

ELLERSLIE GROVE PRECINCT (H0301)

Introduction

The following design guidelines assist in the understanding of the unique built form characteristics of the **Ellerslie Grove Heritage Precinct**, Warrnambool.

Warrnambool has 26 heritage precincts which recognise the distinctive heritage character of Warrnambool. Each heritage precinct is now incorporated in the Warrnambool Planning Scheme. The Heritage Overlay within the Warrnambool Planning Scheme lists the types of works to buildings which trigger the need for a planning permit.

If you are considering any works to a property within a heritage precinct, we suggest you contact Council to confirm if a planning permit is required. Council also provides a complimentary Heritage Advisory Service for owners of properties within heritage precincts. Conservation and design advice is readily available by appointment (telephone (03) 5559 4800).

This guideline is intended to encourage and support the retention and enhancement of the historic character of the area. A series of guiding design principles are provided to encourage compatible new development and appropriate minor works or alterations and additions to existing properties.

Historical Background and Significance Statements are referenced from *Warrnambool City Council Heritage Guidelines 2012*.

Historical Background

Ellerslie Grove is a small street, running east-west between Henna and Fairy Streets, parallel with Koroit and Timor Streets.

Ellerslie Grove was created in the 1920s, when a subdivision on Section 13 in the City of Warrnambool was undertaken to create a small housing 'estate' area. The Ellerslie Grove subdivision is somewhat unusual in that it is on such a small scale, with only sixteen allotments. Most houses appear to have been constructed in the 1920s and 1930s. All conform generally to the bungalow style, with different expressions of this style.

The setbacks are all a standard distance from the street frontage; all gardens are typical modest front gardens, with some modern modifications. Numbers nine and eighteen retain their original fences, although most fences have been replaced. It is reminiscent of the standardisation of the State Bank Housing Scheme, which provided housing loans to its customers from the early 1920s on very favourable terms through its Credit Financier Scheme. Ellerslie Grove is generally in very good condition and retains a very high degree of integrity.

Why is the Ellerslie Grove Precinct significant?

The Ellerslie Grove Precinct is of historic significance as it represents the period of growth in Warrnambool immediately after the proclamation of Warrnambool as a City in 1918.

It is of architectural significance as an illustration of the type of house designs common to the period - typically sourced from standardised 'pattern book' sources. The dwellings in the street are consistent in period, form, scale, setbacks and use of materials, supported by established garden settings.

What is significant?

The small subdivision is very high in architectural consistency and integrity. Most dwellings from the initial period of the subdivision (1920s) remain intact, set in established gardens.

Dwellings of significance include 'Californian Bungalow' and cottage / Spanish influenced architectural styles of the period.

Dwellings are single storey, with pitched (typically 30 degree) hipped or gable corrugated galvanised iron clad roofs; featuring deep front or side verandahs supported on a variety of masonry pillar styles. Dwellings feature projecting bay window forms; timber batten / shingle detailing to gable fronts; architecturally detailed timber windows and doorways, decorative timber eaves and weatherboard or stucco clad walls. Most dwellings also feature brick chimneys to main rooms.

All dwellings are consistent in front and side setback and are narrow in width facing the street. Fencing is low to front boundaries and is original to number 9 and 18 Ellerslie Grove.

Some dwellings feature later period garages where allotment width permits.

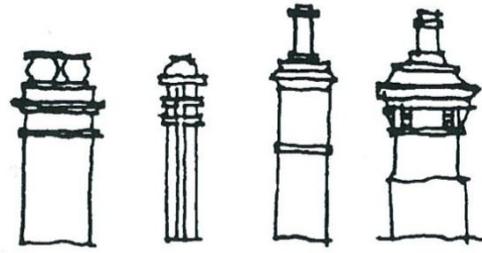


'Spanish' influence style bungalow – note arched verandah

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Typical multi-gable fronted bungalow



Retention of period chimneys add distinction to a precinct.



Typical bow window to front facade of bungalow



Typical bungalow front – note multi-gable roof and integration of verandah under main roof.



Verandah common to period – note masonry base, ½ posts and simple timber brackets

ELLERSLIE GROVE PRECINCT (HO301)

HO301 - Ellerslie Grove Precinct Map



List of places which contribute to the heritage values of the precinct:

Ellerslie Grove

- | | |
|----------------------------------------|--------------------------------------------|
| 3 Ellerslie Grove - dwelling | 12 Ellerslie Grove - dwelling (Montrose) |
| 4 Ellerslie Grove - dwelling (Howarth) | 13 Ellerslie Grove - stone cottage at rear |
| 5 Ellerslie Grove - dwelling | 14 Ellerslie Grove - dwelling |
| 6 Ellerslie Grove - dwelling | 15 Ellerslie Grove - dwelling (Crana) |
| 7 Ellerslie Grove - dwelling (Tara) | 16 Ellerslie Grove - dwelling |
| 8 Ellerslie Grove - dwelling | 17 Ellerslie Grove - dwelling Nanmar) |
| 9 Ellerslie Grove - dwelling | 18 Ellerslie Grove - dwelling |
| 10 Ellerslie Grove - dwelling | |

ELLERSLIE GROVE PRECINCT (H0301)

Design Guidelines - Basis

Suggested Approach

Subdivision

The regular, rectilinear layout of the estate is of heritage value. Allotments line the street and are equal in size, leading to a regular pattern of built form in the streetscape.

Dwellings are sited to face the Grove and are set back in a consistent line, further emphasising the collective development of the streetscape. Allotment widths are consistent, reinforcing the spatial character and consistent rhythm of built form along the Grove – small single houses regularly spaced, with minor garden space between, marking the type of suburb layout of the period.

Demolition

Demolition of a contributory place is not typically supported within the precinct. Demolition of the whole of a building which is a Contributory Element generally has an adverse effect on the significance of a precinct.

Demolition of parts of a Contributory Place visible from the public domain has the potential to adversely affect the significance of the precinct.

Demolition of parts of a place which do not contribute to the significance or the setting of a place may be considered, if removal does not adversely affect the fabric and significant views (setting) of the affected Contributory place within the precinct.

New Buildings

Replacement of non-contributory buildings with new development should be contemporary, but also compatible in design. Compatibility is achieved by considering the key design attributes which comprise the significance of the precinct - e.g. setback, scale, roof pitch and line, wall materials, window proportions, fencing and use of verandahs.

Dwellings in this precinct are single storey, with pitched (typically 30 degree) hipped or gable corrugated galvanised iron clad roofs; featuring deep front or side verandahs supported on a variety of masonry pillar styles. Dwellings feature projecting bay window forms; timber batten/shingle detailing to gable fronts; architecturally detailed timber windows and doorways, decorative timber eaves and weatherboard or stucco clad walls. Most dwellings also feature brick chimneys to main rooms.

Further subdivision of allotments within the precinct is not encouraged, as the spatial/built form character of the precinct will be compromised.

Secondary development in rear yards is limited due to allotment size. The built form character of the streetscape should be maintained (dwellings, with open space between) if rear allotment development is considered.

Future subdivision of non-contributory allotments should continue the established spatial character of development in the streetscape – in scale, width and pattern.

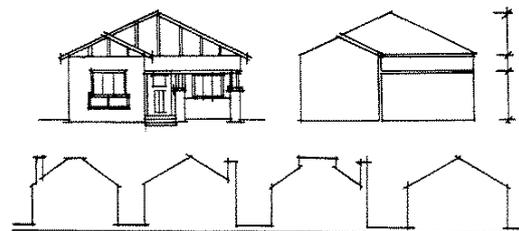
Demolition of Contributory Place dwellings is not supported, as this would result in a loss of heritage fabric.

Removal of later garages, rear additions or fences not in character with those typical to the era of significance of the place may be considered by Council.

Removal of original timber sash windows or changes in window opening proportions to Contributory places is not supported, where windows can be seen from the streetscape.

New development should respect the established spatial/ built form pattern of the streetscape of Ellerslie Grove. New buildings should continue the scale/ proportion of built form/ open space common to the precinct.

The scale, roof pitch and use of materials similar to those common to the area is encouraged. Flat or low pitch roofs, two storey structures and large, wide footprint development on allotments is not supported.



Scale, spatial pattern and proportion is important

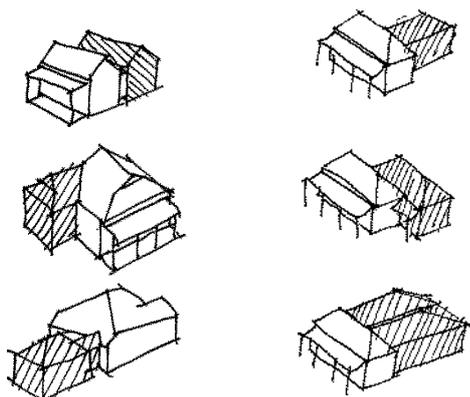
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Design Guidelines - Basis

Suggested Approach

External Alterations and Additions

Ellerslie Grove dwellings of significance are not large in footprint and are typically single storey in scale – reflecting the type of dwelling erected for middle income/ professionals during the 1920-30s period in Warrnambool. Houses typically contain 2 or three bedrooms and principal living spaces face the street. Future additions and alterations to these dwellings are possible to suit modern needs, but heritage values - embodied in the external appearance - also need to be considered.



Additions should maintain the historic form and scale of the dwelling, when viewed from the streetscape

Materials, Colours and Finishes

California Bungalow and cottage/ Spanish influenced architectural styles were similar in scale and arrangement. California bungalows and cottage styles generally have weatherboard cladding (square or curved edge), with details in pebbledash stucco.

Walls of many bungalows and cottages of the period in Warrnambool have since been finished in Conite. Most bungalow roof and verandah gables are half-timbered, often infilled with pebbledash stucco, pressed metal sheeting simulating same, timber shingles, or fibro-cement sheeting. Front verandahs dominate front facades, are deep in plan and feature substantial gable fronts. Cottage verandahs are less dominant, being a flat porch roof or an extension of the main roof in form. Masonry verandah pillars – face brick, stucco, or combinations of pillars, precast columns or timber posts – support verandahs to both dwelling styles.

Early paint finishes to stucco would have been limewash in type. Roofs were clad in galvanised corrugated iron or terracotta Marseille tiles and are of gable/ hip form and 30 degree in pitch. Red painted corrugated galvanised iron roofing was a common practice mid-20th century.

Spanish style cottages are 'bungalow' in style, but feature hipped roof forms and incorporate masonry arched verandahs, rather than deep timber verandah structures. Verandah columns may be twisted in style, or include classical references in detail. Walls are stucco in finish.

Paint colours for timberwork typical to the period include

- White, creme, buff, pale green to walls.
- White, dark brown, green or Indian red to timber details.

Upper floor additions are generally not appropriate, as they will alter the scale of the dwelling – and hence compromise the streetscape setting of places within the streetscape. Upper floor additions may only be appropriate if sited to the rear of a property and stepped so that new ridge lines do not dominate streetscape views of existing dwellings.

Any proposed additions should be to the rear of existing dwellings, to minimise adverse visual impact on the streetscape. Additions to the side of dwellings are not encouraged, as additions will alter the original scale (width) of dwellings when viewed from the street. Further, construction of additions on to the side boundary are not appropriate if seen from the street, as this alters the spatial/ built form character of the streetscape.

Original timber framed windows facing the streetscape should be retained and repaired where possible. Replacement of later aluminium framed windows with replica original timber windows is encouraged, to improve the historic integrity of dwellings.

Original verandahs should also remain and be maintained, based on original evidence or on similar examples found elsewhere in the street.

Alterations to interior finishes and rooms will not impact on the values of the precinct.

Face brick wall finishes should be retained and not be rendered or painted.

Conite clad buildings should ideally be refurbished as timber clad dwellings when Conite is removed in the future.

Tile roofs should also remain and be repaired to match, or re-clad as required with similar deep profile corrugated, galvanised or mid grey colorbond roof sheeting.

Original stained finish timber shingles to gable faces should be oiled, not painted in finish.

Early stucco finishes should be painted using matt or low gloss finish paint, to simulate earlier gloss levels and also hide past patching work in stucco.

Replacement gutters should reflect profiles common to the era of construction of the dwelling - ½ round and Quad profile, or 'd' types preferable. Round metal downpipes are recommended – UPVC types have jointing systems which are visually inappropriate to the era of the dwelling.

Timberwork - gloss finishes in colours recommended. Potential for accent colours to be used on front doors.

Roller shutters and obvious window film tints to windows are discouraged.

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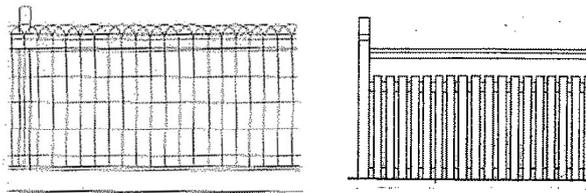
Design Guidelines - Basis

Suggested Approach

Fencing

Fencing associated with California Bungalow/ cottage style dwellings was typically either crimped wire with looped tops or low masonry fences rendered to match verandah balustrades. Low hedges or vertical timber plank fences were also common. Fencing was almost always no higher than 1 metre. Timber plank or corrugated iron sheet fencing was common to side or rear yards.

Timber picket fences were less commonly used for this style of dwelling.



Woven crimp wire and timber paling fences typical to the period of the precinct

Numbers 9 and 18 Ellerslie Grove still feature their original fences - these fences should be maintained as practicable.

New fences should repeat design features of fencing typical to the era of dwellings in the streetscape – crimped woven wire with looped tops, hedging, vertical timber plank, or masonry with pillars to match the dwelling. All new front boundary fencing should be limited to 1.2 metres high maximum.

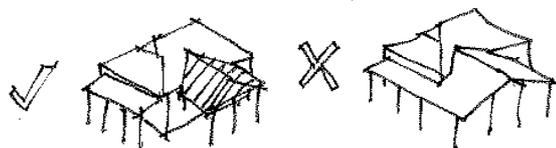
High picket or solid masonry fencing is not permitted, as this is contrary to the streetscape character of the locale. Timber picket fencing is not appropriate to the period of significance of the Precinct.

Rear fencing can be replaced to suit where out of view of the streetscape. Corrugated profile sheet or timber plank fences are preferred.

Car parking / Garaging

Most houses in the street were erected without driveways or garages. Rear laneways provide limited access to the rear of properties.

Garages are uncommon to the front yards of dwellings within the Precinct.



Location of carport maintains scale of dwelling

New garages or carports are not permitted forward of dwellings in the streetscape.

New garages should be sited to the rear of each property, so the traditional scale and siting of the dwelling remains extant. Materials should reflect those of each dwelling - matching face brick, painted render or timber/ corrugated clad structures are appropriate. Roofing should match that of each dwelling, continuing the established built form character of dwellings in the locale.

New garages/ carports should also be sighted out of view of the streetscape, to maintain the setting of the place from within the streetscape.

Any carport/ garage proposed in new development should be set back from the front facade of such development by at least the width of the garage. Garages/ carports should not be built on side boundaries of allotments, as this disrupts the established spatial/ built character of the streetscape. Any roller/ panel door to garages/ carports should be painted to match the surrounding wall colour, to reduce visual dominance within the streetscape.