



KRUGER STREET PRECINCT (H0321)

Introduction

The following design guidelines assist in the understanding of the unique built form characteristics of the **Kruger Street Heritage Precinct**, Warrnambool.

Warrnambool has 26 heritage precincts which recognise the distinctive heritage character of Warrnambool. Each heritage precinct is now incorporated in the Warrnambool Planning Scheme. The Heritage Overlay within the Warrnambool Planning Scheme lists the types of works to buildings which trigger the need for a planning permit.

If you are considering any works to a property within a heritage precinct, we suggest you contact Council to confirm if a planning permit is required. Council also provides a complimentary Heritage Advisory Service for owners of properties within heritage precincts. Conservation and design advice is readily available by appointment (telephone (03) 5559 4800).

This guideline is intended to encourage and support the retention and enhancement of the historic character of the area. A series of guiding design principles are provided to encourage compatible new development and appropriate minor works or alterations and additions to existing properties.

Historical Background and Significance Statements are referenced from *Warrnambool City Council Heritage Guidelines 2012*.

Historical Background

The Kruger Street Precinct is located between Hyland and Murray Streets and runs approximately south-east to north-west. Kruger Street is a very narrow bitumen pavement, and limited grassy verges on either side. The street has concrete footpaths, curb and channels and most crossovers are also concrete.

The precinct tells an important story of subdivision and small workers houses developed in small streets. The housing stock is modest and predominantly ranges from late nineteenth century to early twentieth century housing, with some interwar houses. Dwellings have limited setbacks due to the small size of the blocks. Few fences remain in their original state, although the majority are appropriate. Some early cottages have been remodelled in the Edwardian period, as well as later. Importantly, the street retains a single storey character. The dwellings in Kruger Street have a good degree of integrity, and are in good condition.

Why is the Kruger Street Precinct significant?

The Kruger Street Precinct is of historical significance as it demonstrates changes in the size, built fabric and aspirations of the City of Warrnambool and the need to provide accommodation for workers. Only the western end of Koroit Street was a part of the

earliest laid out plan of Warrnambool, and the extension of Koroit Street in the 1870s is of historical interest as it reflects the demand for large allotments on higher land by the middle classes, which caused the expansion to the north of the town also.

What is significant?

This small precinct contains a row of modest scale housing on small (narrow) allotments dating from the late nineteenth and early twentieth century.

Dwellings are consistently single storey, with the prevailing style being masonry symmetrical cottages. The remaining dwellings are asymmetrical villa type residences. Dwellings generally have pitched hipped or gable corrugated galvanised iron or tile clad roofs and dwellings retain masonry chimneys. Verandahs are generally small and single pitched. Walls are typically masonry, with only a few clad in weatherboard.

Setbacks are consistent and shallow, with small side setbacks due to the narrow allotments. Crossovers typically access parking and garaging to the rear of dwellings, and there are no street trees.

Fencing is consistently low, masonry plinths with timber palings or low masonry walls or pickets.

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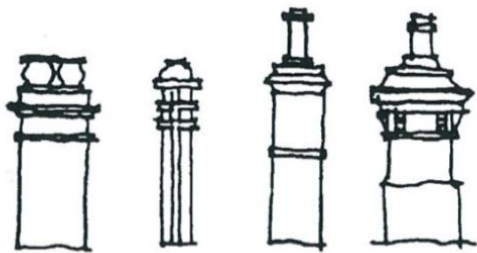
Kruger St streetscape – a narrow street lined with modest late 19th and early 20th century housing on narrow allotments



Larger dwelling in street – late 19th century villa – altered in part – later verandah pillars, roof tiling and conite finish to walls



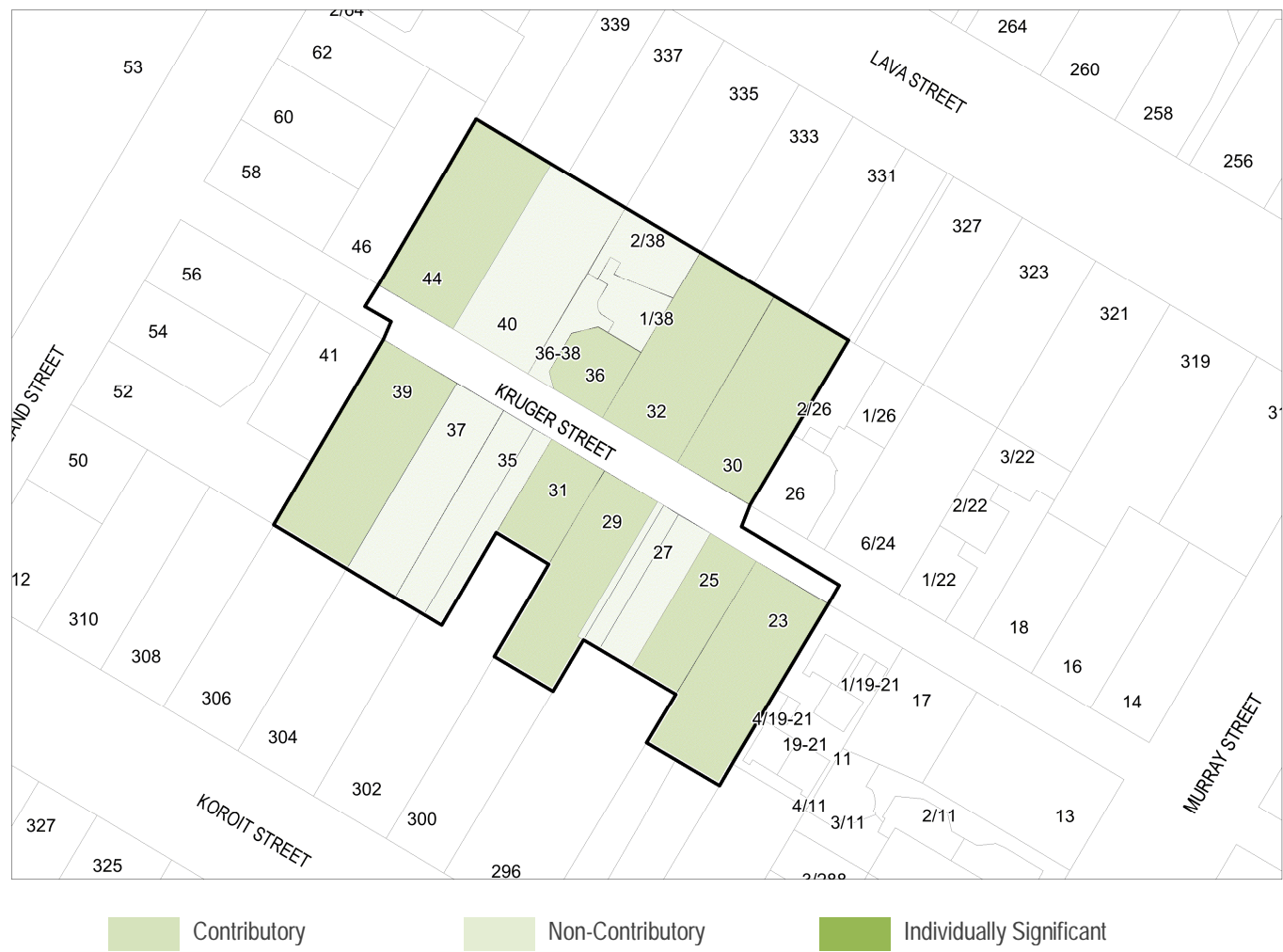
Modest symmetrical villa in street. Precinct features include – hipped corrugated galvanised iron roof, feature chimneys, vertical proportioned windows and hipped verandah



Retention of period chimneys add distinction to the streetscape

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H0321 - Kruger Street Precinct Map



List of places which contribute to the heritage values of the precinct

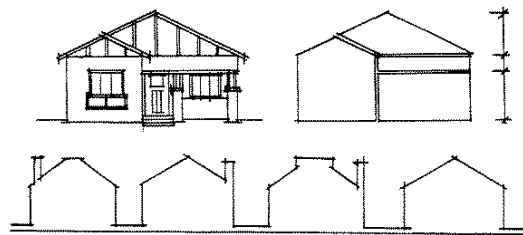
Kruger Street

- 23 Kruger Street - dwelling - 'Sunbower'
- 25 Kruger Street - dwelling
- 29 Kruger Street - dwelling
- 30 Kruger Street - dwelling
- 31 Kruger Street - dwelling

- 32 Kruger Street - dwelling
- 36 Kruger Street - dwelling
- 39 Kruger Street - dwelling
- 44 Kruger Street - dwelling

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Design Guidelines - basis	Suggested Approach
Subdivision <p>The generally rectilinear allotment pattern is of heritage value. Dwellings are sited facing the street and are at a consistent setback to the front boundary.</p> <p>Allotment widths are consistent, with wider allotments to the south side of the street.</p> <p>One allotment within the precinct and several surrounding allotments have been subdivided into three allotments.</p>	<p>Further subdivision of allotments is not encouraged, as the spatial/ built form character of the locale will be compromised.</p> <p>Secondary development in rear yards is limited due to allotment size and limited existing crossover locations. The built form character of the streetscape should be maintained (dwellings, with open space between) if rear allotment development is considered. The topography of the area also means development to the rear of properties on the north side of Kruger Street will be more prominent and needs careful consideration to avoid overwhelming the small scale of the contributory dwellings</p>
Demolition <p>Demolition of a contributory place is not typically supported within the precinct. Demolition of the whole of a building which is a Contributory Element generally has an adverse effect on the significance of a Heritage Place.</p> <p>Demolition of parts of a Contributory Place visible from the public domain has the potential to adversely affect the significance of the precinct.</p> <p>Demolition of parts of a place which do not contribute to the significance or the setting of a place may be considered, if removal does not adversely affect the fabric and significant views (setting) of the affected Contributory place</p>	<p>Demolition of Contributory Place dwellings is not supported, as this would result in a loss of heritage fabric.</p> <p>Removal of rear additions not in character with those typical to the era of significance of the place may be considered by Council. Items to be demolished and replaced will require consideration of the replacement structure when considering the merit of the demolition proposal.</p> <p>Removal of original timber sash windows or changes in window opening proportions to Contributory places is not supported, where windows can be seen from the streetscape.</p>
New Buildings <p>Replacement of non-contributory buildings with new development should be contemporary, but also compatible in design. Compatibility is achieved by considering the key design attributes which comprise the significance of the locale - e.g. setback, scale, roof pitch and line, wall materials, window proportions, fencing and use of verandahs.</p> <p>Dwellings in this Precinct are single storey, with pitched hipped or gable corrugated galvanised iron or tile clad roofs. Walls are typically masonry, with a minority clad in weatherboard. Most dwellings retain masonry chimneys and incorporate verandahs or porches to front facades..</p>	<p>New development should respect the established spatial/ built form pattern of Kruger Street. New buildings should continue the scale and proportion of built form/ open space common to the locale.</p> <p>The scale, roof pitch and use of materials similar to those common to the area is encouraged. Flat or low pitch roofs, two storey structures and large, wide footprint development on allotments is not supported.</p> <p>Modest front setbacks and low fencing is appropriate for new development.</p>



Scale, spatial pattern and proportion is important

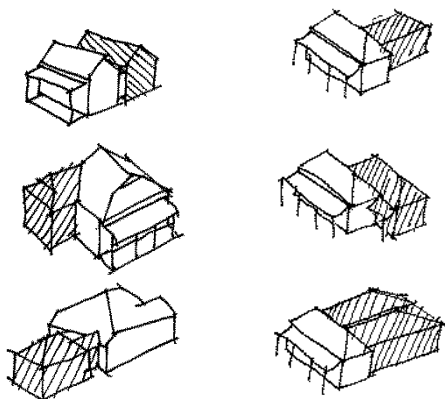
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Design Guidelines - basis

Suggested Approach

External Alterations and Additions

The dwellings in Kruger Street are modest in size and single storey in scale – reflecting the smaller type of house constructed for the working class during the 1880-1930s period in Warrnambool. Very limited scope for side additions exists due to the narrow allotments. Future additions and alterations to these dwellings are possible to suit modern needs, but heritage values - embodied in the external appearance - also need to be considered.



Additions should maintain the historic form and scale of the dwelling, when viewed from the streetscape

Upper floor additions are generally not appropriate, as they will alter the scale of the dwelling – and hence compromise the suburban setting of places within the streetscape. Upper floor additions may only be appropriate if sited to the rear of a property and stepped so that new ridge lines do not dominate streetscape views of existing dwellings. This is particularly critical on the higher side of Kruger Street, where the topography emphasises the scale of rear additions.

Any proposed additions should be to the rear of existing dwellings, to minimise adverse visual impact on the streetscape. Additions to the side of dwellings are not encouraged, as additions will alter the original scale (width) of dwellings when viewed from the street. Further, construction of additions on to the side boundary are not appropriate if seen from the street, as this alters the spatial/ built form character of the streetscape. Limited scope exists for side additions due to the narrow allotments in the precinct.

Original timber framed windows facing the street should be retained and repaired where possible. Replacement of later aluminium framed windows with replica original timber windows is encouraged, to improve the historic integrity of dwellings.

Original verandahs should also remain and be maintained, based on original evidence or on similar examples found elsewhere in the street. (based upon the period of construction of the dwelling). Early and original details including cast iron lacework and timber detailing should be reinstated where detail is known.

Alterations to interior finishes and rooms will not impact on the values of the precinct.

Materials, Colours and Finishes

Dwellings are typically symmetrical cottages in style, with only a few dwellings with projecting gable front sections facing the street. Walls are generally masonry with some timber clad examples.

Straight pitch verandahs (occasionally bullnose) are also common to the front, supported by timber posts dressed with simple timber or cast iron brackets.

Early paint finishes to stucco and render would have been limewash in type.

Roofs were clad in galvanised corrugated iron or terracotta Marseille tiles and are of gable/ hip form and 30 degree in pitch.

Paint colours for timberwork typical to the period include

- Light ochre colours (19th century); crème, pale green and mid ochres (20th century interwar) to walls
- dark brown, green and Indian red (19th century) and ,lighter crèmes, green or red through to dark brown, red and green (20th century interwar) to timber details.

Stone and face brick wall finishes should be retained and not be rendered or painted.

Galvanised corrugated steel roofs should be retained and repaired. Tile roofs should be re-clad as historically appropriate with deep profile corrugated, galvanised or mid grey colorbond roof sheeting.

Early stucco finishes should be painted using matt or low gloss finish paint, to simulate earlier gloss levels and also hide past patching work in stucco.

Replacement gutters should reflect profiles common to the era of construction of the dwelling – 19th century = 'ogee' profile, 20th century = ½ round and quad profile preferable. Round metal downpipes are recommended – UPVC types have jointing systems which are visually inappropriate to the era of the dwelling.

Gloss finishes to fascias, barges and joinery in colours suggested recommended. Potential for accent colours to be used on front doors.

Roller shutters and obvious window film tints to windows are discouraged.

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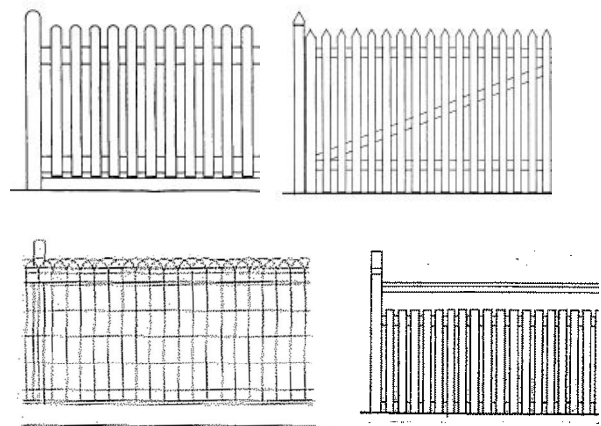
Fencing

Front fences to these typically smaller scale dwellings are timber pickets, sometimes on a masonry plinth.

Non original but appropriate fences in masonry also exist in the precinct, with the low and open nature of the fences giving a sense of consistency.

New fences should repeat design features of fencing typical to the era of dwellings in the streetscape – including timber picket, low masonry, vertical timber plank, or masonry with low pillars to match the dwelling. All new front boundary fencing should be limited to 1.2 m high maximum.

Rear and side fencing can be replaced to suit where out of view of the streetscape. Corrugated profile sheet or timber plank fences are preferred.



Timber picket, woven crimp wire and timber paling fences typical to the period of the precinct

Carparking/ Garaging

All the dwellings within this precinct have parking and garaging at the rear. No garages occur in front yards of dwellings within the Precinct.

New garages or carports are not permitted forward of dwellings in the streetscape, so the traditional scale and siting of the dwelling remains extant. Materials should reflect those of each dwelling – matching face brick, painted render or timber/ corrugated clad structures are appropriate. Roofing should match that of each dwelling, continuing the established built form character of dwellings in the locale.