



WARRNAMBOOL PLANNING SCHEME REWRITE PROJECT FINAL REPORT JANUARY 2015

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GLOSSARY

Incorporated Document: The *Planning and Environment Act 1987* allows certain documents to be incorporated in a planning scheme by reference, rather than physically including them in the planning scheme.

Local Planning Policy Framework (LPPF): The Local Planning Policy Framework sets the policy context for a municipality. It comprises a Municipal Strategic Statement and specific local planning policies.

Municipal Strategic Statement (MSS): The Municipal Strategic Statement establishes the strategic framework for the land use and development within the municipality, and implements policy at the local level. The MSS provides the strategic basis for the application of zones, overlays and other planning controls in the planning scheme.

Planning Scheme Amendment: There are three (3) different types of amendments to a planning scheme:

- V Amendment - affects only the Victoria Planning Provisions
- VC Amendment - affects both the Victoria Planning Provisions and Council Planning Schemes
- C Amendment - affects only a Council Planning Scheme.

Reference Document: Provides background information to assist in understanding the context within which a particular planning policy or provision has been framed. Reference Documents have only a limited role in decision-making as they are not part of the planning scheme.

State Planning Policy Framework (SPPF): The State Planning Policy Framework sets out State-wide policy aims, objectives and strategies, which are included in all Victorian Planning Schemes.

Victoria Planning Provisions (VPPs): Include the SPPF and other standard provisions that apply to all planning schemes in Victoria. The VPPs also include standard zones and overlays from which Councils must select to apply within their municipality.

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EXECUTIVE SUMMARY

The vision of the Warrnambool Planning Scheme Rewrite Project is to create a planning scheme that is streamlined, contemporary and reflects best practice industry standards. This report outlines issues and identified policy gaps that the Warrnambool Planning Scheme needs to address, either through its Local Planning Policy Framework (LPPF), or by the implementation of adopted strategies.

An important objective of the Planning Scheme Rewrite Project is to restructure the LPPF to provide a clear connection to the themes and policies in the State Planning Policy Framework (SPPF).

In September 2013, the Minister for Planning announced the appointment of an Advisory Committee to review the SPPF. The SPPF review provided guidance on the implementation of the 'Plan Melbourne' Metropolitan Planning Strategy, the eight Regional Growth Plans (including the Great South Coast Regional Growth Plan) and other zone / policy changes. Due to the uncertainty surrounding the final form of the SPPF, an interim report on the Planning Scheme Rewrite Project was released for public comment in February 2014.

The Advisory Committee released a draft Planning Policy Framework for public comment in May 2014. The draft Planning Policy Framework however, has not yet progressed to implementation. Due to the uncertainty regarding the implementation of the new Planning Policy Framework, it is considered appropriate to proceed with the final report on the Planning Scheme Rewrite Project based on the current SPPF structure. Should the draft Planning Policy Framework be implemented, it is considered the recommended restructure of the MSS and LPPF could easily be integrated with the new framework.

This report supports the recommendations of the interim report that the Municipal Strategic Statement (MSS) be reformatted in accordance within the current SPPF structure. All existing Local Planning Policies are to be deleted and where relevant, objectives and strategies will be incorporated within the new Municipal Strategic Statement (proposed Clause 21.01 - 21.11).

Four (4) policies are proposed to be included, a policy to guide the assessment an application for signage across the municipality (i.e. commercial signage, advertising signage etc.), a policy to guide the assessment of an application for a front fence in residential areas, a policy to guide the assessment of an application for gaming machines, and a policy to guide the assessment of an application for the excision of a within the Farming Zone (see Figure 1 on the following page for a diagram of the existing and proposed MSS and LPPF structure).

PROPOSED LOCAL PLANNING POLICY FRAMEWORK STRUCTURE

Current Local Planning Policy Framework structure

Municipal Strategic Statement

- Clause 21.01 Municipal Profile
- Clause 21.02 Key Influences
- Clause 21.03 Vision - Strategic Framework
- Clause 21.04 Objectives - Strategies - Implementation
- Clause 21.05 Housing
- Clause 21.06 Environment
- Clause 21.07 Economic Development
- Clause 21.08 Infrastructure
- Clause 21.09 Monitoring and Review
- Clause 21.10 Reference Documents

Local Planning Policies

- Clause 22.01 Housing
- Clause 22.02 Environment
- Clause 22.03 Economic Development
- Clause 22.04 Infrastructure

Proposed Local Planning Policy Framework structure

Municipal Strategic Statement

- Clause 21.01 Warrnambool City Issues and Strategic Vision
- Clause 21.02 Settlement
- Clause 21.03 Environmental and Landscape Values
- Clause 21.04 Environmental Risks
- Clause 21.05 Natural Resource Management
- Clause 21.06 Built Environment and Heritage
- Clause 21.07 Housing
- Clause 21.08 Economic Development
- Clause 21.09 Transport
- Clause 21.10 Infrastructure
- Clause 21.11 Local Areas

Local Planning Policies

- Clause 22.01 Signage Policy - **Proposed new policy**
- Clause 22.02 Front Fences/Streetscape Policy - **Proposed new policy**
- Clause 22.03 Gaming Policy - **Proposed new policy**
- Clause 22.04 Rural Dwelling Excision Policy - **Revised policy**

Figure 1: Proposed Local Planning Policy Framework Structure

INTRODUCTION

The Warrnambool Planning Scheme is a legal instrument that guides all Council decisions on planning and development. Information contained within the planning scheme includes where and how people can develop their land and what restrictions or controls might be on land.

The planning scheme includes a combination of both State and local planning policies and provisions. The planning scheme is the framework for which Council makes decisions on planning permit applications. See Figure 2 below for a diagram of the components of the planning scheme.

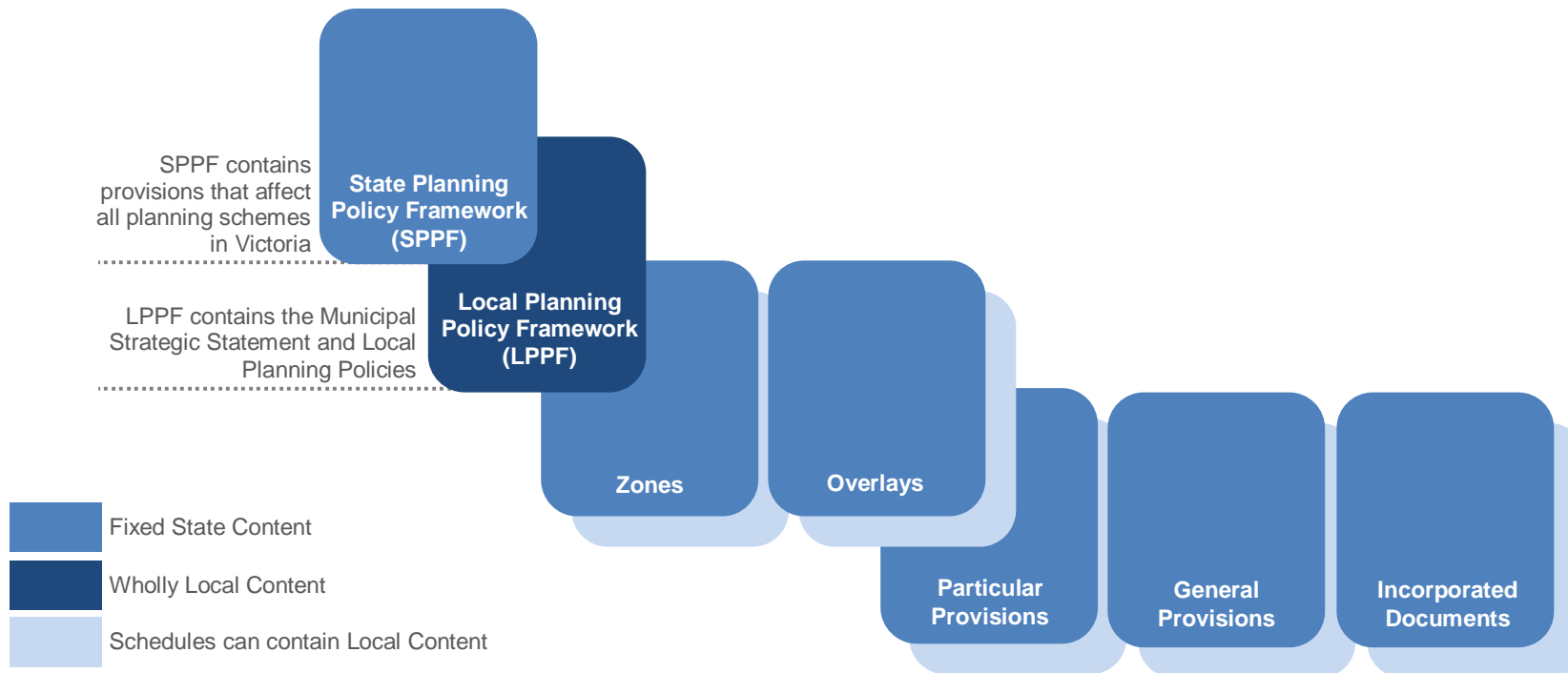


Figure 2: Components of a planning scheme

What is contained within the State Planning Policy Framework (SPPF)

State policies are contained in the State Planning Policy Framework (SPPF). The SPPF comprises broad planning principles for land use and development in Victoria. They are the same in every planning scheme in Victoria. The SPPF was restructured on 20 September 2010 (via Planning Scheme Amendment VC71).

Since the release of the Planning Scheme Rewrite Project Interim Report in February 2014, the SPPF was revised in May 2014 to implement the Plan Melbourne (metropolitan planning strategy) and Victoria's Regional Growth Plans (via Planning Scheme Amendment VC106). The existing SPPF structure comprises of the following nine key areas.

- Settlement
- Environment and Landscape Values
- Environmental Risks/
- Natural Resource Management
- Built Environment and Heritage
- Housing
- Economic Development
- Transport
- Infrastructure.

What is contained within the Local Planning Policy Framework (LPPF)

Council must implement and further the direction of State policies through its local clauses in the planning scheme (i.e. through the Local Planning Policy Framework (LPPF)). The purpose of the LPPF is to demonstrate how broader State planning principles will be achieved or implemented in a local context.

The LPPF contains two (2) components:

- **Municipal Strategic Statement** (Clause 21) which establishes the strategic planning framework for the municipality and encapsulates significant planning directions, and
- **Local Planning Policies** (Clause 22) which provide guidance to Council in making decisions on planning permit applications.

The LPPF is informed by numerous Council strategies and policies including the Warrnambool City Council Plan 2013-2017, the Warrnambool Health and Wellbeing Plan 2013-2017, Warrnambool Land Use Strategy, 2004, Warrnambool Retail Strategy 2007, Warrnambool Industrial Land Use Review 2010 and the Warrnambool City-Wide Housing Strategy 2013. See Figure 3 on the following page for a diagram on the how the Municipal Strategic Statement and Local Planning Policies are informed by adopted Council policies.

HOW THE MUNICIPAL STRATEGIC STATEMENT AND LOCAL PLANNING POLICES ARE INFORMED BY ADOPTED COUNCIL POLICIES

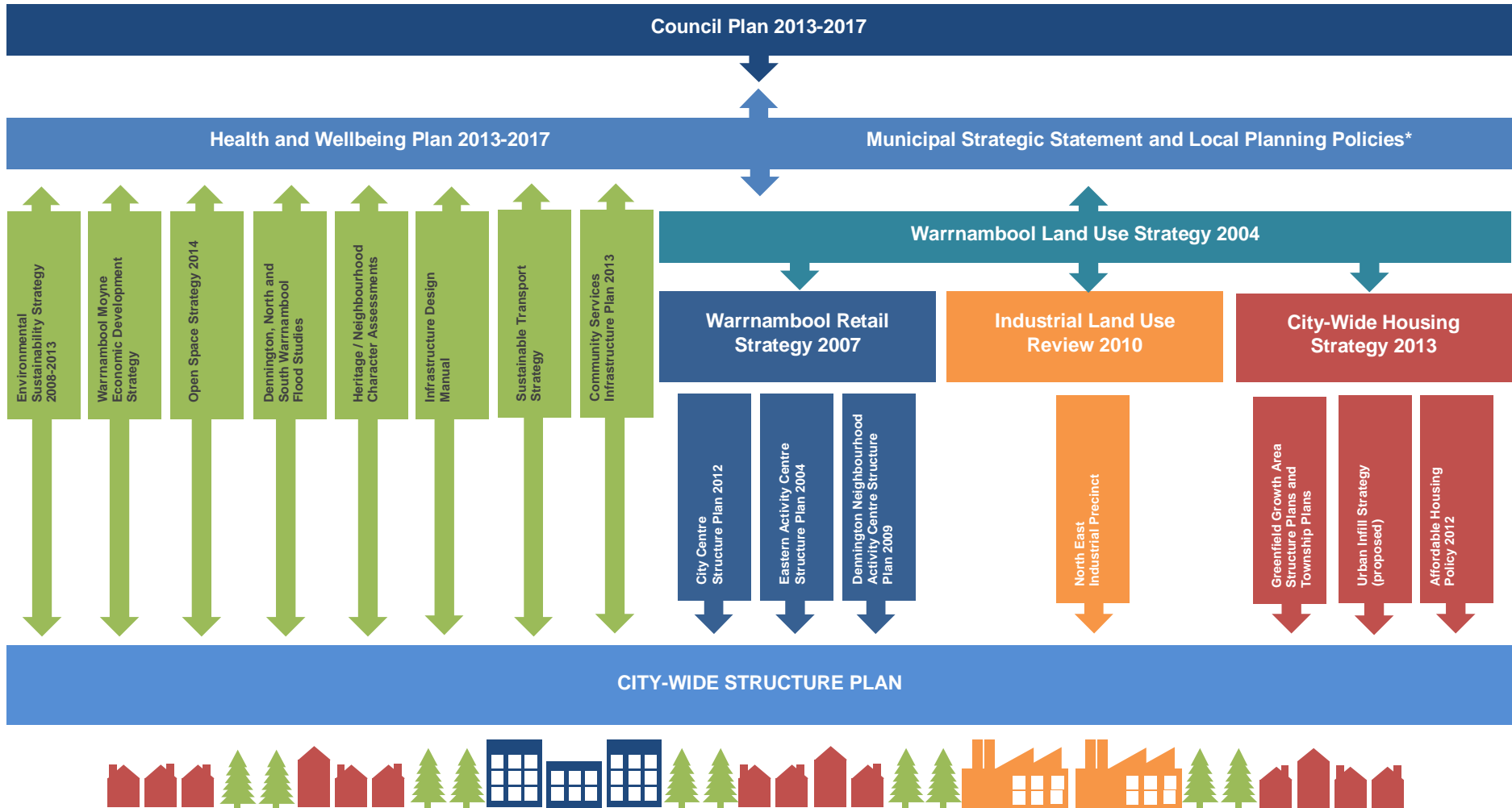


Figure 3: How the Municipal Strategic Statement and Local Planning Policies are informed by adopted Council policies

*see Figure 2 for information on the components of a planning scheme

Why review the planning scheme?

Council is required to review its planning scheme every four (4) years (no later than one year after the approval of the Council Plan) (Section 12B of the *Planning and Environment Act 1987* (the Act)).

A review should assess whether the scheme provisions (i.e. Local Planning Policies and schedules to Zones, Overlays, Particular Provisions and General Provisions) have been effective and efficient in achieving the objectives and strategies of the planning scheme.

The review should also evaluate the planning scheme to ensure that it:

- Is consistent in form and content with any directions or guidelines issued by the Minister for Planning under section 7(5) of the Act.
- Effectively sets out the policy objectives for use and development of land.
- Makes effective use of State provisions and local provisions to give effect to State and local planning policy objectives.¹

¹ *Review of Planning Schemes General Practice Note, DSE, February 2006*

PLANNING SCHEME REWRITE PROJECT SCOPE AND METHODOLOGY

Project Scope

The Warrnambool Planning Scheme Rewrite Project will facilitate a comprehensive review and rewrite of the local provisions within the Warrnambool Planning Scheme (i.e. Local Planning Policy Framework and schedules to Zones, Overlays, Particular Provisions and General Provisions).

The last major rewrite was undertaken in 2005. Accordingly, the Planning Scheme Rewrite Project will implement relevant strategic work undertaken by Council since 2005. The project also responds to continuous improvements identified to ensure the continued efficiency of the planning scheme.

The objectives of this project were to:

- Identify policy initiatives since the last review of the Warrnambool Planning Scheme (e.g. Warrnambool Council Plan 2013-2017, Warrnambool Health and Wellbeing Plan 2013-2017, Warrnambool Open Space Strategy 2014, Warrnambool City-Wide Housing Strategy 2013, Warrnambool Community Services and Infrastructure Plan 2013).
- Determine whether the existing Municipal Strategic Statement (MSS) and Local Planning Policies are current and relevant.
- Determine whether new policies need to be prepared to implement adopted plans, strategies or to fill identified policy gaps.
- Review current Zone, Overlay, Particular Provisions and General Provisions requirements and identify whether provisions are current and relevant (including direction on the implementation on the new commercial and residential zones).
- Ensure the Local Planning Policy Framework (LPPF) is consistent with, and is underpinned by the structure and themes at the State Planning Policy Framework (SPPF) level.
- Provide a draft revised MSS, draft Local Planning Policies (if required) and draft land use planning controls (Stage 2 following consultation on interim report).

Project Deliverables

The key deliverables of the project include:

- A final report on the review of the Warrnambool Planning Scheme, outlining key issues and recommendations to update the planning scheme to address identified issues.
- Draft Planning Scheme Amendment documentation to implement the recommendations of the final planning scheme review report (including draft MSS and Local Planning Policies) (Stages 1 and 2 of implementation).
- Identification of further strategic planning work to address any significant gaps that are currently in the planning scheme, where further research or justification may be required.

Project Methodology

The Warrnambool Planning Scheme Rewrite Project Report has been prepared using a range of sources, including:

- A review of policy initiatives since the last planning scheme review (i.e. recently adopted strategies and plans) (refer to page 11).
- A review of the Local Planning Policy Framework and schedules to Zones, Overlays, Particular Provisions and General Provisions to assess whether they effectively implement State policy, local objectives and respond to recently adopted strategies and plans (refer to page 21).
- An analysis of relevant Victorian Civil and Administrative Tribunal (VCAT) decisions and Planning Panel recommendations (refer to page 39).
- Stakeholder engagement undertaken with key government agencies (first phase of engagement). Engagement has involved one-on-one meetings with government agencies to outline the project and seek feedback on relevant local policy provisions. Advice was also sought from the agencies on any key strategies or plans they may have prepared that result in planning outcomes that should be reflected in the planning scheme (refer to page 40).

Engagement

The Warrnambool Planning Scheme Rewrite Project included the following phases of consultation:

PHASE 1:
SEPTEMBER 2013 - OCTOBER 2013 Engagement with key Government Agencies and key stakeholder workshops

PHASE 2:
FEBRUARY 2014 - DECEMBER 2014 Engagement on the Warrnambool Planning Scheme Rewrite Interim Report.

PHASE 3:
MARCH 2015 Formal exhibition of the final Planning Scheme Rewrite Report and Planning Scheme Amendment to implement the report's recommendations (Stage 1).

Requirements for notifying the community and key stakeholders are prescribed in the *Planning and Environment Act 1987*, including the process for review of submissions by an independent Planning Panel.

REVIEW OF POLICY INITIATIVES

STATE INITIATIVES

VicSmart

VicSmart was implemented into the Planning Scheme in September 2014, and is a streamlined assessment process for straightforward planning permit applications. Classes of application are identified in the planning scheme as being VicSmart and have specified requirements for information, assessment processes and decision guidelines.

Key features of VicSmart include:

- A 10 day permit process
- Applications are not advertised
- Pre-set information to be submitted with an application and what council can consider
- Council's Chief Executive Officer (or delegate) decides the application.

There are currently 12 different classes of VicSmart applications. These are set by the Minister for Planning and apply state-wide.

Council has received nine (9) VicSmart applications since September 2014:

- Display a Sign (4);
- Minor works in a Heritage Overlay (3);
- Realign a boundary between two lots (1); and
- Subdivide land into lots each containing an existing building or car parking space (1).

Council has the ability to include local classes of VicSmart applications into the Planning Scheme. VicSmart is still a relatively new process, so it is recommended that Council review VicSmart provisions within the next 12 months (mid-2016) to identify if local classes of VicSmart applications are required.

Reformed Zones

In May 2013, the Minister for Planning announced reforms to Victoria's planning zones to give greater clarity about the type and density of development that can be expected in residential areas.

In June 2014, the former suite of residential zones (Residential 1, 2 and 3) was replaced by the 'General Residential Zone', the 'Residential Growth Zone' and the 'Neighbourhood Residential Zone'.

The Warrnambool City-Wide Housing Strategy guided the implementation of the new residential zones. The first stage involved a direct translation of the existing Residential 1 Zone to the new General Residential Zone (via Amendment C92).

New commercial and amended industrial zones were introduced in July 2013 as a direct translation into all planning schemes in Victoria. These new zones may have an impact on Council's commercial areas and activity centres, as they provide for a wider range of uses across all centres.

Reformed rural zones were introduced in September 2013. The reforms implemented amended Farming Zone and Rural Living Zone provisions in the Warrnambool Planning Scheme.

The reformed rural zones support agricultural activity, allow more tourism related uses and support population retention to sustain rural communities. The prohibition of some land uses has been removed and more permit exemptions have been introduced for farming related activity.

The minimum lot size for subdivision in the Rural Living Zone was reduced from 8 hectares to 2 hectares.

Great South Coast Regional Plan

The Great South Coast Regional Growth Plan is one of eight regional growth plans that have been prepared across Victoria. It provides a broad direction for regional land use and development as well as detailed planning frameworks for key regional centres.

The plan:

- Identifies important economic, environmental, social and cultural resources to be preserved, maintained or developed.
- Provides direction for accommodating growth and change including: residential, employment, industrial, commercial, agriculture and other rural activities.
- Shows which areas of land can accommodate growth and which are to be maintained, including consideration of the infrastructure needed to support growth or change.
- Assists councils by streamlining planning policy and potentially reducing the amount of strategic work required by councils.

The Great South Coast Regional Growth Plan was implemented into the Warrnambool Planning Scheme in May 2014 via Amendment VC106. The key objectives and strategies of the Great South Coast Regional Growth Plan are referenced at Clause 11.09 of the Planning Scheme.

Planning and Environment Amendment (General) Act 2013

In 2013, the *Planning and Environment Act 1987* was amended to implement a number of the State Government's proposed changes to the planning system for Victoria (through *Planning and Environment Amendment (General) Act 2013*).

The key reforms included:

- Abolished Development Assessment Committees.
- Provided for a Planning Application Committee to work with councils to deliver better local planning decisions.
- Provided for two types of referral authority that will be set out in planning schemes.
- Improved the exchange of information between responsible authorities, referral authorities and applicants.
- Provided for reporting to the Minister by planning authorities, responsible authorities and referral authorities to improve the transparency of the planning system.
- Improved the processes for amending planning schemes and assessing planning permit applications by reducing delays and speeding up information exchange.
- Streamlined the decision-making process at the Victorian Civil and Administrative Tribunal (VCAT).
- Improved the operation of planning agreements by expanding the options for amending and ending agreements.
- Made miscellaneous changes to improve the operation of the *Planning and Environment Act 1987*.

Car Parking Provisions Review 2010

The Car Parking Provisions Review was implemented into all planning schemes across the State in 2012. The 'Using the Car Parking Provisions' practice note was released on April 2013 (Practice Note 22). The practice note provides guidance about the use of the car parking provisions in Clause 52.06 and the Parking Overlay.

Transport Integration Act 2010

The *Transport Integration Act 2010* highlights the importance of the integration of transport and land use. The *Transport Integration Act* provides a framework with six (6) transport system objectives and eight (8) decision-making principles. All decisions affecting the transport system must have regard to these objectives and principles.

LOCAL INITIATIVES

The following key strategies have been reviewed, and the following recommendations are made:

WARRNAMBOOL CITY ISSUES AND STRATEGIC VISION

Warrnambool Council Plan 2013-2017

The strategic focus of a Council Plan needs to be clearly reflected in the planning scheme. The MSS should provide clear linkages demonstrating how the planning scheme will implement the vision, key objectives and strategies of the Council Plan.

The current MSS refers to the strategic framework from the 2005-2009 Council Plan. This needs to be updated to reflect the 2013-2017 Council Plan.

Recommendations:

- Incorporate the strategic indicators of the Warrnambool Council Plan 2013-2017 in the revised MSS as appropriate.
- Incorporate relevant Warrnambool Council Plan 2013-2017 objectives and strategies into the revised MSS (proposed Clause 21.01)

Warrnambool Health and Wellbeing Plan 2013-2017

The *Public Health and Wellbeing Act 2008* requires Council to undertake a Health and Wellbeing Plan every four (4) years. There are strong synergies between the Health and Wellbeing Plan and the Planning Scheme Rewrite Project, particularly planning outcomes for community needs.

The Health and Wellbeing Plan 2013-2017, was be adopted by Council in October 2013.

Recommendation:

- Incorporate key objectives of the Warrnambool Health and Wellbeing Plan 2013-2017, within the revised MSS (proposed Clause 21.01).

SETTLEMENT

Warrnambool City-Wide Housing Strategy 2013

The Warrnambool City-Wide Housing Strategy 2013, reviews the 2004 Land Use strategy and focuses on likely population growth and housing needs through to 2031.

Recommendation:

- Incorporate the findings of the City-Wide Housing Strategy 2013, within the revised MSS (proposed Clauses 21.01, 21.02 and 21.07)

Moyne-Warrnambool Rural Housing Settlement Strategy 2009

The Moyne-Warrnambool Rural Housing Settlement Strategy 2009, applies settlement boundaries around townships of Allansford, Bushfield and Woodford (consistent with the Warrnambool City-Wide Housing Strategy 2013).

Recommendations:

- Incorporate key objectives of the Moyne-Warrnambool Rural Housing Settlement Strategy 2009, within the revised MSS (proposed Clauses 21.01 and 21.02).
- Reinforce the need for further strategic work to be undertaken to provide guidance on rural land use planning issues in the revised MSS (including the need to review rural residential development pressures at the edge of Warrnambool's settlement boundary).

Affordable Housing Policy 2012

The Affordable Housing Policy 2012, provides Council and the Warrnambool community with an understanding of Council's objectives and approach to addressing housing affordability in Warrnambool.

Recommendation:

- Incorporate underlying principles and key objectives of the Affordable Housing Policy 2012, within the revised MSS (proposed Clause 21.02)

Warrnambool Recreation Plan 2007-2017

The Warrnambool Recreation Plan 2007-2017, provides Council and the Warrnambool community with a strategic direction in relation to recreation over a 10 year period.

Recommendation:

- Incorporate underlying principles and key objectives of the Warrnambool Recreation Plan 2007-2017, within the revised MSS (proposed Clause 21.02)

Warrnambool Open Space Strategy 2014

The Warrnambool Open Space Strategy 2014 was adopted by Council on 1 September 2014. The strategy provides an overarching framework to direct open space planning and management to 2026.

Recommendation:

- Incorporate the principles and objectives of the Warrnambool Open Space Strategy 2014, within the revised MSS (proposed Clause 21.02).

Brierly Master Plan 2012

The Brierly Master Plan 2012, provides a plan for the future development of the Brierly Recreation Reserve over a 10 year period. The plan outlines such details as landscaping and infrastructure requirements; such detail does not require implementation through the planning scheme. An amendment has been undertaken to rezone the reserve to reflect its use (Public Park and Recreation Zone) (Amendment C91).

Recommendation:

- Include Brierly reserve in review of open space zone provisions.

ENVIRONMENTAL AND LANDSCAPE VALUES

Environmental Sustainability Strategy 2008-2013

The Environmental Sustainability Strategy 2008-2013, has not been implemented into the planning scheme. The strategy is currently under review.

Recommendation:

- Review the Environment Sustainability Strategy to ensure underlying principles and key objectives are incorporated within the revised MSS (proposed Clauses 21.02 and 21.03).

Warrnambool Coastal Management Plan 2013

The Warrnambool Coastal Management Plan 2013, identifies a vision and management objectives for development along Warrnambool's coastline.

Recommendation:

- Incorporate underlying principles and key objectives of the Coastal Management Plan 2013, within the revised MSS (proposed Clause 21.03).

Biodiversity Mapping

This project has commenced however, further work is required before the mapping can be implemented in the planning scheme. The current MSS identifies the requirement for this work to be undertaken.

Recommendation:

- Include a requirement within the revised MSS for Biodiversity Mapping to be undertaken (proposed Clause 21.03).

Draft Coastal Landscape Review 2008

The draft Coastal Landscape Review 2008, has been partially implemented via Amendments C75 and C76 (Coastal Hopkins Growth Area), and the application of the Significant Landscape Overlay over a significant hilltop area in Harrington Road via Amendment C72. The Coastal Landscape Review has been superseded by changes to Victorian Coastal Policy.

Recommendation:

- Key themes will be subject to internal review. Include any references within the revised MSS as required (proposed Clause 21.03).

ENVIRONMENTAL RISKS

Dennington, North Warrnambool and South Warrnambool Flood Studies

The Glenelg Hopkins Catchment Management Authority and Council have undertaken flood studies for the Merri River / Russells Creek corridors in urban Warrnambool. The flood studies provide new flood levels for development along these waterways. A separate Planning Scheme Amendment (C78) has been exhibited to implement the new flood studies.

Recommendation:

- Ensure revised MSS recognises flood risk associated with the Merri River and Russells Creek catchments (proposed Clause 21.04).

Draft Industrial Buffer Review 2014

The draft Industrial Buffer Review Project will inform a new clause within the MSS relating to noise abatement and air quality. (note: This report is currently subject to review as part of Planning Scheme Amendment C97).

Recommendation:

- Ensure the revised MSS recognises the need to manage sensitive uses within industrial buffer (proposed Clause 21.04 Noise and Air).

NATURAL RESOURCE MANAGEMENT

Glenelg Hopkins Regional Catchment Strategy 2012-2018

The Glenelg Hopkins Regional Catchment Strategy 2012-2018, was gazetted in May 2013. The strategy provides direction on waterway catchment management and planning for the region.

Recommendation:

- Incorporate the underlying principles and key objectives of the Glenelg Hopkins Regional Catchment Strategy 2012-2018, within the revised MSS (proposed 21.05).

ECONOMIC DEVELOPMENT

Warrnambool Industrial Land Use Review 2010

The Warrnambool Industrial Land Use Review 2010, was partially implemented via Amendment C72 in 2012. The Warrnambool City-Wide Housing Strategy confirmed the interim Settlement Boundary introduced by Amendment C72. The implementation plan will be reviewed to ensure all recommendations have been incorporated into Council's strategic works plan and/or the MSS, as appropriate.

Recommendation:

- Incorporate outstanding implementation actions in the revised MSS as required (will be included in proposed Clauses 21.01 and 21.08).

Warrnambool Retail Strategy 2007

The retail hierarchy, key objectives and strategies implemented into the MSS and Local Planning Policies via Amendment C63 in 2010. The independent Panel did not support the strategy being a reference document within the planning scheme. A review of the strategy should be undertaken within the next two (2) years.

Recommendation:

- Include a reference within the revised MSS that the Warrnambool Retail Strategy 2007, needs to be reviewed (proposed Clause 21.08).

Warrnambool Moyne Economic Development and Investment Strategy 2010

The Warrnambool Moyne Economic Development and Investment Strategy 2010, establishes a framework to encourage and continue sustainable economic development and population growth throughout the region into the future and particularly over the next ten year period.

Recommendation:

- Incorporate the Warrnambool Moyne Economic Development and Investment Strategy 2010, within the revised MSS (proposed Clause 21.08) as required.

Warrnambool Gaming Policy 2011

The Warrnambool Gaming Policy 2011 will be reviewed to respond to previous VCAT decisions, and to provide guidance in relation to gaming within the municipality.

Recommendation:

- Incorporate any review of the Warrnambool Gaming Policy 2011 within the revised LPPF and Clause 52.28-3 and Clause 52.28-4 (Gaming).

TRANSPORT

Sustainable Transport Strategy 2010-2020

The Sustainable Transport Strategy 2010-2020, aims to ensure that the City of Warrnambool becomes less reliant on private motor vehicles by utilising 'active transport' modes (e.g. walking, cycling, roller blading, scooters etc.) and public transport more often.

Recommendation:

- Incorporate the Sustainable Transport Strategy 2010-2020 within the revised MSS (proposed Clause 21.09).

INFRASTRUCTURE

Infrastructure Design Manual

The Infrastructure Design Manual (IDM) is a standardised design manual that has been adopted by many regional Councils across Victoria. Warrnambool is undertaking a final round of consultation with key users, with the intent of adopting the IDM.

Recommendation:

- Assess the Infrastructure Design Manual (IDM) (once adopted) and seek advice on implementation.

Warrnambool Community Services and Infrastructure Plan 2013

The Warrnambool Community Services and Infrastructure Plan 2013, provides guidance to Council, other service providers and community organisations about the likely needs of Warrnambool's population as it grows. The plan identifies additional services and infrastructure which are likely to be required, such as kindergartens, child care centres, and community facilities.

Recommendation:

- Incorporate the principles and objectives of the Community Services and Infrastructure Plan within the revised MSS (proposed Clause 21.10).

LOCAL AREA PLANS

Warrnambool City Centre Structure Plan 2012

The Warrnambool City Centre Structure Plan 2012, provides a 20-25 year vision and is yet to be implemented into the planning scheme. The structure plan contains a number of objectives and strategies as well as an implementation section. Many of the strategies relate to works in the public realm and sit outside the planning scheme.

Recommendations:

- Incorporate relevant objectives and strategies of the Warrnambool City Centre Structure Plan 2012, within the revised MSS (proposed Clause 21.11-1)

Eastern Activity Precinct Structure Plan 2004

The Eastern Activity Precinct Structure Plan 2004, applies to the retail area to the east of the city, including Gateway Plaza, Bunnings and the Homemaker Centre. It was initially implemented into the MSS in 2006, and further strengthened by the introduction of Clause 22.03-5 in 2012.

Recommendation:

- **Undertake a review of the Eastern Activity Precinct Structure Plan for inclusion within revised MSS (proposed Clause 21.11-2) (review currently underway)**

Dennington Neighbourhood Activity Centre Structure Plan 2009

The Dennington Neighbourhood Activity Centre Structure Plan 2009, provides a 20 year vision for growth around the activity centre. The structure plan has been partially implemented in 2010 by rezoning and application of a Development Plan Overlay over the core retail precinct. The structure plan extends further beyond this area, and its recommendations for those areas have not been implemented.

Recommendations:

- **Incorporate key directions within the revised MSS to guide future development for the precinct area (proposed Clause 21.11).**
- **Assess the need to expand DPO9 across the wider precinct area. Alternatively a new DPO could be introduced for the wider precinct.**

LOCAL PLANNING POLICY FRAMEWORK REVIEW

A key objective of the Planning Scheme Rewrite Project is to restructure the Local Planning Policy Framework (LPPF) to provide clear connection to the themes and policies in the State Planning Policy Framework (SPPF).

MUNICIPAL STRATEGIC FRAMEWORK (CLAUSE 21)

Clause 21.01 - Municipal Profile

The current Municipal Profile provides an overview of Warrnambool including high level commentary of housing, environment, economic development and infrastructure.

Clause 21.01 - Key Influences

This Clause outlines the key land use and development challenges facing Warrnambool.

Clause 21.03 - Vision - Strategic Framework

This Clause provides an overview of Council's strategic direction and includes the key directions for the municipality.

Recommendations:

- Create a new Clause 21.01 'Warrnambool City Issues and Strategic Vision' to incorporate existing Clauses 21.01, 21.02 and 21.03.
- Write a new 'Snapshot of Warrnambool City' to contain concise information about the municipality and its regional context.
- Update key land use and development challenges facing Warrnambool. It is recommended that the key influences be group under the following headings:
 - Environment
 - Settlement and housing
 - Economic development
 - Infrastructure.
- Update the Strategic Vision to reflect the Warrnambool Council Plan 2013-2017.
- Update the Strategic Framework Plan to reflect the recently adopted Warrnambool City-Wide Housing Strategy 2013 (and other relevant strategies).

Clause 21.05 - Housing

This Clause outlines Warrnambool's housing objectives and strategies. The 2004 Land Use Strategy provides the basis for this Clause and includes various objectives and strategies to guide the City's housing needs.

Recommendation:

- **Re-number Clause to 21.02 and rename to 'Settlement'.**
- **Rewrite this Clause to provide guidance on accommodating population growth and open space planning and management. It is recommended that the Clause provide strategies for the provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.**
- **Create a new Clause 21.07 'Housing' to provide objectives and strategies relating to integrated housing, location of residential housing, strategic redevelopment sites, housing diversity and housing affordability.**

Clause 21.06 - Environment

This Clause provides objectives and strategies in relation to biodiversity and habitat protection.

Recommendation:

- **Re-number Clause to 21.03 and rename to 'Environment and Landscape Values'.**
- **Rewrite objectives and strategies to provide guidance in relation to native vegetation, and seek to protect environmentally sensitive areas with significant recreational values such as coastal areas.**
- **Create a new Clause 21.04 to provide strategies and objectives in relation to 'Environmental Risks' (i.e. floodplain management, climate change, contaminated land, noise abatement and air quality).**
- **Incorporate heritage objectives and strategies within a proposed new Clause 21.06 (Built Environment and Heritage).**

Clause 21.07 - Economic Development

This Clause set out the objectives and strategies in relation to economic development. The Clause currently provides guidance on agriculture, industry, commerce, tourism and gaming.

Recommendation:

- Split this Clause into two (2) new Clauses:
 - Natural Resource Management (proposed Clause 21.05) and
 - Economic Development (proposed Clause 21.08).
- Proposed Clause 21.05 (Natural Resource Management) should set out the objectives and strategies relating to agriculture, catchment planning and water quality.
- Proposed Clause 21.08 (Economic Development) should set out the objectives and strategies relating to Commercial and Industry (including the design of industrial development).

Clause 21.08 - Infrastructure

This Clause set out the objectives and strategies for community infrastructure and development infrastructure.

Recommendation:

- Renumber Clause to 21.10.
- Redraft objectives and strategies to reflect current influences (including the recent adoption of the Community Services Infrastructure Plan 2013).
- Prepare new content for telecommunications, waste and resource recovery and survey infrastructure.

Clause 21.09 - Monitoring and Review

This Clause outlines how the planning scheme will be monitored and reviewed.

Recommendation:

- Delete Clause 21.09. Performance measures will be set out following each objective within the MSS.

Clause 21.10 - Reference Documents

This Clause details documents that were used to strategically construct the objectives and strategies in the planning scheme.

Recommendation:

- Delete Clause 21.10. Documents that were used to inform the objectives / strategies of the MSS will referred to within each theme.

There are currently no objectives or strategies relating to Transport. It is recommended that a new Clause 21.09 'Transport' be prepared to set out objectives and strategies in relation to walking and cycling, public transport network, car parking and freight.

It may also be appropriate to provide detailed guidance in specific areas of the municipality showing how the general strategies are implemented at a local area (i.e. structure plans). It is recommended that a new Clause 21.11 'Local Area Plans' be prepared for the City Centre, Eastern Activity Centre, Dennington Neighbourhood Activity Centre, North Merri Growth Area, Coastal Hopkins Growth Area and North Dennington Growth Area.

LOCAL PLANNING POLICIES (CLAUSE 22)

The Department of Transport, Planning and Local Infrastructure has released a Practice Note "Writing a Local Planning Policy". Many of the Local Planning Policies have been in the Planning Scheme since 1999, and have not been reviewed in the past decade. A review of the Local Planning Policies has been undertaken, and the majority of the local policies do not accord with the Practice Note. The following recommendations are made.

CLAUSE 22.01 - HOUSING

Clause 22.01-1 Building Construction in Low Density Residential and Rural Living Zones

This policy applies to all applications for new buildings in the Low Density Residential Zone (LRDZ) and Rural Living Zone (RLZ).

It is considered that this policy provides very little assistance in assessing a planning permit application under the LDRZ or the RLZ.

Under the LDRZ, a planning permit is not required for a single dwelling on a lot. Dwellings must be connected to reticulated sewerage, water and electricity (or an alternative). A planning permit is only required for a second dwelling.

Under the RLZ, a planning permit is only required for a dwelling if the lot is less than 2 hectares or, for the construction of a second dwelling on a lot.

Recommendation:

- Delete policy.

Clause 22.01-2 Logans Beach

This policy applies to land within the vicinity of Logans Beach.

It is considered that the revised MSS can appropriately address this issue. The existing policy duplicates the objectives and requirements contained in schedule 2 to the Design and Development Overlay (DDO2) and the schedule to the Rural Living Zone.

The inclusion of a map within the MSS depicting the 'Logans Beach Environment' should be considered. The Coastal Protection Area identified in the map to the policy should be incorporated in DDO2.

Council has committed to undertaking a review of the Logans Beach Rural Living Area (DDO2).

Recommendations:

- Delete policy.
- Incorporate 'Coastal Protection Area' plan in DDO2.
- Consider including a map within the revised MSS depicting the 'Logans Beach Environment' (proposed Clause 21.02).
- Ensure the revised MSS recognises the important of the 'Logans Beach Environment' (proposed Clause 21.03).
- Include further strategic work to review the Logans Beach Rural Living Area (proposed Clause 21.02).

Clause 22.01-3 South Warrnambool Village Precinct

This policy applies to land in South Warrnambool. It is considered that this policy provides very little assistance in assessing a planning permit application in the 'South Warrnambool Village Precinct'.

This policy duplicates the requirements contained in schedules 5, 6, 7, 8, 9 and 10 to the Design and Development Overlay. The inclusion of a map within the MSS depicting the 'South Warrnambool Village Precinct' should be considered.

Recommendations:

- Delete policy.
- Consider including a map within the revised MSS depicting the 'South Warrnambool Village Precinct' (proposed Clause 21.02).

Clause 22.01-4 Warrnambool Foreshore Precinct

This policy applies to the Warrnambool foreshore. It is considered that this policy provides very little assistance in assessing a planning permit application in the 'Warrnambool Foreshore Precinct'.

The precinct consists mainly of Crown Land. The land is adequately protected by schedule 1 to the Environmental Significance Overlay (ESO1) and schedule 1 to the Significant Landscape Overlay (SLO1). The Draft Coastal Management Plan 2013 supersedes this policy.

Recommendation:

- Delete policy.
- Incorporate Coastal Management Plan key principles and objectives within the revised MSS (proposed Clause 21.03).

Clause 22.01-5 Lake Pertobe Precinct

This policy applies to Lake Pertobe. It is considered that this policy provides very little assistance in assessing a planning permit application in the 'Lake Pertobe Precinct'.

The precinct consists of Crown Land managed by Council. Lake Pertobe is zoned Public Park and Recreation Zone (PPRZ) and is affected by schedule 1 to the Environmental Significant Overlay (ESO1) and schedule 1 to the Significant Landscape Overlay (SLO1).

The Open Space Strategy 2014 recommends the preparation of a Master Plan to guide the use and development of the Lake Pertobe Precinct.

Recommendation:

- Delete policy.

Clause 22.01-6 Breakwater Harbour Precinct

This policy applies to the Warrnambool Breakwater and Harbour area. It is considered that this policy provides very little assistance in assessing a planning permit application in the 'Breakwater Harbour Precinct'.

The precinct consists of Crown Land managed by Council. The Breakwater / Harbour are adequately protected by schedule 1 to the Environmental Significant Overlay (ESO1) and schedule 1 to the Significant Landscape Overlay (SLO1).

The Coastal Management Plan 2013 supersedes this policy. A number of zoning anomalies along the coast have been corrected via Amendment C91 which was approved in December 2014.

Recommendation:

- Delete policy.
- Incorporate Coastal Management Plan key principles and objectives within the revised MSS.

Clause 22.01-7 Escarpment Park Precinct

This policy applies to land between Lake Pertobe and the escarpment between Merri Crescent and Merri Street. It is considered that this policy provides very little assistance in assessing a planning permit application in the 'Escarpment Park Precinct'.

The precinct consists of Crown Land managed by Council and mainly applies to Crown Land (Cannon Hill escarpment). The policy refers to reference documents from 1999 that are out of date.

Recommendation:

- Delete policy.

CLAUSE 22.02 - ENVIRONMENT

Clause 22.02-1 Urban Floodway Local Policy

This policy applies to land zoned Urban Floodway Zone (UFZ) or Land Subject to Inundation Overlay (LSIO). It is considered that this policy provides very little assistance in assessing a planning permit application in the UFZ or LSIO.

The policy duplicates the requirements of the zone / overlay controls. The policy refers to reference documents from 1994 and 1997 that are superseded.

Recommendation:

- Delete policy.

Clause 22.02-2 Potential for Ground Water Recharge

This policy applies to all land within the municipality. It is considered that this policy provides very little assistance in assessing a planning permit application.

A local policy cannot apply to "all land" as this policy suggests but, must relate to a specific permit trigger. The policy refers to reference documents from 1997 that cannot be located.

Recommendation:

- Delete policy.

Clause 22.02-3 Susceptibility to Mass Movement

This policy applies to all land within the municipality. It is considered that this policy provides very little assistance in assessing a planning permit application.

A local policy cannot apply to “all land” as this policy suggests but, must relate to a specific permit trigger. The policy refers to a map that cannot be located, and other policy matters can be addressed by permit conditions relating to construction management plans.

Recommendation:

- Delete policy.

Clause 22.02-4 Steep Land

This policy applies to all land having a slope greater than 20% within the municipality. It is considered that this policy provides very little assistance in assessing a planning permit application.

There is no permit trigger applicable to this local policy. Policy matters can be addressed by permit conditions or during the permit assessment process, where applicable.

Recommendation:

- Delete policy.

Clause 22.02-5 Hilltop and Ridgeline Protection

This policy applies to buildings and works on significant hilltops or ridgelines. It is considered that this policy provides very little assistance in assessing a planning permit application.

There is no permit trigger applicable to this local policy. It is unclear what the “significant hilltops and ridgelines” are, and if identified, should be covered by a Significant Landscape Overlay.

Recommendation:

- Delete policy.

Clause 22.02-6 Dams

This policy applies to the construction of dams. Dams no longer require a permit under Clause 62.02-1 if a licence is required under the Water Act. There is no specific permit trigger and this matter is regulated by Southern Rural Water.

Recommendation:

- Delete policy.

Clause 22.02-7 Fire Protection Local Policy

This policy applies to all land zoned Farming Zone or Rural Living Zone.

This is an issue which is best dealt with by the MSS, and/or by the Bushfire Management Overlay. The CFA has identified significant inadequacies and gaps with this policy, and have requested changes consistent with implementation of the BMO (refer to page 38).

Recommendation:

- Delete policy.
- Incorporate relevant policy objectives within the revised MSS (proposed Clause 21.04).

Clause 22.02-8 Heritage Precincts Local Policy

This policy applies to all land within Heritage Overlay HO304 'St John's Church Precinct', HO312 'Fairy Street Precinct', HO324 'Commercial Precinct' and HO325 'Railway Precinct'.

This policy was partially redrafted in May 2013, as part of Amendment C68 which introduced the new heritage precincts.

The policy provides guidance on decision-making arising from a specific permit trigger, being the Heritage Overlay. It is recommended that relevant policy be incorporated into the MSS rather than a stand-alone policy.

Recommendation:

- Delete policy.
- Incorporate relevant policy objectives within the revised MSS (propose Clause 21.06).

Clause 22.02-9 Wild Coast Precinct

This policy applies coastal land between the Warrnambool Breakwater and Thunder Point. It is considered that this policy provides very little assistance in assessing a planning permit application in the 'Wild Coast Precinct'.

The precinct consists of Crown Land managed by Council. The land is adequately protected by zoning and overlay controls. The Coastal Management Plan 2013 supersedes this policy.

Recommendation:

- Delete policy.
- Incorporate Coastal Management Plan key principles and objectives within the revised MSS (proposed Clause 21.03).

CLAUSE 22.03 - ECONOMIC DEVELOPMENT

Clause 22.03-1 Industrial Development

This policy applies to industrial development within the Industrial Zones and Farming Zone.

It is considered the policy does help in exercising discretion as it relates to a specific permit trigger for buildings and works in the Industrial zones. However, it is recommended that the policy be incorporated into the MSS (under the heading 'Design of industrial development' within the proposed Clause 21.08 - Economic Development).

The revised MSS should also include reference to the Environment Protection Agency Guidelines on Separation Distances.

Recommendation:

- Delete policy.
- Incorporate relevant policy objectives within the revised MSS (under a new heading - 'Design of industrial development' within the proposed 21.08 - Economic Development).
- Review policy to include reference to the Environment Protection Agency Guidelines on Separation Distances.

Clause 22.03-2 Excisions of Dwellings in the Rural Zone

It is considered this policy does provide guidance relating to a specific discretion in the scheme. It is considered the policy could be strengthened to provide even more clarity. The policy needs to be corrected, as it refers to an out of date clause in the planning scheme.

Recommendation:

- It is recommended this policy be retained, and that further work be undertaken relating to dwellings and rural land uses. The policy needs to be corrected to reflect the correct permit trigger in the scheme.

Clause 22.03-3 Warrnambool and District Base Hospital Development Plan Policy

This policy applies to the Southwest Health Care Warrnambool Hospital in the vicinity of Hider, Timor, Ryot and Koroit Streets.

This policy serves no useful purpose. The land is owned by Southwest Health Care and is zoned Public Use Zone 3. Ministerial exemptions apply so no planning permits are required. The objectives should be rewritten into the MSS, and further strategic work undertaken to investigate policy / land use requirements within broader medical precinct.

Recommendation:

- Delete policy.
- Include relevant objectives within the revised MSS (proposed Clause 21.10).
- Include further strategic work to investigate policy / land use requirements within broader medical precinct (proposed Clause 21.10).

Clause 22.03-4 Retail and Commercial Use

This policy to all land zoned Commercial 1 or 2. This policy was first introduced into the planning scheme in 2010, as part of Amendment C63 which introduced the retail hierarchy and policy.

It is recommended that this policy be incorporated into the revised MSS (proposed Clause 21.08). It is also recommended that the Warrnambool Retail Strategy 2007 be reviewed in light of new commercial zones introduced in July 2013, which allow more uses as of right.

Recommendation:

- Delete policy.
- Include relevant objectives within the revised MSS (proposed Clause 21.08).
- Include further strategic work to review the Warrnambool Retail Strategy 2007 (proposed Clause 21.08).

Clause 22.03-5 Eastern Activity Precinct

This policy applies to all land within the Eastern Activity Precinct.

This policy was first introduced into the planning scheme in 2010, as part of Amendment C63 which introduced the retail hierarchy and policy. It is considered the policy provides appropriate guidance on development in the Eastern Activity Precinct and effectively implements the objectives of the structure plan. The policy will need to be reviewed when the structure plan is reviewed (policy should eventually be included within a new schedule to the Design and Development Overlay). It is recommended that this policy be included within the revised MSS (under proposed Clause 21.11 'Local Areas').

Recommendation:

- Delete Policy.
- Include relevant objectives within the revised MSS under proposed Clause 21.11 'Local Areas'.
- Include further strategic work to review the Eastern Activity Precinct Structure Plan.

CLAUSE 22.04 - INFRASTRUCTURE

Clause 22.04-1 Sewerage Treatment Plant Local Policy

This policy applies to land within 200 metres of the Sewerage Treatment Plant off Elliott Street, Warrnambool.

This policy serves no useful purpose. The sewerage treatment plant is surrounded by coastal Crown Land. The nearest residential zoned land is located over 500 metres from the plant.

Recommendation:

- Delete policy.
- Include reference to the Sewerage Treatment Plant within proposed Clause 21.10 (Infrastructure) 'Water supply, sewerage and drainage'.

Clause 22.04-2 Saleyards Local Policy

This policy applies to land within 500 metres of the Warrnambool Saleyards. This policy provides guidance on residential development to the Warrnambool Saleyards.

It is recommended that this policy be incorporated in the MSS (proposed new Clause 21.04 under new heading 'Noise and air'. The extent of the separation distance should be reviewed in conjunction with the EPA.

Recommendation:

- Delete policy.
- Include relevant objectives within the revised MSS under proposed Clause 21.04 (Environment) 'Noise and air'.
- Review extent of separation distance (in conjunction with EPA).

Clause 22.04-3 Premier Speedway

This policy applies to all land affected by Design and Development Overlay 3 (DDO3). This policy serves no useful purpose as it duplicates the requirements within DDO3. The revised MSS will include reference to the importance of the Premier Speedway as a major sporting venue.

Recommendation:

- Delete policy.
- Incorporate relevant policy basis and objectives within the revised MSS.

Clause 22.04-4 Lake Gilleear Sporting Area

This policy applies to the Lake Gilleear Sporting Area. This policy serves no useful purpose. The revised MSS will include reference to the importance of the Lake Gilleear Sporting Area as a major sporting venue.

Recommendation:

- Delete policy.
- Incorporate relevant policy basis and objectives within the revised MSS.

ZONE AND OVERLAY SCHEDULES

ZONES

Residential Zones

Clause 32.03 - Low Density Residential Zone

No change proposed.

Clause 32.04 - Mixed Use Zone

The Mixed Use Zone currently applies to two locations in Warrnambool - The Flying Horse complex, Raglan Parade, and the former Woollen Mill, Harris Street. A new schedule for the Woollen Mill site was implemented to incorporate existing DPO5 requirements (discussed further below) via Amendment C88 in December 2014. Amendment C88 also amended the Mixed Use Zone Boundary at the Woollen Mill site to reflect existing development.

Clause 32.05 - Township Zone

No change proposed.

Clause 32.08 – General Residential Zone

The General Residential Zone (GRZ) was introduced into the Planning Scheme via Amendment C92 in June 2014. The GRZ has replaced the former Residential 1 Zone.

Clause 32.09 – Neighbourhood Residential Zone

The Neighbourhood Residential Zone (NRZ) was introduced into the Planning Scheme via Amendment C75 in February 2014. The NRZ only currently applies to one location in Warrnambool – land on the south side of Hopkins Point Road, east of Logans Beach. The City-Wide Housing Strategy recommends further implementation of the NRZ be informed by character assessments for each planning area, ongoing heritage assessments and the review of residential areas in close proximity to industrial precincts. This will be included in further strategic work at proposed Clause 21.07.

Industrial Zones

Clause 33.01 - Industrial 1 Zone

No change proposed.

Clause 33.02 - Industrial 3 Zone

No change proposed.

Commercial zones

Clause 34.01 - Commercial 1 Zone

The maps within the planning scheme were updated via Amendment C92 in June 2014 to include references to the current Commercial Zones. It is recommended that Plan 1 to Clause 34.01 be updated to reflect recent subdivision north of the commercial precinct.

Clause 34.02 - Commercial 2 Zone

The maps within the planning scheme were updated via Amendment C92 in June 2014 to include references to the current Commercial Zones.

Rural Zones

Clause 35.03 - Rural Living Zone

Maps 1 and 2 to Clause 35.03 were updated to reflect recent development / subdivision through Amendments C75 and C76 in February 2014.

Clause 35.07 - Farming Zone

No change proposed.

Public Use Zones

Clause 36.01 - Public Use Zone

A review of all land within the Public Use Zone was undertaken to inform appropriate land use controls. Amendment C91 implemented the review by applying the correct zone controls in December 2014.

Clause 36.02 - Public Park and Recreation Zone

A review of all open space was undertaken to ensure the correct zone applied (as identified in the Warrnambool Open Space Strategy). Parts of the coastline that were not zoned (within Lady Bay) have been included within the PPRZ. Amendment C91 implemented the review in December 2014.

Clause 36.03 - Public Conservation and Resource Zone

A review of all rivers and creeks was undertaken to ensure zone reflects current land use (i.e. Hopkins River is currently zoned Public Park and Recreation Zone).

Clause 36.04 - Road Zone

A review of the road categories was undertaken to ensure roads are accurately identified within the planning scheme. The review was implemented via Amendment C91 in December 2014.

Special Purposes Zones

Clause 37.01 - Special Use Zone

Minor formatting proposed to schedules to assist with readability.

Clause 37.03 - Urban Floodway Zone

Extent of UFZ to be reviewed in accordance with the South Warrnambool, Dennington and North Warrnambool flood studies (Amendment C78)

OVERLAYS

Environmental and Landscape Overlays

Clause 42.01 - Environmental Significance Overlay

Recommend that schedules to the overlays be reviewed to ensure consistency between schedules. ESO2 has been inconsistently applied (i.e. gaps along the Merri River within the urban area). The application of ESO2 (Hopkins and Merri River Environs) should be reviewed to ensure consistency across the municipality (i.e. 50 metres to river bank within urban areas, and 100 metres to river bank in rural areas).

Clause 42.03 - Significant Landscape Overlay

No change proposed.

Heritage and Built Form Overlays

Clause 43.01 - Heritage Overlay

The schedule to Clause 43.01 has been reviewed to ensure mapping accurately reflects property addresses. This is being implemented through a separate planning scheme amendment (Amendment C73).

Clause 43.02 - Design and Development Overlay

Recommend that a review of all DDO's be undertaken (with a focus on DDO1 and DDO11). DDO4 has been deleted in accordance with the recommendations of the City-Wide Housing Strategy (Amendment C92).

Incorporate 'Coastal Protection Area' plan from Clause 22.01-2 in DDO2.

Clause 43.04 - Development Plan Overlay

A review of all Development Plan Overlays (DPO) has been undertaken to identify areas where development has been completed (statement of compliance issued and dwellings constructed). The DPO has been removed in accordance with the review via Amendment C91 in December 2014.

Land Management Overlays

Clause 44.03 - Floodway Overlay

To be included within the planning scheme in accordance with the South Warrnambool, Dennington and North Warrnambool flood studies (Amendment C78).

Clause 44.04 - Land Subject to Inundation Overlay

Extent of LSIO to be reviewed in accordance with the South Warrnambool, Dennington and North Warrnambool flood studies (Amendment C78).

Other Overlays

Clause 45.03 - Environmental Audit Overlay

A review of the Environmental Audit Overlay (EAO) has been undertaken. EAO has been removed from areas where compliance has been achieved (implemented via Amendment C91 in December 2014).

Clause 45.06 - Development Contributions Overlay

No change proposed.

PARTICULAR PROVISIONS

Schedule to Clause 52.01 - Public Open Space Contribution and Subdivision

No change proposed.

Schedule to Clause 52.02 - Easements, Restrictions and Reserves

No change proposed.

Schedule to Clause 52.03 - Specific Sites and Exclusions

No change proposed.

Schedule to Clause 52.05 - Advertising Signage

No change proposed however, the preparation of the Signage Policy (proposed Clause 22.01) will inform whether changes are required to this schedule.

Schedule to Clause 52.16 - Native Vegetation Precinct Plan

Proposed to include a Native Vegetation Precinct Plan for Coastal Crown Land in accordance with the Coastal Management Plan.

Schedule to Clause 52.17 - Native Vegetation

No change proposed.

Schedule to Clause 52.27 - Licensed Premises

No change proposed.

Schedule to Clause 52.28-3 - Gaming	Amendments may be required. The preparation of the Gaming Policy (proposed Clause 22.03) will inform whether changes are required to this schedule.
Schedule to Clause 52.28-4 - Gaming	Amendments may be required. The preparation of the Gaming Policy (proposed Clause 22.03) will inform whether changes are required to this schedule.
Schedule to Clause 52.32 - Wind Energy Facility	No change proposed.
Schedule to Clause 52.37 - Post Boxes and Dry Stone Walls	No change proposed.

GENERAL PROVISIONS

Schedule to Clause 61.01 - Administration and Enforcement of this Scheme	No change proposed.
Schedule to Clause 61.02 - What area is covered by this Scheme?	No change proposed.
Schedule to Clause 61.03 - What does this Scheme consist of?	The Schedule has been amended to list maps in alphabetical order (implemented via Amendment C88 in December 2014).
Schedule to Clause 61.04 - When did this Scheme begin?	No change proposed.
Schedules to Clause 66 - Referral and Notice Provisions	Recommend that schedules be reviewed to ensure all referral and notice requirements are accurate.

VICSMART PLANNING ASSESSMENT PROVISIONS

Schedule to Clauses 94 and 95 - Local VicSmart Applications	Undertake a review to identify local classes of applications that may be appropriate for VicSmart assessment provisions, including application information requirements and decision guidelines within the next 12 months.
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PANEL REPORTS AND VCAT DECISIONS

PANEL REPORTS

Over the past seven (7) years, the majority of Panel reports have been in relation to growth area amendments, implementing structure plans including land rezoning and application of overlays. The Panel reports have generally been in support of Council's position, and have provided guidance on controls to achieve a more robust planning framework. Council has generally adopted and implemented those recommendations accordingly.

Amendments relating to retail planning have provided differing outcomes to Council's adopted strategy and policy directions.

Amendment C70 (Gateway Plaza expansion) and C84 (Homemaker Centre) Panel Report in 2012 should be reviewed to ensure consistency in policy and implementation.

In addition, the newly released Commercial zones have implications on local retail policy, retail hierarchy and activity centre planning.

Recommendation:

- Review the Warrnambool Retail Strategy 2007, in light of implementation of reformed Commercial zones (proposed to include as further strategic work within Clause 21.08).

VCAT DECISIONS

Recent VCAT decisions with significant implications for the Warrnambool Planning Scheme are considered to be in relation to gaming and neighbourhood character.

Recent VCAT decisions on electronic gaming machines at Rafferty's Tavern and at the Flying Horse Bar have revealed policy gaps on this issue in the Planning Scheme. A draft Warrnambool Gaming Policy has been prepared. It is recommended at the draft policy be reviewed to determine how it may be implemented into the planning scheme.

VCAT decisions relating to neighbourhood character has also revealed some inconsistencies with Council's position on this issue. Whilst neighbourhood character is more subjective, it is considered worthwhile to review this issue in the context of the VCAT decisions. It should be noted that the new residential zones include a Neighbourhood Residential Zone (NRZ) which may provide Council with the opportunity to address this issue at the zoning level. The Warrnambool City-Wide Housing Strategy provides guidance on the implementation of the NRZ.

Recommendation:

- Review the Warrnambool Gaming Policy 2011 and implement into the planning scheme as appropriate.

ENGAGEMENT

COUNTRY FIRE AUTHORITY (CFA) (BARWON SOUTH WEST REGION)

The Country Fire Authority (CFA) identified a number of gaps between SPPF and the LPPF regarding bushfire hazard. CFA made the following recommendations:

- The revised MSS should address bushfire matters including support for further strategic work to implement the Bushfire Management Overlay to areas of high hazard.
- Objectives and strategies should be implemented within the MSS to ensure community resilience to bushfire is strengthened.
- The revised MSS should recognise grassland as a fire risk.

The above recommendations are noted and will be incorporated into the revised MSS as appropriate.

GLENELG HOPKINS CATCHMENT MANAGEMENT AUTHORITY (GHCMA)

The Glenelg Hopkins Catchment Management Authority (GHMCA) identified a number of gaps between SPPF and the LPPF regarding climate change. GHCMA made the following recommendations:

- Glenelg Hopkins Regional Catchment Strategy 2013-2019 needs to be implemented within the revised MSS.
- The revised MSS should recognise the significance of the Merri River.
- Inquiry into Rural Drainage in Victoria (June 2013) should be acknowledged within the revised MSS.
- Floodplain Strategy has recently been completed. Revised flood mapping should be included within the planning scheme (proposed to be implemented via Warrnambool Planning Scheme Amendment C78).

The above recommendations are noted and will be incorporated into the revised MSS as appropriate.

VICROADS (SOUTH WEST REGION)

VicRoads provided detail on plans that may be relevant to the Warrnambool Planning Scheme Rewrite Project. Plans included:

- Integrated Transport Act 2010.
- Victorian Freight and Logistics Plan 2013.
- Victorian Integrated Traffic Modelling (VITM) - modelling tool that can assess the impact on the existing and future road network of predicted population growth and developments over the next 30 years.
- SmartRoads - strategic tool including local roads network.
- Great South Coast Transport strategy - strategy mainly deals with arterial roads.

The above plan will be assessed and incorporated into the revised MSS as appropriate.

ENVIRONMENT PROTECTION AUTHORITY (EPA) (SOUTH WEST REGION)

The Environment Protection Authority (EPA) identified policy gaps within the existing MSS around identifying key industries (i.e. Midfield Meat Processing Plant). EPA considers that the inclusion of key industries within the MSS as an important step in providing a strong strategic framework for dealing with proposed use and development within the areas surrounding industry.

The above comments will be assessed and incorporated into the revised MSS as appropriate.

FORMER DEPARTMENT OF ENVIRONMENT AND PRIMARY INDUSTRIES (DEPI) (BARWON SOUTH WEST REGION)

The former Department of Environment and Primary Industries (DEPI) identified a number of gaps between SPPF and the LPPF regarding coastal management and biodiversity mapping. DEPI made the following recommendations and observations:

- There are some inconsistencies with tools within planning scheme (i.e. Environmental Significant Overlay requirements vs. Clause 52.17 requirements).
- Consider using Clause 66.04 to identify referrals rather than including within the schedule to the Environmental Significant Overlay.

The above comments will be assessed and incorporated into the revised MSS/Planning Scheme as appropriate.

PUBLIC TRANSPORT VICTORIA (PTV)

Public Transport Victoria (PTV) provided the following comments regarding the Warrnambool Planning Scheme Rewrite Project:

- Revised MSS should include sustainable transport strategies, such as integrating public transport with walking and cycle networks, and integrating public transport interchanges with activity areas.
- Reference to the *Public Transport Guidelines for Land Use and Development*, 2008 should be included within the MSS.

The above comments will be assessed and incorporated into the revised MSS as appropriate.

WANNON WATER

Wannon Water identified a number of gaps between within the LPPF regarding water supply and water management. Wannon Water made the following recommendations and observations:

- Wannon Water's Water Supply Demand Strategy and integrated water management strategies should be considered in drafting the revised MSS.
- The concept of roof water harvesting should be included within the MSS (North-East Growth Area).
- Buffer distances to Wannon Water infrastructure (i.e. Sewerage Treatment Plant) should be considered in the revised MSS.

- Planning permit exemptions should be considered for construction of sewerage and water mains from various overlays (i.e. ESO, LSIO, HO and DDO).
- Council should provide copies of planning permit applications that do not require referral by the planning scheme. This would enable Wannon Water to start early discussions with the developers and identify servicing requirements and/or constraints.

Following exhibition of the interim report, Wannon Water also requested that the following matters be addressed within the MSS:

- The need for elevated towers and tanks located on high points around Warrnambool
- The protection of the ongoing operation and expansion of the water treatment and sewerage plants.
- Restriction of development within a 500m buffer to the sewerage treatment plant
- Do not support the deletion of the local planning policy relating to ground water recharge (Clause 22.02-2).

The above comments will be assessed and incorporated into the revised MSS / planning scheme as appropriate.

Wannon Water also requested a number of their assets be rezoned to the Public Use Zone. These sites were considered as part of the Public Use Zone review that was undertaken in 2014.

Other submission received related to the need to review Development Plan Overlay's on residential areas where development has been completed (e.g. Huntingfield Estate) and the need for height controls in the City Centre (as recommended within the Warrnambool City Centre Structure Plan).

These matters will be addressed through the implementation of this report.

CONSOLIDATED RECOMMENDATIONS AND IMPLEMENTATION

The following table brings together all the recommendations contained in the Planning Scheme Rewrite Project Report.

CLAUSE	ACTION	STATUS
Proposed Clause 21.01 - 21.11	Restructure MSS in accordance with Appendix A.	Will occur as part of preparation of amendment documentation (Proposed Amendment C93)
Proposed Clause 21.11	Urgent review of Eastern Activity Precinct Structure Plan.	Commenced.
Clause 22.01 - 22.04	Delete all existing Local Planning Policies and incorporated within MSS as required.	Will occur as part of preparation of amendment documentation (Proposed Amendment C93).
Proposed Clause 22.01	Prepare new draft Signage Policy.	Commenced.
Proposed Clause 22.02	Prepare new draft Front Fences/Streetscape Policy.	Commenced.
Proposed Clause 22.03	Review Warrnambool Gaming Policy 2011 and implement into planning scheme.	Review to commence mid-2015.
Proposed Clause 22.04	Prepare new draft Rural Dwelling Excision Policy.	To commence early 2015 (Proposed Amendment C93)
Clause 32.01 - Residential 1 Zone	Translate existing Residential 1 Zone to General Residential Zone.	Completed.
Clause 32.04 - Mixed Use Zone	Review Mixed Use Zone provisions at former Woollen Mill Site, Harris Street, Warrnambool.	Completed.
Clause 34.01 - Commercial 1 Zone	Update map references to reflect reformed zones.	Completed.
Clause 34.01 - Commercial 1 Zone	Update Plan 1 to reflect recent development north of commercial precinct.	Will occur as part of preparation of amendment documentation (Proposed Amendment C93).
Clause 34.02 - Commercial 2 Zone	Update map references to reflect reformed zones.	Completed.

CLAUSE	ACTION	STATUS
Clause 35.03 - Rural Living Zone	Update Map 1 to reflect recent development.	Completed.
Clause 36.01 - Public Use Zone	Undertake review of all land zoned Public Use Zone.	Completed.
Clause 36.02 - Public Park and Recreation Zone	Undertake review of all open space and rezone as required.	Completed.
Clause 36.03 - Public Conservation and Resource Zone	Undertake review of waterways and rezone as required.	Underway (as part of implementation of flood studies - Amendment C78)
Clause 36.04 - Road Zone	Undertake review of category 1 and category 2 roads and rezone as required.	Completed.
Clause 37.01 - Special Use Zone	Reformat schedules.	Will occur as part of preparation of amendment documentation (Proposed Amendment C93).
Clause 37.03 - Urban Floodway Zone	Implement South Warrnambool, Dennington and North Warrnambool Flood Studies.	Underway (as part of implementation of flood studies - Amendment C78)
Clause 42.01 - Environmental Significance Overlay	Review application of overlays.	To commence early 2015 (Proposed Amendment C93.).
Clause 43.01 - Heritage Overlay	Undertake review of schedule to the Heritage Overlay and mapping.	Underway (Amendment C73).
Clause 43.02 - Design and Development Overlay	Delete schedule 4 to the Design and Development Overlay.	Completed.
Clause 43.02 - Design and Development Overlay	Review existing schedules to Design and Development Overlay and mapping.	Partially complete. Review will be finalised late 2015.
Clause 43.04 - Development Plan Overlay	Review existing schedules to Development Plan Overlay and mapping.	Completed.
Clause 44.03 - Floodway Overlay	Implement South Warrnambool, Dennington and North Warrnambool Flood Studies.	Underway (Amendment C78).
Clause 44.04 - Land Subject to Inundation Overlay	Implement South Warrnambool, Dennington and North Warrnambool Flood Studies.	Underway (Amendment C78).

CLAUSE	ACTION	STATUS
Clause 45.03 - Environmental Audit Overlay	Review existing Environmental Audit Overlay.	Completed.
Clause 52.16 - Native Vegetation Precinct Plan	Prepare and incorporate Native Vegetation Precinct Plan in accordance with the Coastal Management Plan.	Underway.
Clause 61.03 - What does the scheme consist of?	Amend schedule to list maps in alphabetical order.	Completed.
Clause 66 - Referral and Notice Requirements	Review Referral and Notice Requirements.	Will occur as part of preparation of amendment documentation (Proposed Amendment C93).
Clause 94 and 95 - Local VicSmart Applications	Review VicSmart provisions – identification of local classes of applications	To be undertaken by June 2016.



Recommended action has been completed since release of the Interim Report

APPENDIX A - PROPOSED MUNICIPAL STRATEGIC STATEMENT / LOCAL PLANNING POLICY FRAMEWORK STRUCTURE

Implementation of the revised MSS structure will require a staged approach. Stage 1 will restructure and update existing MSS and local policies and will introduce key principles, objectives and from new strategic work. Stage 2 will include new policy and specific land use and/or development controls.

PROPOSED STRUCTURE	CURRENT RELEVANT MSS/LPPF CONTENT	COMMENTS	IMPLEMENTATION/STAGING
Clause 21.01 Warrnambool City Issues and Strategic Vision			
Clause 21.01-1 Snapshot of Warrnambool City	Clause 21.01 Municipal Profile	To be updated. Currently five (5) pages (recommend that length is reduced).	Stage 1 - immediate (Amendment C93)
Clause 21.01-2 Key influences	Clause 21.01 Municipal Profile and Clause 21.02 Key influences	To be updated to reflect current influences.	Stage 1 - immediate (Amendment C93)
<ul style="list-style-type: none"> • Environment 	Clause 21.01 Municipal Profile and Clause 21.02 Key influences	The Warrnambool Council Plan 2013-2017 and the Warrnambool Health and Wellbeing Plan 2013-2017 will inform this Clause.	
<ul style="list-style-type: none"> • Settlement and housing 	Clause 21.01 Municipal Profile and Clause 21.02 Key influences		
<ul style="list-style-type: none"> • Economic development 	Clause 21.01 Municipal Profile and Clause 21.02 Key influences		
<ul style="list-style-type: none"> • Infrastructure 	Clause 21.01 Municipal Profile and Clause 21.02 Key influences		
Clause 21.01-3 Strategic vision	Clause 21.03-1 Council Plan - Vision	To be updated to reflect the Warrnambool Council Plan 2013-2017 and the Warrnambool Health and Wellbeing Plan 2013-2017.	Stage 1 - immediate (Amendment C93)
Clause 21.01-4 Strategic framework plan	Clause 21.03-2 Strategic Framework Plan.	To be updated to reflect Warrnambool City-Wide Housing Strategy Framework Plan 2013.	Stage 1 - immediate (Amendment C93)

PROPOSED STRUCTURE	CURRENT RELEVANT MSS/LPPF CONTENT	COMMENTS	IMPLEMENTATION/STAGING
Clause 21.02 Settlement			
Clause 21.02-1 Activity Centres	Clause 21.07-1 Activity Centre Network and Activity Centre Hierarchy and Clause 22.03-5 Eastern Activity Precinct.	To be updated to reflect current influences. Warrnambool Retail Strategy 2007 will inform this section.	Stage 1 - immediate (Amendment C93)
Clause 21.02-2 Urban Growth	Clause 21.03-2 Warrnambool Land Use Strategy, September 2004	To be updated to reflect the Warrnambool City-Wide Housing Strategy 2013.	Stage 1 - immediate (Amendment C93)
<ul style="list-style-type: none"> Supply of urban land Planning for growth areas Structure planning 	<p>New content</p> <p>Clause 21.05 Housing</p> <p>New content</p>		
Clause 21.02-3 Open Space		To be informed by the Warrnambool Recreation Plan 2007-2017, the Warrnambool Open Space Strategy 2014, current Clause 22.04-3 Premier Speedway and current Clause 22.04-4 Lake Gilliear Sporting Area.	Stage 1 - immediate (Amendment C93)
<ul style="list-style-type: none"> Open space planning Open space management 	<p>New content</p> <p>New content</p>		
Clause 21.02-4 Regional Development		To be informed by the Great South Coast Regional Plan 2013.	
<ul style="list-style-type: none"> Rural productivity Coastal settlement 	<p>New content</p> <p>New content</p>		
Clause 21.03 Environmental and Landscape Values			
Clause 21.03-1 Biodiversity	Clause 21.06 Environment	To be informed by the Environmental Sustainability Strategy 2008-2013.	Stage 1 - immediate (Amendment C93)
Clause 21.03-2 Native vegetation management	Clause 21.06 Environment	To be updated to reflect current influences.	Stage 1 - immediate (Amendment C93)
Clause 21.03-3 Coastal areas	Clause 21.06 Environment	To be informed by the Coastal Management Plan 2013 and the draft Coastal Landscape Review 2008.	Stage 1 - immediate (Amendment C93)
<ul style="list-style-type: none"> Protection of coastal areas 	Clause 22.01-2 Logans Beach		

PROPOSED STRUCTURE	CURRENT RELEVANT MSS/LPPF CONTENT	COMMENTS	IMPLEMENTATION/STAGING
<ul style="list-style-type: none"> Coastal Crown land Coastal tourism The Great Ocean Road region 	<p>New content</p> <p>Clause 21.07 Economic Development</p> <p>New content</p>		Stage 2 - late 2015
<p>Clause 21.03-4 Significant environments and landscapes</p> <ul style="list-style-type: none"> Environmentally sensitive areas 	<p>Clause 21.06 Environment</p> <p>New content</p>	To be updated to reflect current influences.	Stage 1 - immediate (Amendment C93)
Clause 21.04 Environmental Risks			
<p>Clause 21.04-1 Climate change impacts</p> <ul style="list-style-type: none"> Coastal inundation and erosion 	<p>New content</p>		<p>Stage 1 - immediate (Amendment C93)</p> <p>Stage 2 - late 2015</p>
<p>Clause 21.04-2 Floodplains</p> <ul style="list-style-type: none"> Floodplain management 	<p>Clause 21.06 Environment and Clause 22.02-1 Urban Floodway Local Policy</p>	To be updated to reflect recent flood studies.	Stage 1 - immediate (Amendment C93)
<p>Clause 21.04-3 Soil degradation</p> <ul style="list-style-type: none"> Use of contaminated and potentially contaminated land 	<p>New content</p>		<p>Stage 1 - immediate (Amendment C93)</p> <p>Stage 2 - late 2015</p>
<p>Clause 21.04-4 Noise and air</p> <ul style="list-style-type: none"> Noise abatement Air quality 	<p>New content</p> <p>New content</p>	To be informed by Industrial Buffer Review Project and current Clause 22.04-2 Saleyards Local Policy.	<p>Stage 1 - immediate (Amendment C93)</p> <p>Stage 2 - late 2015</p>
<p>Clause 21.04-5 Bushfire</p>	<p>Clause 21.06 Environment and Clause 22.02-7 Fire Protection Local Policy</p>	To be updated to reflect current influences.	Stage 1 - immediate
21.05 Natural Resource Management			
<p>21.05-1 Agriculture</p> <ul style="list-style-type: none"> Protection of agricultural land 	<p>Clause 21.07 Economic Development</p>	To be updated to reflect current influences.	Stage 1 - immediate (Amendment C93)
<p>21.05-2 Water</p> <ul style="list-style-type: none"> Catchment planning and management 	<p>New content</p>	To be informed by the Glenelg Hopkins Regional Catchment Strategy 2012-2018.	Stage 1 - immediate (Amendment C93)

PROPOSED STRUCTURE	CURRENT RELEVANT MSS/LPPF CONTENT	COMMENTS	IMPLEMENTATION/STAGING
<ul style="list-style-type: none"> Water quality 	Clause 21.06 Environment		
21.06 Built Environment and Heritage			
21.06-1 Urban environment			
<ul style="list-style-type: none"> Urban design 	New content	It is recommended that a new Local Planning Policy be developed to guide consideration of advertising signage in commercial areas (proposed Clause 22.01)	Stage 2 - late 2015
<ul style="list-style-type: none"> Design for safety 	New content	It is recommended that a new Local Planning Policy be developed to guide consideration of planning permit applications for streetscape/front fences (proposed Clause 22.02).	Stage 2 - late 2015
<ul style="list-style-type: none"> Cultural identity and neighbourhood character 	Clause 21.05 Housing	To be updated to reflect current influences.	Stage 1 - immediate (Amendment C93)
21.06-2 Heritage			
<ul style="list-style-type: none"> Heritage conservation 	Clause 21.06 Environment and Clause 22.02-8 Heritage Precincts Policy	To be updated to reflect current influences.	Stage 1 - immediate (Amendment C93)
<ul style="list-style-type: none"> Aboriginal cultural heritage 	Clause 21.06 Environment		Stage 1 - immediate (Amendment C93)
21.07 Housing			
21.07-1 Residential development			
<ul style="list-style-type: none"> Integrated housing Location of residential housing Strategic redevelopment sites Housing diversity Housing affordability 	New content New content New content New content New content	To be informed by the City-Wide Housing Strategy, the Affordable Housing Policy and existing Clause 22.01-3 (South Warrnambool Village Precinct).	Stage 1 - immediate (Amendment C93) Stage 2 - late 2015

PROPOSED STRUCTURE	CURRENT RELEVANT MSS/LPPF CONTENT	COMMENTS	IMPLEMENTATION/STAGING
21.08 Economic Development			
21.08-1 Commercial	Clause 21.07 Economic Development and Clause 22.03-4 Retail and Commercial Use	To be informed by the Warrnambool Retail Strategy 2007, the Warrnambool Industrial Land Use Review 2010 and current MSS content.	Stage 1 - immediate (Amendment C93)
21.08-2 Industry	Clause 21.07 Economic Development		
<ul style="list-style-type: none"> Design of Industrial Development 	Clause 22.03-1 Industrial Development		
21.09 Transport	New content	To be informed by the Sustainable Transport Strategy.	Stage 1 - immediate (Amendment C93)
21.10 Infrastructure			
21.10-1 Community infrastructure			
<ul style="list-style-type: none"> Health facilities 	Clause 21.08 Infrastructure and Clause 22.03-3 Warrnambool and District Base Hospital	Translate existing policies into revised MSS and incorporate key objectives from the Warrnambool Health and Wellbeing Plan 2013-2017 and the Warrnambool Community Services and Infrastructure Plan 2013.	Stage 1 - immediate (Amendment C93)
<ul style="list-style-type: none"> Education facilities 	Clause 21.08 Infrastructure		
<ul style="list-style-type: none"> Cultural facilitates 	New content		
21.10-2 Distribution of social and cultural infrastructure	New content	To be informed by the Warrnambool Community Services and Infrastructure Plan 2013.	Stage 1 - immediate (Amendment C93)
21.10-3 Development infrastructure			
<ul style="list-style-type: none"> Development contributions plans 	New content	To be informed by existing Development contributions plans.	Stage 1 - immediate (Amendment C93)
<ul style="list-style-type: none"> Water supply, sewerage and drainage 	Clause 21.08 Infrastructure	To be updated to reflect current influences.	Stage 1 - immediate (Amendment C93)

PROPOSED STRUCTURE	CURRENT RELEVANT MSS/LPPF CONTENT	COMMENTS	IMPLEMENTATION/STAGING
<ul style="list-style-type: none"> • Telecommunications • Waste and resource recovery • Survey infrastructure 	<p>New content</p> <p>New content</p> <p>New content</p>		Stage 1 - immediate (Amendment C93)
21.11 Local Areas			
21.11-1 City Centre	New content		
21.11-2 Eastern Activity Centre	New content		
21.11-3 Dennington Activity Centre	New content		
21.11-4 North Merri Growth Area	New content		
21.11-5 Coastal Hopkins Growth Area	New content		
21.11-6 North Dennington Growth Area	New content		
		To be informed by existing structure plans.	Stage 1 - immediate (Amendment C93)