0323)

### Introduction

The following design guidelines assist in the understanding of the unique built form characteristics of the **Coulstock Street Heritage Precinct**, Warrnambool.

Warrnambool has 26 heritage precincts which recognise the distinctive heritage character of Warrnambool. Each heritage precinct is now incorporated in the Warrnambool Planning Scheme. The Heritage Overlay within the Warrnambool Planning Scheme lists the types of works to buildings which trigger the need for a planning permit.

If you are considering any works to a property within a heritage precinct, we suggest you contact Council to confirm if a planning permit is required. Council also provides a complimentary Heritage Advisory Service for owners of properties within heritage precincts. Conservation and design advice is readily available by appointment (telephone (03) 5559 4800).

This guideline is intended to encourage and support the retention and enhancement of the historic character of the area. A series of guiding design principles are provided to encourage compatible new development and appropriate minor works or alterations and additions to existing properties.

Historical Background and Significance Statements are referenced from *Warrnambool City Council Heritage Guidelines 2012*.

### Historical Background

All the original houses in the precinct are detached single-storey dwellings except for the large bungalow at 135 Coulstock Street which has an attic storey. The houses date from the late nineteenth century to the Interwar period. The original subdivision occurred as part of the push northwards of the City from the 1860s. The allotments were originally about one acre and one rood, located between Coulstock Street and Skene Street.

The precinct has a high degree of integrity and is generally in good condition.

### Why is the Coulstock Street Precinct significant?

The Coulstock Street Precinct is of historical significance as an example of the second major phase of development which occurred in Warrnambool, characterised by the push for residential development north of the city. It is of further historical interest as it demonstrates the consolidation of large allotments in the later nineteenth and early twentieth centuries. The precinct is of architectural significance as it has a number of intact buildings from a range of periods, from the 1880s through to the 1940s including particularly interesting examples of bungalows such as Kookaburra.

### What is significant?

The Coulstock Street Precinct is located approximately three kilometres north east of the central business district of Warrnambool. The precinct includes houses facing Coulstock Street, the northern end of Kelp Street and the northern end of Japan Street.

The Coulstock Street Precinct is entirely residential and single-storey. This relatively small precinct contains a row of housing dating from the late nineteenth to mid twentieth century.

Earlier dwellings are predominantly Victorian and Edwardian in style, with an asymmetric plan with hipped and gabled roof forms. Dwellings retain masonry chimneys. Verandahs are generally straight or bullnose with decorative cast iron or timber fretwork. Walls are typically masonry, with only a few clad in weatherboard.

Later bungalow and interwar dwellings have slightly lower pitch roofs and verandahs incorporated under projecting roof forms, but again are generally masonry buildings with timber decoration to gable ends.

Setbacks are relatively consistent with reasonable front and side setbacks. Crossovers access parking and garaging to the rear of dwellings. There are no street trees to this side of Coulstock Street, but small street trees in Kelp Street and the eastern side of Japan Street.

Fencing is generally low height, masonry or timber palings or pickets.

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*Coulstock Street streetscape – consistent row of ‘early 20<sup>th</sup> century and interwar’ styled dwellings of similar setback, scale, spatial arrangement and fence types – comprising the attributes of the precinct*



*Late 19<sup>th</sup>/ early 20<sup>th</sup> century villa, with impressive roof gables, an attic room and verandahs/ porches to principal facades. Timber picket fence compliments dwelling in style*



*Early 20<sup>th</sup> century villa/bungalow style, with distinctive central porch, gable with timber frets and vertically proportioned casement windows*



*Retention of period chimneys add distinction to the precinct streetscape*



*Interwar bungalow – timber decoration, substantial gables, deep front porch supported by tapered columns*

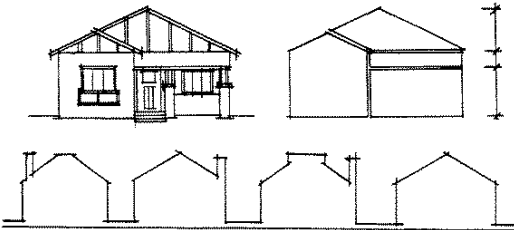
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H0323 - Coulstock Street Precinct Map





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Design Guidelines - basis	Suggested Approach
<b>Subdivision</b> <p>The generally rectilinear allotment pattern is of heritage value. Dwellings are sited facing the street and are at a generally consistent setback to the front boundary.</p> <p>Allotment widths and depths are varied along Coulstock Street, however only one allotment in the precinct has been subdivided from the original configuration (rear of 141 Coulstock Street).</p>	<p>Subdivision of allotments is not encouraged, as the spatial/ built form character of the locale will be compromised.</p> <p>Secondary development in rear yards is limited. The built form character of the streetscape should be maintained (dwellings, with open space between) if rear allotment development is considered.</p>
<b>Demolition</b> <p>Demolition of a contributory place is not typically supported within the precinct. Demolition of the whole of a building which is a Contributory Element generally has an adverse effect on the significance of a Heritage Place.</p> <p>Demolition of parts of a Contributory Place visible from the public domain has the potential to adversely affect the significance of the precinct.</p> <p>Demolition of parts of a place which do not contribute to the significance or the setting of a place may be considered, if removal does not adversely affect the fabric and significant views (setting) of the affected Contributory place within the precinct.</p>	<p>Demolition of Contributory Place dwellings is not supported, as this would result in a loss of heritage fabric.</p> <p>Removal of rear additions not in character with those typical to the era of significance of the place may be considered by Council. Items to be demolished and replaced will require consideration of the replacement structure when considering the merit of the demolition proposal.</p> <p>Removal of original timber sash windows or changes in window opening proportions to Contributory places is not supported, where windows can be seen from the streetscape.</p>
<b>New Buildings</b> <p>Replacement of non-contributory buildings with new development should be contemporary, but also compatible in design. Compatibility is achieved by considering the key design attributes which comprise the significance of the locale - e.g. setback, scale, roof pitch and line, wall materials, window proportions, fencing and use of verandahs.</p> <p>Dwellings in this Precinct are single storey, with pitched hipped or gable corrugated galvanised iron or tile clad roofs. Walls are typically masonry, with some clad in weatherboard. Most dwellings retain masonry chimneys and decorative elements including verandah brackets, fretwork and the like.</p>	<p>New development should respect the established spatial/ built form pattern of the precinct. New buildings should continue the scale and proportion of built form/ open space common to the locale.</p> <p>The scale, roof pitch and use of materials similar to those common to the area is encouraged. Flat or low pitch roofs, two storey structures and large, wide footprint development on allotments is not supported.</p> <p>Consistent front setbacks and low fencing is appropriate for new development.</p> <div></div> <p><i>Scale, spatial pattern and proportion is important</i></p>

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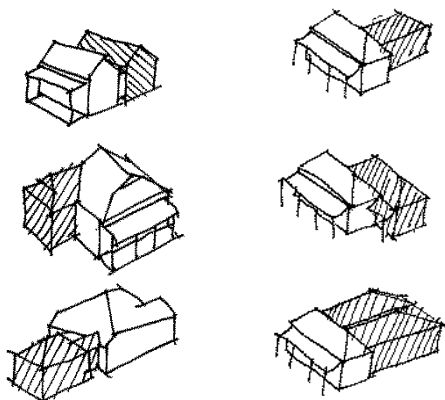
## Design Guidelines - basis

## Suggested Approach

### External Alterations and Additions

The dwellings within the precinct are moderate in size and single storey in scale – reflecting the type of house constructed north of the Highway during the 1870s in Warrnambool.

Future additions and alterations to these dwellings are possible to suit modern needs, but heritage values - embodied in the external appearance - also need to be considered.



*Additions should maintain the historic form and scale of the dwelling, when viewed from the streetscape*

Upper floor additions are generally not appropriate, as they will alter the scale of the dwelling – and hence compromise the suburban setting of places within the streetscape. Upper floor additions may only be appropriate if sited to the rear of a property and stepped so that new ridge lines do not dominate streetscape views of existing dwellings.

Any proposed additions should be to the rear of existing dwellings, to minimise adverse visual impact on the streetscape. Additions to the side of dwellings are not encouraged, as additions will alter the original scale (width) of dwellings when viewed from the street. Further, construction of additions on to the side boundary are not appropriate if seen from the street, as this alters the spatial/ built form character of the streetscape.

Original timber framed windows facing the street should be retained and repaired where possible. Replacement of later aluminium framed windows with replica original timber windows is encouraged, to improve the historic integrity of dwellings.

Original verandahs should also remain and be maintained, based on original evidence or on similar examples found elsewhere in the street. (based upon the period of construction of the dwelling). Early and original details including cast iron lacework and timber detailing should be reinstated where detail is known.

Alterations to interior finishes and rooms will not impact on the values of the precinct.

### Materials, Colours and Finishes

Earlier dwellings are predominantly Victorian and Edwardian in style, with an asymmetric plan with hipped and gabled roof forms. Dwellings retain masonry chimneys. Verandahs are generally straight or bullnose with decorative cast iron or timber fretwork. Walls are typically masonry, with only a few clad in weatherboard.

Later bungalow and interwar dwellings have slightly lower pitch roofs and verandahs incorporated under projecting roof forms, but again are generally masonry buildings with timber decoration to gable ends.

Early paint finishes to stucco and render would have been limewash in type.

Roofs were clad in galvanised corrugated iron or terracotta Marseille tiles, of gable/ hip form & 30 degree pitch.

Paint colours for timberwork typical to the period include

- Light ochre colours (19<sup>th</sup> century); crème, pale green and mid ochres (20<sup>th</sup> century interwar) to walls
- dark brown, green and Indian red (19<sup>th</sup> century) and ,lighter crèmes, green or red through to dark brown, red and green (20<sup>th</sup> century interwar) to timber details.

Stone and face brick wall finishes should be retained and not be rendered or painted.

Galvanised corrugated steel roofs should be retained and repaired. Tile roofs should be re-clad as historically appropriate with deep profile corrugated, galvanised or mid grey colorbond roof sheeting. Bungalow tiled roofs should be retained and repaired as required.

Early stucco finishes should be painted using matt or low gloss finish paint, to simulate earlier gloss levels and also hide past patching work in stucco.

Replacement gutters should reflect profiles common to the era of construction of the dwelling – 19<sup>th</sup> century = 'ogee' profile, 20<sup>th</sup> century = ½ round and quad profile preferable. Round metal downpipes are recommended – UPVC types have jointing systems which are visually inappropriate to the era of the dwelling.

Gloss finishes to fascias, barges and joinery in colours suggested recommended. Potential for accent colours to be used on front doors.

Roller shutters and obvious window film tints to windows are discouraged.

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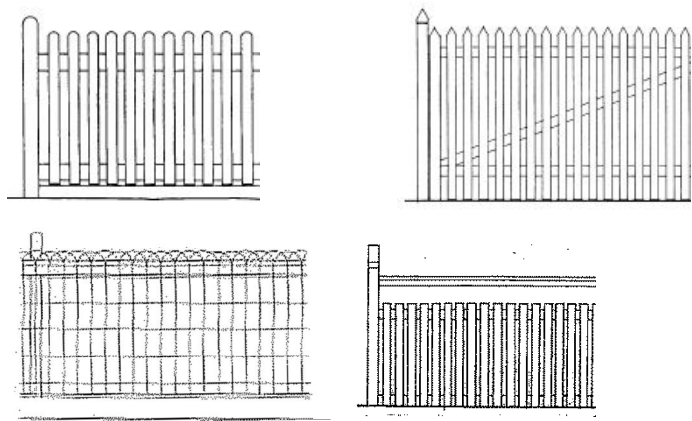
Design Guidelines - basis	Suggested Approach
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## Fencing

Front fences to this precinct are a combination of masonry walls and timber pickets, sometimes on a masonry plinth. Fences are generally low to moderate height. Several fences have low height hedges grown behind the line of the fence.

New fences should repeat design features of fencing typical to the era of dwellings in the streetscape – including timber picket, low masonry, vertical timber plank, or masonry with low pillars to match the dwelling. All new front boundary fencing should be limited to 1.6 m high maximum.

Rear and side fencing can be replaced to suit where out of view of the streetscape. Corrugated profile sheet or timber plank fences are preferred.



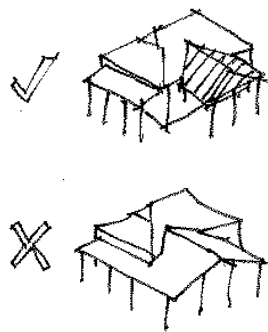
Timber picket, woven crimp wire and timber paling fences typical to the period of the precinct

## Carparking/ Garaging

Dwellings within this precinct have parking and garaging at the rear. Few garages occur in front yards of dwellings within the Precinct.

New garages or carports are not permitted forward of dwellings in the streetscape, so the traditional scale and siting of the dwelling remains extant. Materials should reflect those of each dwelling – matching face brick, painted render or timber/ corrugated clad structures are appropriate. Roofing should match that of each dwelling, continuing the established built form character of dwellings in the locale.

New garages/ carports should not be built on side boundaries of allotments, as this disrupts the established spatial/ built character of the streetscape. Any roller/ panel door to garages/ carports should be painted to match the surrounding wall colour, to reduce visual dominance within the streetscape.



Location of carport maintains scale of dwelling