

## CRAMER STREET PRECINCT (H0322)

### Introduction

The following design guidelines assist in the understanding of the unique built form characteristics of the **Cramer Street Heritage Precinct**, Warrnambool.

Warrnambool has 26 heritage precincts which recognise the distinctive heritage character of Warrnambool. Each heritage precinct is now incorporated in the Warrnambool Planning Scheme. The Heritage Overlay within the Warrnambool Planning Scheme lists the types of works to buildings which trigger the need for a planning permit.

If you are considering any works to a property within a heritage precinct, we suggest you contact Council to confirm if a planning permit is required. Council also provides a complimentary Heritage Advisory Service for owners of properties within heritage precincts. Conservation and design advice is readily available by appointment (telephone (03) 5559 4800).

This guideline is intended to encourage and support the retention and enhancement of the historic character of the area. A series of guiding design principles are provided to encourage compatible new development and appropriate minor works or alterations and additions to existing properties.

Historical Background and Significance Statements are referenced from *Warrnambool City Council Heritage Guidelines 2012*.

### Historical Background

The land in Cramer Street was first sold as 12 large residential allotments in 1872, and subsequently subdivided again in the 1890s. Although there are a few Victorian dwellings remaining, the majority of housing stock dates from the turn of the century. The housing stock is a mix of periods, styles and materials ranging from stone villas and houses such as Whitby at 15 Cramer Street with its fine stone battered wall, and the elaborate Victorian stone villa at 21 Cramer Street through to the pair of turn of the century timber houses at 15 and 17 Cramer Street (with a laneway dividing them), the trio of Edwardian matching timber houses at 23, 25 and 27 Cramer Street, and the imposing bungalow with its attic storey at 29 Cramer Street.

The subdivision pattern is standard, with deep allotments with standard frontages for the most part, other than numbers 27 and 29 which are wedge shaped and the unusual irregular shape of 2 Nelson Street, which once formed the apex of a large allotment, 169 of Section 41. The majority of the housing stock in very good condition and retains a high degree of integrity.

### Why is the Cramer Streets Precinct significant?

The Cramer Street Precinct is of historical significance as it illustrates the relative failure of the land speculation in

Warrnambool in the 1870s, which saw extensive subdivisions north of Raglan Parade, set aside for large villa estates. As the majority of this land was purchased, but not built on, it reflects certain social aspects of the early community of Warrnambool, which had a substantial core of middle and working class people rather than upper class families who could afford to establish such large villa estates.

It is of further historical interest as it demonstrates the demand for smaller standard size allotments, some distance from town by the middle class in the 1890s. The precinct is of architectural significance for its range of building materials and styles, including a suburban villa at 21 Cramer Street which is generally Italianate but includes fine Gothic bargeboards on the front gable.

Also of interest is the pair of Edwardian houses at 17 and 19 Cramer Street and the trio of Edwardian timber houses from 23-27 Cramer Street. The bungalows at either end of the precinct are also of architectural interest for their differences, number 11 Cramer Street being a modest single storey bungalow, and number 29 being an imposing attic storey representation.

### What is significant?

The Cramer Street Precinct is entirely residential and almost uniformly single-storey. It begins at number 11 Cramer Street, and continues to number 37 Cramer Street, all allotments being on the north-west side of the street. The Precinct also includes number 2 Nelson Street, located on the corner of Cramer and Nelson Streets.

This small precinct contains a row of relatively consistent style housing facing Cramer Street, dating from the late nineteenth and early twentieth century.

Dwellings are predominantly Edwardian in style, consistently single storey with hipped and gabled roof forms. Dwellings retain masonry chimneys. Verandahs are generally straight or bullnose with decorative cast iron or timber fretwork. Walls are typically masonry, with only a few clad in weatherboard.

Setbacks are consistent with reasonable front and side setbacks. Crossovers access parking and garaging to the rear of dwellings, and there are small street trees of differing species.

Fencing is generally moderate height, masonry or timber palings or pickets. The fence at No 15 has a good example of stone plinth with timber pickets over.

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*Bungalow style dwelling in precinct – with attic rooms. Note: steep pitched roof, feature chimneys, timber battens to gable and front porch – all attributes of precinct*



*'Interwar cottage' style dwelling of design merit, with projecting gable porch and terracotta tile hipped roof – later, but significant development in the precinct*



*C1890s villa – part of the early settlement of the street – note the projecting gable front, bullnose verandah and sandstone retaining fence*



*Early 'Italianate' styled dwelling of historic and architectural merit - note projecting bay window, hipped roof and decorative timber barge boards*

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## H0322 - Cramer Street Precinct Map



Contributory

Non-Contributory

Individually Significant

List of places which contribute to the heritage values of the precinct

### Cramer Street

- 11 Cramer Street - dwelling
- 15 Cramer Street - dwelling - 'Whitby'
- 17 Cramer Street - dwelling
- 19 Cramer Street - dwelling
- 21 Cramer Street - dwelling
- 23 Cramer Street - dwelling
- 25 Cramer Street - dwelling

- 27 Cramer Street - dwelling
- 29 Cramer Street - dwelling
- 31 Cramer Street - dwelling
- 33 Cramer Street - dwelling
- 37 Cramer Street - dwelling

### Nelson Street

- 2 Nelson Street - dwelling

# CRAMER STREET PRECINCT (H0322)

## Design Guidelines - basis

## Suggested Approach

### Subdivision

The generally rectilinear allotment pattern is of heritage value. Dwellings are sited facing the street and are at a consistent setback to the front boundary.

Allotment widths are consistent, with No 2 located on an unusual shaped block but still addressing Cramer Street. Only one allotment in the precinct has been subdivided from the original configuration.

Further subdivision of allotments is not encouraged, as the spatial/ built form character of the locale will be compromised.

Secondary development in rear yards is limited. The built form character of the streetscape should be maintained (dwellings, with open space between) if rear allotment development is considered.

### Demolition

Demolition of a contributory place is not typically supported within the precinct. Demolition of the whole of a building which is a Contributory Element generally has an adverse effect on the significance of a Heritage Place.

Demolition of parts of a Contributory Place visible from the public domain has the potential to adversely affect the significance of the precinct.

Demolition of parts of a place which do not contribute to the significance or the setting of a place may be considered, if removal does not adversely affect the fabric and significant views (setting) of the affected Contributory place within a precinct.

Demolition of Contributory Place dwellings is not supported, as this would result in a loss of heritage fabric.

Removal of rear additions not in character with those typical to the era of significance of the place may be considered by Council. Items to be demolished and replaced will require consideration of the replacement structure when considering the merit of the demolition proposal.

Removal of original timber sash windows or changes in window opening proportions to Contributory places is not supported, where windows can be seen from the streetscape.

### New Buildings

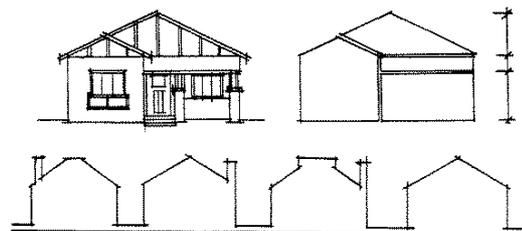
Replacement of non-contributory buildings with new development should be contemporary, but also compatible in design. Compatibility is achieved by considering the key design attributes which comprise the significance of the locale - e.g. setback, scale, roof pitch and line, wall materials, window proportions, fencing and use of verandahs.

Dwellings in this Precinct are single storey, with pitched hipped or gable corrugated galvanised iron or tile clad roofs. Walls are typically masonry, with a minority clad in weatherboard. Most dwellings retain masonry chimneys.

New development should respect the established spatial/ built form pattern of Cramer Street. New buildings should continue the scale and proportion of built form/ open space common to the locale.

The scale, roof pitch and use of materials similar to those common to the area is encouraged. Flat or low pitch roofs, two storey structures and large, wide footprint development on allotments is not supported.

Consistent front setbacks and low fencing is appropriate for new development.



Scale, spatial pattern and proportion is important

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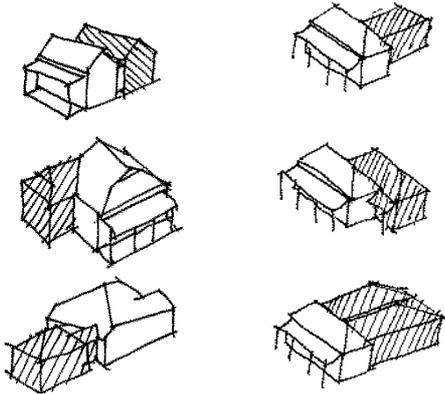
## Design Guidelines - basis

## Suggested Approach

### External Alterations and Additions

The dwellings in Cramer Street within the precinct are moderate in size and single storey in scale – reflecting the type of house constructed north of the Highway during the 1870s in Warrnambool.

Future additions and alterations to these dwellings are possible to suit modern needs, but heritage values - embodied in the external appearance - also need to be considered.



*Additions should maintain the historic form and scale of the dwelling, when viewed from the streetscape*

Upper floor additions are generally not appropriate, as they will alter the scale of the dwelling – and hence compromise the suburban setting of places within the streetscape. Upper floor additions may only be appropriate if sited to the rear of a property and stepped so that new ridge lines do not dominate streetscape views of existing dwellings.

Any proposed additions should be to the rear of existing dwellings, to minimise adverse visual impact on the streetscape. Additions to the side of dwellings are not encouraged, as additions will alter the original scale (width) of dwellings when viewed from the street. Further, construction of additions on to the side boundary are not appropriate if seen from the street, as this alters the spatial/ built form character of the streetscape.

Original timber framed windows facing the street should be retained and repaired where possible. Replacement of later aluminium framed windows with replica original timber windows is encouraged, to improve the historic integrity of dwellings.

Original verandahs should also remain and be maintained, based on original evidence or on similar examples found elsewhere in the street. (based upon the period of construction of the dwelling). Early and original details including cast iron lacework and timber detailing should be reinstated where detail is known.

Alterations to interior finishes and rooms will not impact on the values of the precinct.

### Materials, Colours and Finishes

Dwellings are typically asymmetrical Edwardian style villas, with only a few dwellings of a symmetrical fronted cottage design. Walls are generally masonry with some timber clad examples.

Straight and bullnose pitch verandahs are common to the front, supported by timber posts dressed with timber or cast iron brackets.

Early paint finishes to stucco and render would have been limewash in type.

Roofs were clad in galvanised corrugated iron or terracotta Marseille tiles and are of gable/ hip form and 30 degree in pitch.

Paint colours for timberwork typical to the period include

- Light ochre colours (19<sup>th</sup> century); crème, pale green and mid ochres (20<sup>th</sup> century interwar) to walls
- dark brown, green and Indian red (19<sup>th</sup> century) and lighter crèmes, green or red through to dark brown, red and green (20<sup>th</sup> century interwar) to timber details

Stone and face brick wall finishes should be retained and not be rendered or painted.

Galvanised corrugated steel roofs should be retained and repaired. Tile roofs should be re-clad as historically appropriate with deep profile corrugated, galvanised or mid grey colorbond roof sheeting. Bungalow tiled roofs should be retained and repaired as required.

Early stucco finishes should be painted using matt or low gloss finish paint, to simulate earlier gloss levels and also hide past patching work in stucco.

Replacement gutters should reflect profiles common to the era of construction of the dwelling – 19<sup>th</sup> century = 'ogee' profile, 20<sup>th</sup> century = ½ round and quad profile preferable. Round metal downpipes are recommended – UPVC types have jointing systems which are visually inappropriate to the era of the dwelling.

Gloss finishes to fascias, barges and joinery in colours suggested recommended. Potential for accent colours to be used on front doors.

Roller shutters and obvious window film tints to windows are discouraged.

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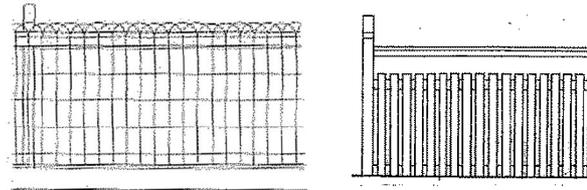
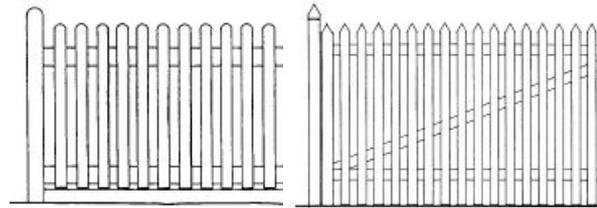
## Suggested Approach

### Fencing

Front fences to this precinct are a combination of masonry walls and timber pickets, sometimes on a masonry plinth. Fences are generally low to moderate height.

New fences should repeat design features of fencing typical to the era of dwellings in the streetscape – including timber picket, low masonry, vertical timber plank, or masonry with low pillars to match the dwelling. All new front boundary fencing should be limited to 1.6 m high maximum.

Rear and side fencing can be replaced to suit where out of view of the streetscape. Corrugated profile sheet or timber plank fences are preferred.



*Timber picket, woven crimp wire and timber paling fences typical to the period of the precinct*

### Carparking/ Garaging

Most dwellings within this precinct have parking and garaging at the rear.

New garages or carports are not permitted forward of dwellings in the streetscape, so the traditional scale and siting of the dwelling remains extant. Materials should reflect those of each dwelling – matching face brick, painted render or timber/ corrugated clad structures are appropriate. Roofing should match that of each dwelling, continuing the established built form character of dwellings in the locale.