

WOODFORD HEIGHTS ESTATE

NORTHERN DEVELOPMENT PLAN

119 Bridge Road, Bushfield

Bushfield | Victoria

March 2023



WARRNAMBOOL PLANNING SCHEME
Approved Development Plan
DP2023-0001
119 Bridge Rd BUSHFIELD
Date: 07.07.2023
Delegate: N. Legoe





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1. Introduction

The Woodford Heights Estate Northern Development Plan has been prepared by Myers Planning and Associates on behalf of BTH Pty Ltd.

The Woodford Heights Estate encompasses approximately 20 hectares of land and is part of the largest rural residential growth area within the City of Warrnambool (the Bushfield-Woodford Rural Residential Growth Area).

Warrnambool is an important city within the Great South Coast Region in terms of its role as a service and retail centre which supports established industries including farming and food manufacturing. Further, Warrnambool's established education presence and other supporting industries makes it a focus for employment in the region. Warrnambool is the western gateway to many of the region's tourist destinations.

Having regard to the strategic role of Warrnambool to the broader region, the purpose of the Woodford Heights Estate Northern Development Plan is to guide the future land use and development of land at Lot 1 on Title Plan 829725T known as 119 Bridge Road, Bushfield.

The planning for the Woodford Heights Estate Low Density Residential Zone area has undergone revision since Council adopted the Woodford Heights Estate Northern Development Plan at the 4 October 2021 Ordinary Council Meeting. Further civil engineering investigations have been undertaken to refine the lot layout and stormwater management regime for the site, resulting in changes to the locations of the former stormwater and open space reserves and

consequential changes in the arrangement and layout of residential lots. These changes are limited to the layout of residential lots and do not affect the layout of connections to Bridge Road. Supporting assessments have been updated where necessary with the exception of the Biodiversity Report (**Appendix J**) and Traffic Impact Assessment Report (**Appendix G**), which comprise illustrations of plans from the previous development plan.

The site remains to be planned in two 'phases', as described in the previous iteration of the Development Plan adopted by Council. Meaning, the first phase comprises the planning and development of existing Low Density Residential Zone land as laid out in this document. The second phase comprises the planning and development of Rural Living Zone land on the subject site, following the result of further investigations for this part of the site's suitability for further rural residential development.

Accordingly, an updated Woodford Heights Estate Development Plan has been prepared in accordance with Schedule 2 to the Development Plan Overlay (Low Density Residential Development Plan). It provides guidance for rural residential development on land at 119 Bridge Road, Bushfield within the Low Density Residential Zone, to ensure a cohesive and integrated development that is appropriate for the area.

This Development Plan identifies where housing lots, roads, reserves and physical infrastructures should be located within the subject site.



The Development Plan is responsive to site conditions including topography, drainage, wastewater disposal, vegetation and abutments to neighbouring uses and other site opportunities and constraints.

The Development Plan has been prepared following consultation with Council and authorities throughout the development plan process.

A number of consultant reports have also been prepared for the site, which influence the approach to the design and layout of development.

These reports can be found in the attached appendices and include:

- Engineering Services Report
- Land Capability Assessment
- Stormwater Management Plan
- Functional Layout Diagram
- Transport Impact Assessment Report
- Approved Cultural Heritage Management Plan
- Landscape Plan
- Biodiversity Assessment



1.1 Development vision

The Woodford Heights Estate Northern Development Plan vision is as follows:

“Bushfield and Woodford are thriving communities with a distinctive pastoral feel. Residents will have the advantages afforded by both urban and rural environments, benefiting from proximity to the City of Warrnambool whilst being part of a thriving rural community, living, socialising and recreating in the rural surrounds of a contemporary rural residential estate.

The lifestyle qualities of Bushfield and Woodford are enriched by a strong connection to their natural surrounds, which encompass the Merri River, and associated hilltops, lowlands and surrounding pastoral landscapes. The Woodford Primary School, Bushfield Community Hall, Jubilee Park, Jellie’s Reserve, Bushfield Recreation Reserve and other public spaces are places greatly valued by residents.

Bushfield and Woodford are great places to live with a unique rural lifestyle atmosphere. Most services are close by and residents will have the choice of walking and cycling to access education and open space infrastructure and short commute’s to major activity centres for higher-order employment, retail, health and recreation services.”

1.2 Design Intent

The Woodford Heights Estate environs comprise a number of features unique to the area, including:

- picturesque pastoral and hinterland views;
- direct access to key arterial roads and close proximity to pedestrian routes;
- proximity to community infrastructure; and
- a large property in a single land holding.

These features provide a natural framework of opportunities and constraints from which to base a site-responsive design. This framework will naturally unveil the structure and staging of lots, infrastructure services, location of building envelopes and open spaces which strongly influence the form of development on the site. Distinctive stages will arise in response to natural elements and infrastructure opportunities.

The design intent for the Woodford Heights Estate is to create an integrated and harmonious rural residential development with high quality built form and landscaping appropriate for its rural context, linked to nearby open space assets and accessible pedestrian routes which integrate well within the surrounding community. The Woodford Heights Estate will provide:

- Housing forms and lot sizes which integrate well within their rural surrounds.
- Additional population which will make a positive contribution to Bushfield-Woodford’s unique sense of community.



- Housing lots which respond to topography and vistas, and an overall subdivision that contains lot sizes appropriate to the area's rural context.
- Lot layout and appropriate building areas designed to achieve optimal northern orientation.
- A network of accessible pedestrian and cycling paths.
- A picturesque public reserve, incorporating neighbourhood scale recreational facilities connected to cycling and pedestrian pathways.
- Quality landscaping to create a high degree of visual amenity, vegetated backdrops to housing and soft edges to built form where seen from key viewing locations.
- Building envelopes to ensure development:
 - is oriented appropriately to key roads and streets;
 - is set-back from the street and between buildings to create a distinct rural character; and
 - allows for adequate on-site wastewater disposal areas.

1.3 Structure of the Development Plan

The Woodford Heights Estate Northern Development Plan is structured in a format which responds to the features of the area and requirements of Schedule 2 to the Development Plan Overlay (Low Density Residential Development Plan). The development plan is structured as follows:

- **Site description** which provides an overview of the subject site and location.
- **Planning context** which provides an overview of the Planning Policy Framework, the Municipal Planning Strategy, zones and overlays affecting the development plan area.
- **Site analysis** which explores surrounding land uses, topography, views and vistas, areas of environmental and cultural significance and existing infrastructure services.
- **Design response** which details the proposed movement network, landscaping plan, open space, lot sizes, appropriate building areas, infrastructure and staging.



2. Site Description

2.1 Site location and context

Warrnambool is Victoria's largest coastal regional city and the fastest growing population centre in southwest Victoria. Warrnambool's population is expected to grow by 24% between 2019 and 2031, with an additional 8,442 residents. To accommodate forecast population growth, Warrnambool City Council requires land within its greenfield residential growth areas to be developed.

Bushfield-Woodford is located approximately 2.5 kilometres north of Warrnambool. The Bushfield-Woodford localities are bound by rural residential lots adjoining the Hopkins Hwy and Barries Road (east), Quinns Road, Merri View Road, Cilmerly Court and The Hill Court (north), Plummers Hill Road and Bridge Road (west) and Mill Street, Brodies Lane and Rodger Place (south).

Primary access to the area is provided via:

- Hopkins Highway (east), which continues through to North Warrnambool (south) and Purnim (north east);
- via Bridge Road (west), which continues through to Dennington (south west) and Mailors Flat (north west) via Caramut Road.

The Warrnambool City-Wide Housing Strategy (2013) recommended a structure plan project be undertaken for Bushfield-Woodford within 2 years of the adoption of the Strategy. No structure plan or strategic framework plan has been adopted by Council for Bushfield-Woodford at the time this report was written.

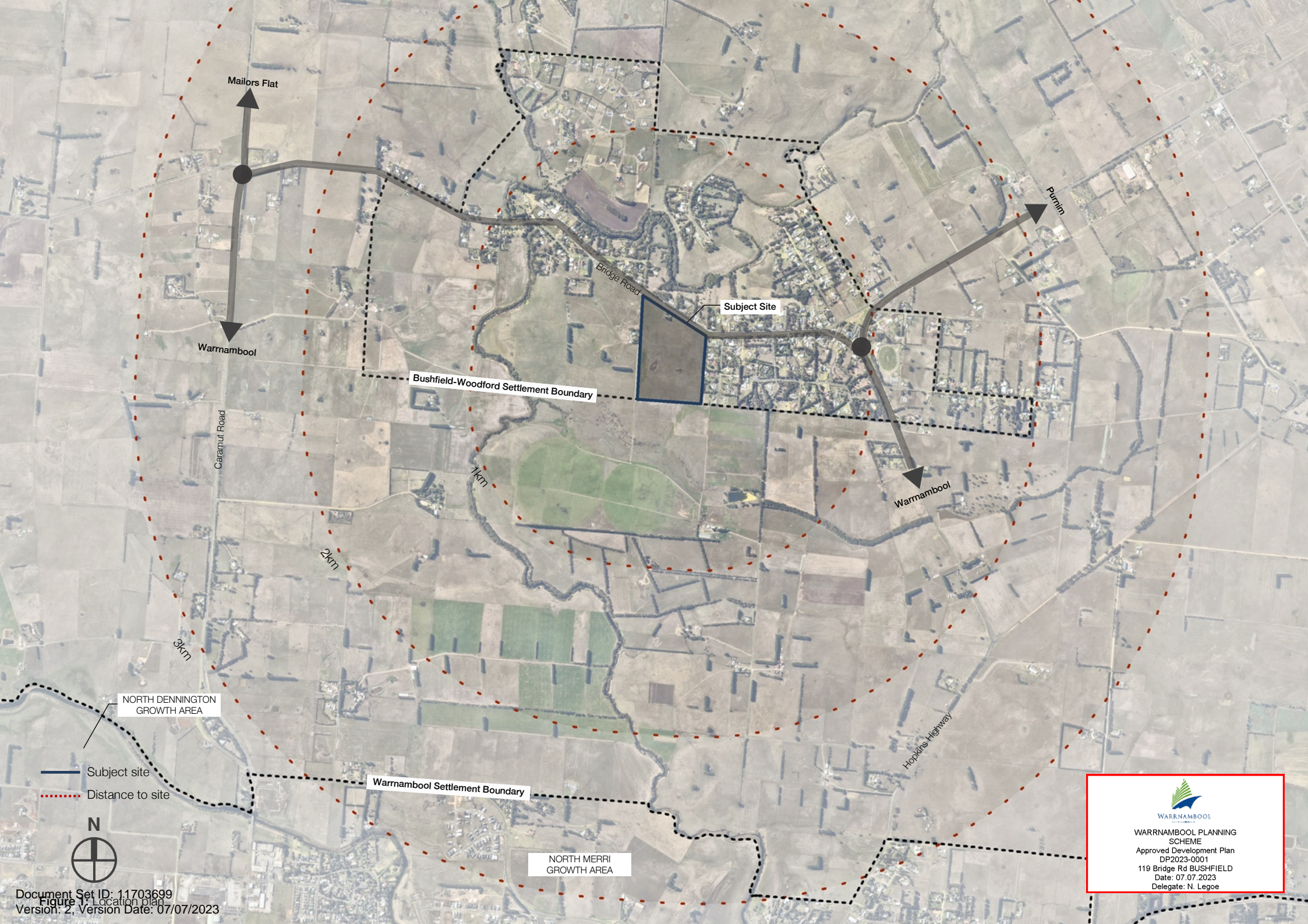


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Development within Bushfield-Woodford has been guided by the zoning regime put in place prior to the 1998 new format planning scheme, comprising vast areas of Rural Living Zone and Low Density Residential Zone land. Opportunistic development of infill and broadacre rural residential lots has occurred over time within these zones on lots in close proximity to essential services, as the supply of available vacant lots has been taken up by local demand. Most recently, this has included land within the Climery and Jellie Estates.

This development plan relates to a property at 119 Bridge Road, Bushfield within part of the Low Density Residential Zone area. The development plan area is bound by Bridge Road to the north, a partially developed road reserve to the west (Brodies Lane), developed rural residential lots to the east and vacant Low Density Residential Zone Land to the south. In total, this area comprises approximately 15 hectares.

For completeness, technical assessments prepared in support of this development plan have included the remaining Low Density Residential Zone Land and balance Rural Living Zone land within their scope of assessment. Relevant matters pertaining to the servicing of this area, land capability, and infrastructure are discussed in this report to demonstrate how the logical sequencing of development within this area may be carried out in future without making any assumptions for this land. It is noted that these areas are not included within the development plan boundary.



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3. Planning context

3.1 Municipal Planning Strategy

The Municipal Planning Strategy is intended to support policy provided within the Planning Policy Framework but provides a localised policy context for the City of Warrnambool. The Municipal Planning Strategy also comprises the vision as set out in the Council Plan (2017-2021).

The following clauses of the Municipal Planning Strategy are relevant to this development plan:

Clause 02.01 Context

Warrnambool is Victoria's largest coastal regional city and is the fastest growing economy and population centre in South West Victoria.

Warrnambool has a steadily growing population of about 35,200 in 2019 (ABS) that is expected to increase to 43,000 people by 2031. The majority of the population is in Warrnambool, Dennington, Allansford, Bushfield and Woodford.

Clause 02.02 Vision

The Council Plan (2017-2021) sets out the following vision for Warrnambool:

'A cosmopolitan city by the sea'.

The Council Plan identifies four objectives relevant to land use planning:

- *Sustain, enhance and protect the natural environment.*
- *Foster a healthy, welcoming city that is socially and culturally rich.*
- *Maintain and improve the physical places and visual appeal of the city.*

- *Develop a smarter economy with diverse and sustainable employment.*

Clause 02.03 Strategic Directions

- Clause 02.03-1 Settlement

Urban Growth

Warrnambool's urban settlement boundaries and growth areas are identified on the Warrnambool Strategic Framework Plan at Clause 02.04. Warrnambool is forecast to grow at 1.4 per cent per annum until 2040 requiring about 250 new dwellings per year to meet demand.

Council has around 20.4 years supply of zoned residential land (Warrnambool Residential Land Supply Report 2021).

- Clause 02.03-2 Environmental and Landscape Values

Biodiversity

The Merri River, Hopkins River and associated wetlands and floodplains form a highly significant coastal wetland system that provides important habitat for listed species of flora and fauna.

Council's strategic directions for biodiversity include:

- o Protecting and enhancing sites of biodiversity conservation significance.
- o Providing wildlife habitat and corridors for vulnerable and threatened flora and fauna species in coastal reserves.



Significant environments and landscapes

The natural landscape is an important asset of the municipality that requires protection from inappropriate use and development. The city's landscape character is framed by the ocean, the Merri River, the Hopkins River, inland hilltops, ridgelines and surrounding rural areas. Norfolk Island Pines lining the Princes Highway median and other streets are also important local landscape features.

Council's strategic directions for significant environments and landscapes include:

- Protecting coastal areas, waterways and sensitive ecosystems from the detrimental impacts of urban and rural development.
- Protecting significant landscapes and landforms from inappropriate development.

- **Clause 02.03-3 Environmental risks and amenity**

Climate change

Climate change presents a threat to the natural and built coastal environment, to the community and to economic activity.

Council's strategic directions for climate change include:

- Adapting to the impacts of a changing climate.

Bushfire

There are a number of settlements that are at significant risk from bushfire, including Woodford and Bushfield, the coastal area of Warrnambool and the grassland interface of Warrnambool. Fires from inadequate separation between vegetation and powerlines also poses a risk.

Council's strategic direction for bushfire is:

- Planning for and managing bushfire risk.

- **Clause 02.03-4 Natural resource management**

Catchment Planning

The Merri River loops around the northern and western parts of the city and has poor water quality, but supports several native species. The river has been adversely impacted by urban activity and requires enhancement and restoration.

Council's strategic directions for catchment planning are:

- Retaining the Hopkins and Merri River environs as natural drainage corridors with vegetated buffer areas.
- Minimising the impact of use and development on water resources and waterways.

- **Clause 02.03-8 Transport and Infrastructure**

Transport

Warrnambool residents are currently heavily reliant on personal motor vehicles for transport. The Sustainable Transport Strategy (WCC, 2010) seeks to improve walking and cycling infrastructure and to encourage residents and visitors to use these transport modes and public transport more often.

Council's strategic directions for transport include:

- Providing an integrated transport network.
- Facilitating the use of sustainable transport modes



Open space

Warrnambool's open space network is identified on the Warrnambool Strategic Framework Plan at Clause 02.04. While overall provision of open space in Warrnambool is good, there are some areas where residents do not have access to open space within walking distance of home.

Council's strategic directions for open space are:

- Facilitating high quality open space within walking distance for all residents.
- Improving access to waterways to provide important recreational opportunities.
- Improving connectivity between open spaces and access to off-road trails.

Development infrastructure

The design, management and delivery of infrastructure are key issues for Council. The Infrastructure Design Manual (LGIDA, 2020) includes guidelines for the design and construction of infrastructure within the municipality including (among other things) roads, drainage, stormwater, car parking, landscaping, access, earthworks and intersection infrastructure. The settlements of Bushfield and Woodford are not connected to reticulated sewerage services and their soils have limited capacity to carry much further growth in septic systems.

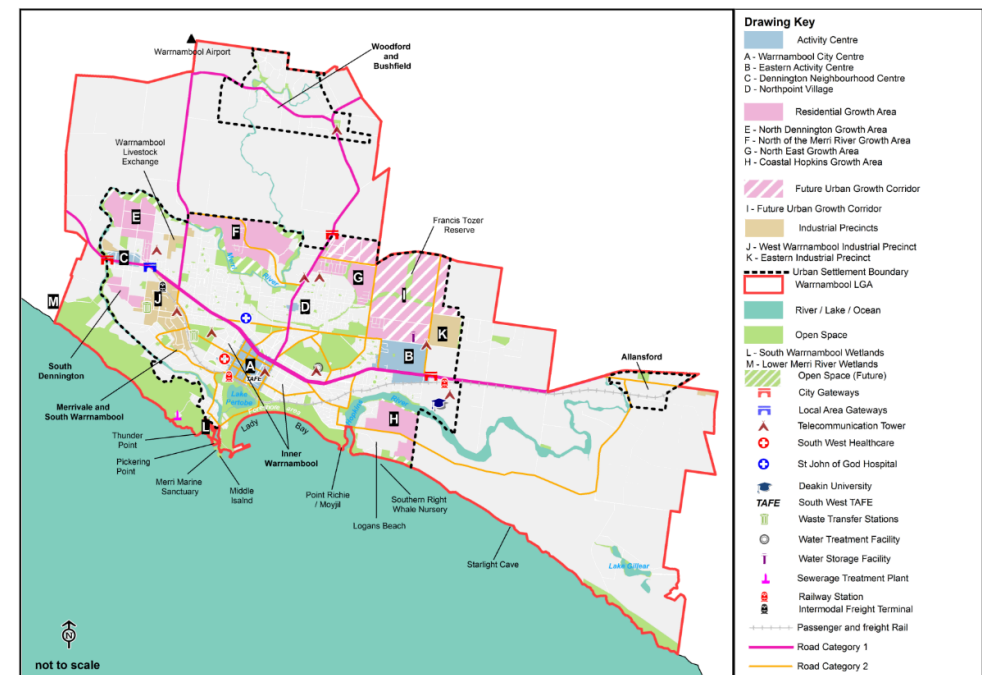
Council's strategic directions for development infrastructure are:

- Minimising stormwater runoff into the catchments by the use of water sensitive urban design and utilising open spaces to act as floodways.

- Providing for the sustainable planning, design and construction of infrastructure.

Clause 02.04 Strategic Framework Plan

The above policies direct and encourage residential growth within Warrnambool's established settlement boundaries. The policies also identify that future development within urban areas should provide opportunities to deliver a variety of dwelling types with varying development densities, subject to infrastructure availability. The MPS policies should be read in conjunction with Clause 02.04 which provides for the Strategic Framework Plan for the City of Warrnambool (Figure 2 below). The plan clearly shows the Urban Settlement Boundary for Woodford and Bushfield.



3.2 Planning Policy Framework

The Planning Policy Framework comprises general principles for land use and development in Victoria. The following clauses of the Planning Policy Framework are relevant to this development plan:

Clause 11 'Settlement' sets out that:

Planning is to recognise the need for, and as far as practicable contribute towards:

- Health, wellbeing and safety.
- Diversity of choice.
- Adaptation in response to changing technology.
- Economic viability.
- A high standard of urban design and amenity.
- Energy efficiency.
- Prevention of pollution to land, water and air.
- Protection of environmentally sensitive areas and natural resources.
- Accessibility.
- Land use and transport integration.

Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services.

Clause 11.01-1S 'Settlement' seeks to promote the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements. In addition to focusing investment and growth to places of state significance in Metropolitan Melbourne, investment and growth is also directed to major regional cities (such as Warrnambool).

Building upon this policy, Clause 11.01-1R 'Settlement - Great South Coast' supports the role of Warrnambool as the key population and employment centre within the region.

The proposed development responds to this objective and seeks to provide for low density residential opportunities that are generally consistent with the local area and within a township closely located to the City of Warrnambool. It will also increase the available supply of serviced lots and further advance housing growth for the City of Warrnambool.

Clause 11.02-3S 'Sequencing of development' seeks to ensure that new development is coordinated with the provision of appropriate infrastructure. The proposed development plan will ensure that the development is appropriately staged, particularly with regard to water supply, sewerage and drainage works. While there is no structure plan for the area, there is a clear strategic intention to prepare such a plan for the Bushfield-Woodford area.

Clause 11.03-3S 'Peri-urban areas' encourages development of residential areas at the residential-rural interface in a manner that will protect the values of the rural setting and the surrounding productive agricultural landscape.



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Clause 12 'Environment and landscape values' set out that:

Planning should help to protect the health of ecological systems and the biodiversity they support (including ecosystems, habitats, species and genetic diversity) and conserve areas with identified environmental and landscape values.

Clause 13.01-2S 'Bushfire Planning' must be applied to all planning and decision making under the Planning and Environment Act 1987 relating to land that is within a designated bushfire prone area. The preparation of the development plan has considered the risk of bushfire with regard to the future subdivision and development of dwellings.

The subject site is within a designed bushfire prone area but is not included within the Bushfire Management Overlay. The subject site is considered to be within Landscape 'Type 1' (BMO Technical Guide - DELWP 2017) on the basis that:

- There is little vegetation beyond 150 metres of the site (except grasslands and low threat vegetation).
- Extreme bushfire behaviour is not possible.
- The type and extent of vegetation is unlikely to result in neighbourhood-scale destruction of property.
- Immediate and open access is available to relocate to other parts of the township (Woodford and Bushfield) or to relocate to Warrnambool via Bridge Road-Hopkins Highway or Bridge Road-Caramut Road.
- The subject land is located in close proximity to roads and buildings.

- The topography of the land surrounding the subject site is relatively flat, with gentle slopes descending from Bridge Road towards the Merri River (north) and Sawpit Creek (south).

In addition, the majority of lots have access to Low fuel/BAL LOW areas in accordance with the definition contained in Australian Standard AS3959 Building in a Bushfire Prone Area and there is ample space within each individual lot to manage defendable space to a BAL 12.5 standard.

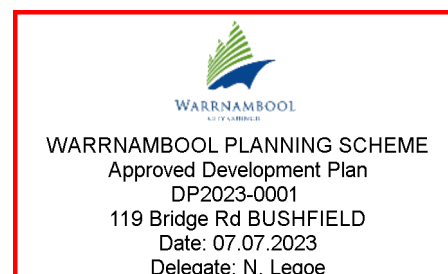
Clause 14 'Natural resource management' sets out that:

Planning is to assist in the conservation and wise use of natural resources including energy, water, land, stone and minerals to support both environmental quality and sustainable development.

Clause 14.02-1S 'Catchment planning and management' seeks to minimise the impacts of stormwater upon waterways. The development plan is accompanied with a Stormwater Management Plan (SITEC) which sets out measures to maximise the quality of stormwater runoff from the development plan area. Stormwater will be filtered of sediment and waste and detained sufficiently to discharge at pre-development flows.

Clause 15 'Built environment and heritage' sets out that:

Planning is to recognise the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods.



Planning should ensure all land use and development appropriately responds to its surrounding landscape and character, valued built form and cultural context.

Planning should protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.

Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.

Planning should promote development that is environmentally sustainable and should minimize detrimental impacts on the built and natural environment.

Planning should promote excellence in the built environment and create places that:

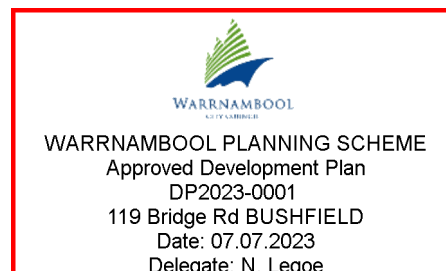
- Are enjoyable, engaging and comfortable to be in.
- Accommodate people of all abilities, ages and cultures.
- Contribute positively to local character and sense of place.
- Reflect the particular characteristics and cultural identity of the community.
- Enhance the function, amenity and safety of the public realm.

As encouraged by Clause 15.01-1S 'Urban design', the proposed subdivision and road layout responds to natural features. Proposed landscape treatments, building setbacks and guidelines for outbuildings, will ensure development responds to the surrounding landscape, natural features and the existing character of the area. The public realm has been designed to be attractive with safe access to walking and cycling paths. The proposed development also seeks to integrate with the existing transport network and encourages walking and cycling through the provision of footpaths and road crossing linkages to the wider pedestrian network.

Of relevance to this development plan, Clause 15.01-3S 'Subdivision design' sets out:

In the development of new residential areas and in the redevelopment of existing areas, subdivision should be designed to create liveable and sustainable communities by:

- Creating compact neighbourhoods that have walkable distances between activities.
- Creating urban places with a strong sense of place that are functional, safe and attractive.
- Creating landscaped streets and a network of open spaces to meet a variety of needs with links to regional parks where possible.
- Protecting and enhancing native habitat.



- Facilitating an urban structure where neighbourhoods are clustered to support larger activity centres served by high quality public transport.
- Reduce car dependency by allowing for:
 - Convenient and safe public transport.
 - Safe and attractive spaces and networks for walking and cycling.
 - Subdivision layouts that allow easy movement within and between neighbourhoods.
- A convenient and safe road network.
- Being accessible to people with disabilities.
- Creating an urban structure and providing utilities and services that enable energy efficiency, resource conservation, integrated water management and minimisation of waste and air pollution.

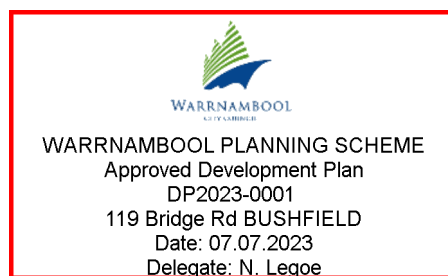
The development plan implements this policy in the following ways:

- The development plan promotes a permeable movement network with a focus on safe and efficient walking and cycling paths. Residents will have the choice of walking or cycling to local points of interest and commuting by private vehicle to major activity centres.
- Proposed lot sizes are consistent with the surrounding area and are appropriate to the site's rural setting. Infrastructure services are provided and contribute to the scarce supply of serviced rural residential land for current and future residents.

- The proposed development adds to the variety of lot sizes across the City and provides rural residential properties within close proximity to infrastructure, education and community services.
- The development plan incorporates passive open space areas and linkages which extends across the estate and connect to the surrounding pedestrian network. Landscape treatments within the streetscape will reinforce the distinctive rural 'feel' of the estate.
- Ecological values are protected and enhanced. The development plan includes appropriate vegetation links along internal roads and within private property and encourages the planting of native species throughout the development plan area.
- The development is unlikely to have any adverse environmental impacts, including any impacts on threatened flora, fauna or areas of aboriginal cultural heritage.
- The proposed development provides an appropriate stormwater drainage strategy and informal/passive outdoor recreation areas, which will directly service the estate.

Clause 15.01-4S 'Healthy neighbourhoods' seeks to ensure neighbourhoods are designed to foster community interaction and make it easy for people of all ages and abilities to live healthy lifestyles and engage in regular activity.

The development plan has a strong emphasis on fostering community interaction and encouraging physical activity. The development plan establishes a continuous



system of pedestrian and bicycle paths along all streets, linking to open space and public transport within the development plan area and beyond.

Clause 15.01-6S 'Design for rural areas' seeks to ensure development respects valued areas of rural character. Of relevance to this development plan, this clause sets out to:

- Ensure that the siting, scale and appearance of development protects and enhances rural character.
- Protect the visual amenity of valued rural landscapes and character areas along township approaches and sensitive tourist routes by ensuring new development is sympathetically located.
- Site and design development to minimise visual impacts on surrounding natural scenery and landscape features including ridgelines, hill tops, waterways, lakes and wetlands.

The development plan has a strong emphasis on protecting immediate approaches to the site by setting development back behind service roads, planted out with native vegetation as to maintain the rural 'feel' of the area. The style of infrastructure (including roads, drainage and footpaths) is designed to maintain a rural feel by utilising rural materials. Views through the development to pastoral lands south of the area are strategically placed throughout the development to ensure continued enjoyment of the rural landscape and to maintain the area's rural character.

Clause 15.03-2S 'Aboriginal cultural heritage' seeks to ensure the protection and conservation of places of Aboriginal cultural heritage significance. The

development plan is accompanied by a Cultural Heritage Management Plan, which identified no indigenous cultural materials or artefacts were located during the site assessment.

Clause 16 'Housing' sets out that:

Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.

Planning should ensure the long-term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.

Planning for housing should include the provision of land for affordable housing.

The development plan is consistent with these objectives as it will increase the supply of developed rural residential zoned land to contribute to short and medium term demand for rural residential development, and will integrate new proposed infrastructure and services with surrounding infrastructure.

The development plan implements policy at Clause 16.01-1S 'Housing Supply' which seeks to facilitate well-located, integrated and diverse housing that meets community needs.

Clause 16.01-3S 'Rural residential development' seeks to identify land suitable for rural residential development. Of relevance to this development plan, this clause sets out to:



- Manage development in rural areas to protect agriculture and avoid inappropriate rural residential development.
- Encourage the consolidation of new housing in existing settlements where investment in physical and community infrastructure and services has already been made.
- Ensure planning for rural residential development avoids or significantly reduces adverse economic, social and environmental impacts by (overleaf):
 - Maintaining the long-term sustainable use and management of existing natural resource attribute in activities including agricultural production, water, mineral and energy resources.
 - Protecting existing landscape values and environmental qualities such as water quality, native vegetation, biodiversity and habitat.
 - Minimising or avoiding property servicing costs carried by local and state governments.
 - Maintaining an adequate buffer distance between rural residential development and animal production.

Of relevance to this development plan, Clause 16.01-3R 'Rural residential development - Great South Coast' seeks to support rural residential development in locations that:

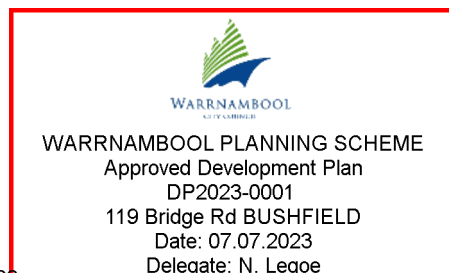
- Are adjacent to towns with limited growth demand to sustain population levels and communities.
- Are not strategically identified for standard density urban growth.

Clause 16.01-3L 'Rural living' applies to land within the Low Density Residential Zone (LDRZ) and Rural Living Zone (RLZ). The following strategies to are relevant to this proposal:

- Discourage rural living and low density residential subdivision where it would prejudice conventional long-term residential development.
- Limit rural living and low density residential development in Bushfield, Woodford and Allansford to existing zoned land.
- Maintain the Rural Living Zone as a buffer between residential areas and surrounding farms in Bushfield and Woodford to limit the impact of residential development on adjacent farmland.

Clause 18 'Transport' sets out that planning should ensure an integrated and sustainable transport system. Clause 18.01-1S 'Transport System' seeks to facilitate the efficient, coordinated and reliable movement of people and goods by developing an integrated and efficient transport system. Clause 18.02-3S 'Sustainable and safe transport' seeks to facilitate an environmentally sustainable transport system that is safe and supports health and wellbeing. The development plan promotes a highly permeable movement network with a focus on safe and efficient walking and cycling paths. Residents will have the choice of walking, cycling or using public transport for their daily needs and to support healthy lifestyles. In doing so, the development plan also supports Clause 18.02-1S 'Walking' and Clause 18.02-2 'Cycling'.

The objective of Clause 19.02-6S 'Open space' seeks to establish, manage and improve a diverse and integrated network of public open space that meets the



needs of the community. Clause 19.02-6L 'Open space' also aims to develop an open space network that protects the municipality's natural and cultural environments and enhances biodiversity and water quality.

The proposed development is generally consistent with these policies as the development will provide public open space areas linked to the wider pedestrian network, and a mix of natural features (i.e. landscaped areas and a drainage wetland) amongst passive outdoor recreation areas.

The development plan also implements key policy within Clause 19 'Infrastructure' such as Clause 19.03-2S 'Infrastructure design and provision', Clause 19.03-2L 'Infrastructure design and planning', Clause 19.03-3S 'Integrated water management' and Clause 19.03-3L 'Integrated water management'. The development plan encourages the provision of infrastructure in a way that is efficient, accessible and timely.



3.3 Zones

Low Density Residential Zone

The development plan area is zoned for rural residential purposes (Low Density Residential Zone) which seeks to:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.

Use of land for a dwelling

Under the Low Density Residential Zone, a planning permit is not required to use land for a 'Dwelling'.

A lot may be used for one or two dwellings provided the following requirements are met:

- All wastewater from each dwelling must be treated and retained within the lot in accordance with the State Environment Protection Policy (Waters of Victoria) under the *Environment Protection Act 1970*.
- Each dwelling must be connected to a reticulated potable water supply or have an alternative potable water supply, with appropriate storage capacity, to the satisfaction of the responsible authority.

- Each dwelling must be connected to as reticulated electricity supply or have an alternative energy supply to the satisfaction of the responsible authority.

These requirements also apply to a dependent person's unit.

Subdivision

A planning permit is required to subdivide land. An application to subdivide land must meet the following requirements of the Warrnambool Planning Scheme:

- Each lot must be at least 0.4 hectare for each lot where reticulated sewerage is not connected.
- The application must be accompanied by a report that includes a land assessment, which demonstrates that each lot is capable of treating and retaining all wastewater in accordance with the State Environment Protection Policy (Waters of Victoria) under the *Environment Protection Act 1970*.
- The application must show for each lot:
 - A building envelope and driveway to the envelope.
 - Existing vegetation.
 - In the absence of reticulated sewerage, an effluent disposal area.
- The application must show how the proposed subdivision relates to the existing or likely use and development of adjoining and nearby land.
- If a staged subdivision, the application must show how the balance of the land may be subdivided.

- An application must demonstrate how the requirements of Clause 56.07-1 to 56.07-4 have been considered.

Buildings and works

A permit is required to construct or carry out any of the following:

- A building or works associated with a use in Section 2 of Clause 32.03-1.
- An outbuilding which has dimensions greater than those specified in a schedule to this zone (none apply).

This does not apply to structural changes to a dwelling provided the size of the dwelling is not increased or the number of dwellings is not increased.

Transport Zone – Principal road network (TRZ2)

Bridge Road is included within the Transport Zone – Principal road network (TRZ2). The purpose of the Transport Zone is to identify significant existing roads within the 'principal road network' and provide for the use and development of land that complements, or is consistent with, the transport system or public land reservation.



3.4 Overlays

Development Plan Overlay

The development plan area is currently included within Schedule 2 to the Development Plan Overlay (**DPO2**).

The purpose of this overlay is to ensure that the form and conditions of future use and development within 'low density' areas are shown on a development plan prior to subdivision and development occurring on the land.

As noted in **Section 1**, the planning for the Woodford Heights Estate will be undertaken in two 'phases'. The planning for the Woodford Heights Estate Low Density Residential Zone area will be undertaken in two phases. The first phase comprises the planning and development of part of the existing Low Density Residential Zone land as laid out in this document. The second phase will comprise the planning and development of the remaining Low Density Residential Zone.

A list of items covered by **DPO2** is outlined in the next section.



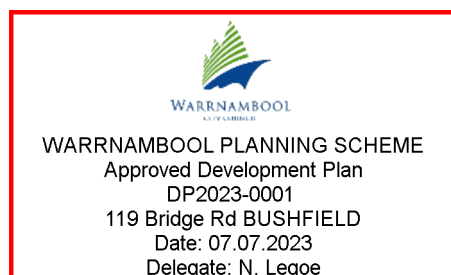
4. Schedule 2 to the Development Plan Overlay

A list of requirements for development within Schedule 2 to the Development Plan Overlay before a permit is granted is outlined below. It is noted that the development plan comprised within this report is sought under Schedule 2 to the Development Plan Overlay.

Requirements before a permit is granted (Schedule 2 to the Development Plan Overlay)	
Plan, assessment and/or matter to be considered	
A development plan is required to be submitted and approved by the responsible authority prior to subdivision of the land into more than two lots.	
Site Analysis	Topography.
	Existing vegetation.
	Drainage lines.
	Existing buildings.
	Sites of conservation, heritage or archaeological significance.
	Other features.
Soil and Water Report	Demonstrate that the lot sizes proposed are capable of adequately treating and retaining all wastewater within the boundaries of the lot.

Requirements before a permit is granted (Schedule 2 to the Development Plan Overlay)		
Appropriate Building Areas		Suitability for the construction of dwellings and other buildings.
		Slope.
		Inundation.
		Remnant vegetation.
		Proximity to neighbouring properties used for farming purposes.
Landscaping Plan		Location of existing vegetation to be retained and proposed vegetation.
Management of sites of conservation, heritage or archaeological significance during construction phase of subdivision.		
Suitable road and pedestrian linkages between the site and adjacent areas.		
Arrangements for the provision and funding of physical infrastructure.		
Staging of subdivision.		

A consolidated list of conditions and requirements for permits is outlined in the table contained below.



Conditions and requirements for permits (Schedule 2 to the Development Plan Overlay)
Plan, assessment and/or matter to be considered
Constraints on subdivision or particular requirements identified in the preparation of the Development Plan should be reinforced by the placement of appropriate conditions on the permit for subdivision of the land.
Where reticulated sewerage infrastructure is not available all lots proposed must be shown to be capable of adequately treating and retaining wastewater within the boundaries of the lot by the submission of soil percolation test, if required by the responsible authority. The responsible authority must require the submission of soil percolation tests in an area affected by an Environment Significance Overlay. Should the soil percolation tests not correspond with information provided in the preparation of the Development Plan, the Development Plan should be amended accordingly.
All roads which provide direct access to the site must be sealed. Should such a road be identified as Road Zone Category 1 or 2 the responsible authority will determine the standard of road construction.
A permit application for a building proposed to be located in an area which is not nominated as an Appropriate Building Area must be accompanied by supporting information which shows the proposed dwelling will not cause a

Conditions and requirements for permits (Schedule 2 to the Development Plan Overlay)

significant impact on the local environment. This information may address management of remnant vegetation, soil stability, drainage disposal or similar matters as considered appropriate by the responsible authority.

No permit is required for the construction of a dwelling or associate outbuilding within an Appropriate Building Area nominated on the Development Plan, unless a permit is required by another clause of the Warrnambool Planning Scheme.

These aforementioned items have guided the preparation of the development plan (this report) and the following reports and assessments which have informed the preparation of the development plan:

Approved Cultural Heritage Management Plan

Urban Colours Art and Cultural Heritage Consultant, January 2021

Engineering Services Report

SITEC Pty Ltd, March 2023

Land Capability Assessment

SITEC Pty Ltd, February 2023

Stormwater Management Plan

SITEC Pty Ltd, February 2023

Functional Design and Layout Plan

SITEC Pty Ltd, February 2023

Transport Impact Assessment Report

ESR Transport Planning Pty Ltd, September 2020

Biodiversity Assessment

Landtech Consulting Pty Ltd, April 2021

Landscape Plan

SITEC Pty Ltd, March 2023



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5. Site analysis, issues and opportunities

5.1 Land uses

The development plan area comprises one landholding of approximately 20 hectares. Approximately 15 hectares of this land is located within the Low Density Residential Zone (LDRZ). This development plan applies to approximately 9.64 hectares of this area.

The planning for the Woodford Heights Estate Low Density Residential Zone area will be undertaken in two phases. The first phase comprises the planning and development of part of the existing Low Density Residential Zone land as laid out in this document. The second phase will comprise the planning and development of the remaining Low Density Residential Zone.

The property currently comprises perimeter fencing of post and wire construction and has been historically used as a farming property.

The development plan interfaces comprises:

- a frontage to Bridge Road of approximately 451 metres to the north, which is an arterial road. Land beyond the Bridge Road road reserve to the north comprises small residential lots in the Rural Living Zone;
- a boundary to Brodies Lane of approximately 450 metres to the west. A landholding beyond the Brodies Lane road reserve to the east comprises 55 hectares of land used for farming. This land contains two dwellings and comprises land partially contained in the Low Density Residential Zone and Rural Living Zone;

- a boundary to four developed lots in the Low Density Residential Zone of approximately 280 metres to the east.
- a boundary to Rural Living Zone land of approximately 385 metres to the south.

A number of other significant land uses are located beyond these direct interfaces. These include the Woodford Primary School (located 720 metres northeast of the subject site's northern boundary) and the Bushfield Community Hall and Recreation Reserve (located 960 metres east of the subject site's eastern boundary).

No easements or encumbrances affect the subject site.

A historical, and now redundant, dashed vinculum across Bridge Road is shown on the relevant copy of title.





Design considerations:

- The development plan provides an attractive interface to existing rural residential lots and to the main thoroughfare of the township (Bridge Road).
- The development plan provides opportunities (within the road network and private gardens) for landscaping to assist in integrating the development with the rural surrounds and existing rural residential development.
- The development plan provides opportunities to coordinate land development within the existing Low Density Residential Zone, without compromising the desired development outcomes for areas beyond the development plan area and the subject site.
- The development plan provides opportunities to link the subject site to undeveloped Low Density Residential land to the west and south of the development plan area.
- The development plan provides linkages with the existing pedestrian and bicycle network.

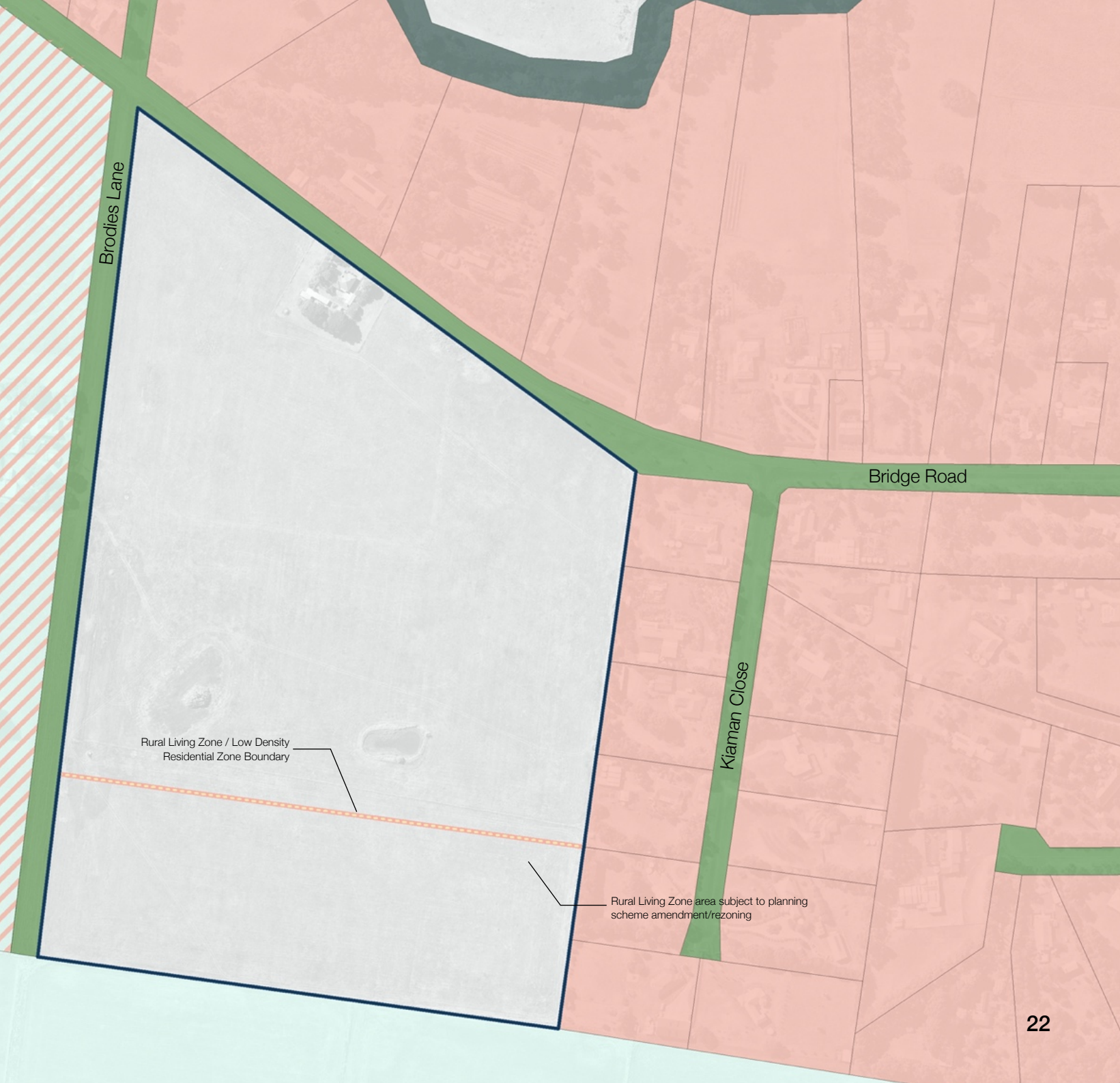


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- Developed low density residential land
- Active farming land
- Farming land with rural residential development potential
- Road reserve
- Merri River reserve



Figure 2: Land uses



5.2 Topography and views

The subject site adjoins a ridgeline which falls from the Bridge Road road reserve in a generally southern direction towards Sawpit Creek (south of the subject site). The highest point on the subject site is located east of centre on the northern boundary at approximately 45 metres AHD, while the lowest point is located approximately 370 metres south-east of this point at approximately 30.5 metres (AHD). These figures equate to a slope of approximately 2 degrees. Land continues to graduate gently to its lowest point within the surrounding catchment on land adjoining the site to the south, towards Sawpit Creek. Land to the south, southeast and southwest of the site rises gradually to a vegetated ridgeline located approximately 800 metres from the southern boundary of the subject site.

Because of these elevations, the subject site contains desirable long-distance panoramic views of predominantly grazed and irrigated farmland.

Figure 3 (overleaf) shows view lines along Bridge Road towards key aspects.

The development plan area is visible from the Bridge Road road reserve and from cleared farmland to the west of the site. It is noteworthy that most dwellings on the northern side of the Bridge Road road reserve have landscaped this aspect out of view in favour of view lines north of the ridge toward the Merri River. Similarly, adjoining rural residential lots to the east have heavily landscaped their rear boundary and have oriented residential buildings in favour of aspects to the east and south of the subject site.

Design considerations:

- Lots should be oriented to capture key views. Open spaces should be located to take advantage of key vantage points.
- Lots should be designed to achieve optimal northern orientation.
- Building heights have been limited to ensure dwellings nestle within a vegetated setting and do not dominate the landscape character of the area.
- Roads should incorporate wide nature strips to allow for canopy tree plantings.
- Road access should be located for optimal site lines and vehicle and pedestrian safety.
- Extensive planting will be provided within private gardens (minimum of three canopy trees per lot) to assist integrate development within the rural surrounds and existing rural residential development.



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Figure 3: Topography + views

5.3 Drainage, waterways and vegetation

Land within the development plan area has been subject to extensive clearing and modification through agricultural use and is dominated by exotic vegetation (open pasture) and exotic weeds. Eight (8) recently planted Silver Banksia's (*Banksia marginata*) are located on the adjoining Bridge Road road reserve near the north-eastern boundary of the site. No native vegetation is located on the subject site. See **Appendix J** (Biodiversity Assessment) for further details.

No natural or man-made water courses are located on the subject site. A man-made stock dam is located within the mid-section of the subject site.

Collection and discharge of urban stormwater from within the development plan area will need to be treated through Water Sensitive Urban Design measures to ensure appropriate treatment of run-off arising from future rural residential development. The existing dam area is located on a suitable point for stormwater capture for development located north of this area.

The Stormwater Management Plan (SITEC, February 2021) which accompanies this development plan, identifies that this area and land directly south of the dam toward the southern boundary of the property comprises a suitable area for a drainage basin and wetland system.

This area also contains a key vantage point to views to the south and offers high amenity for active and passive recreation opportunities.

Design considerations:

- Roads will be aligned to allow for overland flows along natural drainage lines.
- Water sensitive urban design infrastructure and techniques will be utilised in road reserves, public reserves and elsewhere to appropriately treat stormwater before discharge.
- The final stormwater drainage discharge option/s will be determined in the approved Stormwater Management Plan.
- Rooftop stormwater discharge will be minimised through a requirement for each house to retain stormwater as drinking water in fresh water tanks and for fire-fighting purposes.
- Roads incorporate wide nature strips to allow for extensive substantial vegetation.

Guidelines for planning permit applications:

- Applications for subdivision must be accompanied with a Stormwater Management Plan which identifies drainage requirements (including interim measures) for each stage of subdivision, generally consistent with the Development Plan.



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Figure 4: Vegetation, waterways + drainage

5.4 Bushfire

The land is within a designated Bushfire Prone Area but is not included within the Bushfire Management Overlay.

All planning and decision making under the Planning and Environment Act 1987 relating to land that is within a designated bushfire prone area must consider Clause 13.01-2S 'Bushfire Planning', as appropriate.

Accordingly, an assessment of risk (landscape and site) commensurate with the scale and location of the proposal is discussed below.

Landscape bushfire risk

The subject site is considered to be within Landscape 'Type 1' (BMO Technical Guide - DELWP 2017) on the basis that:

- There is little vegetation beyond 150 metres of the site (except grasslands and low threat vegetation).
- Extreme bushfire behaviour is not possible.
- The type and extent of vegetation is unlikely to result in neighbourhood-scale destruction of property.
- Immediate and open access is available to relocate to other parts of the township (Woodford and Bushfield) or to relocate to Warrnambool via Bridge Road-Hopkins Highway or Bridge Road-Caramut Road.
- The subject land is located in close proximity to roads and buildings.

- The topography of the land surrounding the subject site is relatively flat, with gentle slopes descending from Bridge Road toward Sawpit Creek (south) and the Merri River (north).

Site Assessment

- The land is located within a Bushfire Prone Area.
- There is no Bushfire Management Overlay present on the site or surrounding grassland.
- Within 150 metres of the subject land, the predominant vegetation type is grassland or low threat vegetation (see Figure 5).
- The topography of the land surrounding the subject site is relatively flat, with gentle slopes towards the Merri River (north) and Sawpit Creek (south), with an approximate slope of 2 degrees across the subject site.
- Buildings will be required to be set back at least 19 metres from grassland on adjoining properties to ensure a radiant heat exposure of less than 12.5kW/m².
- Along the southern and western boundary this setback will need to be from the boundary of the site as grassland directly abuts these interfaces.
- A road reserve adjoins the western boundary of the subject site with a partially constructed road, which is considered to be low threat vegetation and can be incorporated into these setbacks. Beyond this land to the west, is a dwelling on land zoned Low Density Residential Zone and Rural Living Zone, which also contains an agricultural use.



- To the east of the subject site adjoins developed Low Density Residential Zone land. Vegetation within these sites is considered to be low threat vegetation and can be incorporated into these setbacks.

The above withstanding, the fire risk from ember attack and management of grassland during the fire danger period should be considered as part of the management of subsequent lots to be developed.

Design considerations

- Ensure all lots are designed to manage defendable space requirements within each individual lot to no more than a BAL 12.5 rating.
- Ensure all lots are capable of supplying 10,000 litre reserve capacity within on-site water tanks.



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Grassland Vegetation
Low Threat Vegetation



Sawpit Creek

Albert Street

Bridge Road

Brodies Lane

Kiaman Close

Rodger Place

Merri River

5.5 Geology and soils

The site's geology and soils have been assessed for their suitability for onsite wastewater management as part of the updated Land Capability Assessment prepared by SITEC Pty Ltd (see **Appendix D**).

This report identifies that the subject site is suitable for on-site wastewater disposal subject to wastewater conditions relating to required buffers, treatment system design, land application areas, stormwater management and ongoing monitoring, operation and maintenance.

The report remains generally consistent with the parameters for the design of wastewater treatment systems confirmed by SITEC Pty Ltd (see **Appendix D**) and the Warrnambool Domestic Wastewater Management Plan 2020-2025.

The updated residential lot layout will not result in likely adverse cumulative impacts, subject to detailed wastewater design and management at the septic permit/installation stage.

Design considerations:

- Ensure lots are adequately sized and designed to contain, treat and dispose of all domestic wastewater within individual lots on the subject site.
- Lot sizes should be informed by a Land Capability Assessment prepared by a suitably qualified professional.

Guidelines for permit applications:

- Applications for subdivision must include land application areas, wastewater system design and management informed by a Land Capability Assessment.



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5.6 Cultural Heritage

The subject site is within an area of cultural heritage sensitivity as described in the Aboriginal Heritage Regulations 2018. A Cultural Heritage Management Plan is required to be prepared and approved by the relevant Registered Aboriginal Party (or the Office of Aboriginal Victoria) prior to land being subdivided or developed.

A Cultural Heritage Management Plan has been approved for the development plan area. No aboriginal cultural heritage archaeological sites were identified within the development plan area.

The management plan sets out actions in the event any Aboriginal cultural heritage sites are located during construction which will be followed during construction of the development. See **Appendix H** (Approved Cultural Heritage Management Plan) for further details.



5.7 Access and linkages

The subject site has two road frontages as follows:

- a 450 metre frontage along the northern boundary to Bridge Road; and
- a 620 metre frontage to the Brodies Lane road reserve, which contains a 300 metre length of gravelled road.

Bridge Road is classified as an Arterial Road subject to a 60kph speed limit, while Brodies Lane is classified as a gravelled and unkerbed access road.

There are no public transit connections to Woodford or Bushfield, aside from school bus services, placing a great reliance on vehicle and pedestrian transport connections to journey within and beyond the townships.

A 1.5 metre footpath is located on the north side of the Bridge Road road reserve, between the Albert Street-Bridge Road Street intersection and the Bridge Road-Reddie Road intersection. This footpath connects the Woodford Primary School and Bushfield Community Hall and Recreation Reserve with other parts of the Woodford-Bushfield township.

A number of on and off-road trail projects are planned within the Bushfield and Woodford townships, as per the Warrnambool Sustainable Transport Strategy 2010-2020. These projects will effectively provide a pedestrian network which links the Caramut Road-Bridge Road intersection and Wangoom Road-Hopkins Highway intersection, once completed.

Design considerations:

- The development plan provides a permeable network of roads within the development area, and walking and bicycle paths which enable people to access local points of interest internal and external to the site.
- The development plan should provide opportunities to connect planned pedestrian and bicycle assets with existing and future development areas.
- Access arrangements to the site from Bridge Road have been designed to ensure there is no likely adverse impact on road safety with basic right-turn treatment intersections to be constructed with north side slip lane (eastbound traffic) and left turn lane (westbound traffic).
- Direct vehicle access should be limited to Bridge Road, with restricted vehicle access to Brodies Lane.



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gravelled road

Woodford-Bushfield
foot path

Bridge Road

Brodies Lane

Kiaman Close



Figure 6: Access + linkages

6 Design response

The Woodford Heights Estate Northern Development Plan provides a cohesive design which responds to the Design Considerations contained in the site analysis section of this report.

The development plan seeks to:

- Provide an attractive interface to existing rural residential lots and to the main thoroughfare of the township (Bridge Road).
- Provide opportunities (within the road network and private gardens) for landscaping to assist in integrating the development with the rural surrounds and existing rural residential development.
- Provide opportunities to develop land within the Low Density Residential Zone and Rural Living Zone independently of each other, without compromising the desired development outcomes for the site.
- Provides opportunities to link the subject site to undeveloped Low Density Residential land to the west and remaining Low Density Residential Zone land and balance of Rural Living Zone land to the south.
- Provide for the staging of open spaces and recreational assets, to be co-located with interim and future wetland drainage reserves to provide a unique recreational experience for the community.
- Incorporate wide nature strips to allow for canopy tree plantings.
- Ensure building forms are nestled within a vegetated setting and do not dominate the landscape character of the area.

- Ensure lots are adequately sized and designed to contain, treat and dispose of all domestic wastewater on site.
- Provide a permeable network of roads and walking and bicycle paths to enable people to access local points of interests internal and external to the site.
- Ensure access arrangements from Bridge Road are designed to ensure there is no adverse impact on road safety.
- Restrict vehicle access to Brodies Lane.
- Ensure key infrastructures are provided in a timely and efficient manner.





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Figure 7: Development plan

6.1 Movement network and road hierarchy

The development plan area adjoins the Bridge Road road reserve to the north and Brodies Lane road reserve to the west.

The primary vehicle and pedestrian access will be via Bridge Road, with potential for the provision for a future pedestrian access via Brodies Lane to be determined through future stages of development.

Internally, the proposed movement network has been designed not solely for motor vehicles, but also for pedestrians and cyclists. The movement network includes two streetscapes and cross sections, which create a clear road hierarchy for the 'entrance' road and internal roads.

This proposed movement network provides convenient access and efficient movement to encourage walking and cycling throughout the development plan area. The street network also ensures future dwellings are located within walking distance to local open space areas, with all properties located within walkable distance to the planned open space/recreation reserve.

Specifically, a 2.5 metre shared path is planned along the frontage of the estate on the southern side of Bridge Road and around the proposed 'looped' road network. The shared path links with planned open space areas and the southern extent of the estate, with the potential to continue the shared path network into the area to the south of the proposed development plan area and west of the development plan area (Brodies Lane). This shared path network will also link with

Bridge Road (north) in order to encourage permeability and the use of active transport for daily needs and recreation.

The design and interconnection of paths and existing pedestrian assets will allow people to safely move within and beyond the estate to the surrounding network of existing and planned paths linking the Woodford Primary School, Merri River open space corridor, Jubilee Park and Bushfield Recreation Reserve.

An eastern and western pedestrian link to Bridge Road will provide a safe and convenient crossing point for pedestrians to and from the estate and for other users.

Allowance has been made for a future connection to Brodies Lane should opportunities to create a connection arise in the future.

Roads are aligned with the natural topography of the land and (where possible) are aligned to provide best orientation for passive solar performance for future dwellings.

Another major feature of the movement network and road hierarchy is the entrance proposed to the Woodford Heights Estate. It incorporates a gateway treatment within a large landscaped median strip that runs parallel with the northern boundary of the development plan area. This will create a unique entrance and contribute to the character of the development plan area.



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Great care has been taken in the initial design and will continue through detailed design to ensure wide roads incorporate traffic calming devices to limit traffic speed. In addition, landscaping at street entrances will be used to create greater intimacy and street softening through integration of vegetation within road reserves.

Guidelines for planning permit applications:

- Applications for subdivision must be accompanied with a Transport Impact Assessment Report, which identifies existing traffic conditions, assesses suitability of proposed internal movement network and access arrangement and evaluates traffic impact on the surrounding road network.



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Figure 8: Movement network and road hierarchy

Cross-section A - Entry Road (Latitudinal Road)

The entry road consists of a 20-30 metre reservation which incorporates a 6.2 metre pavement, landscaped median and 2.5 metre footpath, predominantly, on the south side of the road reserve.

The proposed Entry Road cross-section is set out in **Figure 8**.

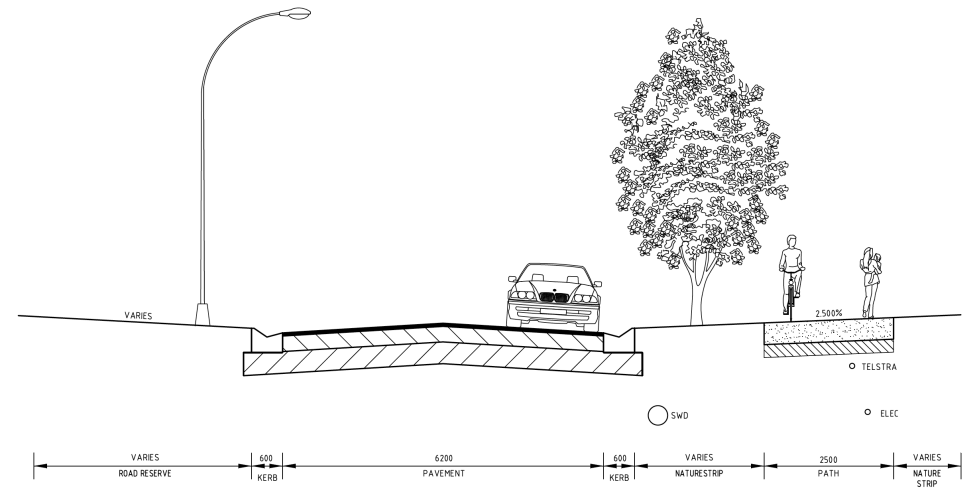


Figure 9: Entry Road Section

Cross-section B - Access Street (Longitudinal Road)

The Access Street consists of a 20-metre reservation which incorporates a 6.2 metre pavement, landscaped nature strip and footpath on one side of the street.

The proposed Access Street (20 metre) cross-section is set out in **Figure 9**.

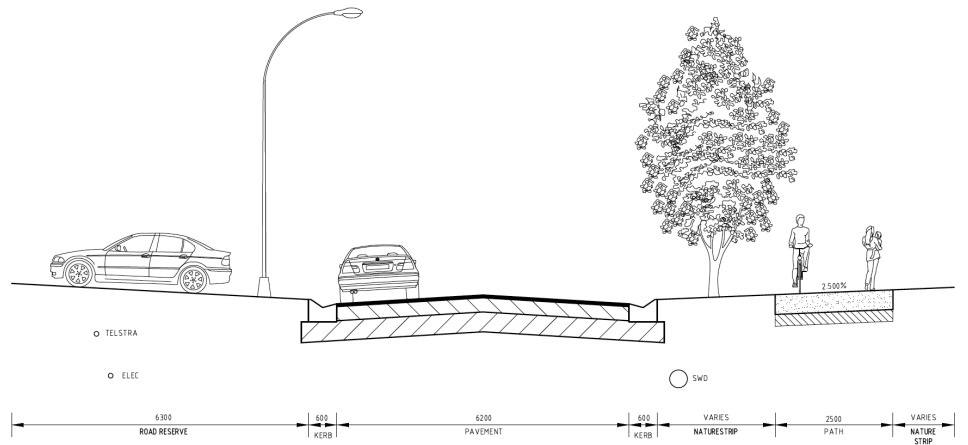


Figure 10: Access Street Section



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Pedestrian / Bicycle Network

As set out in the above cross-sections, the development plan identifies a shared path network, linking open spaces, active recreation areas and drainage reserves, resulting in a network of walking and cycling paths.

Pedestrian access to, and throughout the Woodford Heights Estate has been carefully planned. The design of paths and the interconnection of paths will allow people to safely walk throughout the estate, enjoying the public spaces and rural surrounds. The design creates high quality pedestrian permeability linking to the existing pedestrian network and allowing for future linkages to rural residential estates west of Brodies Lane.



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6.2 Open space and landscaping

Open Space

The design of the open space network responds to the site conditions, drainage infrastructure requirements and open space requirements of the development.

A feature of the estate are the pedestrian 'pause points' and linking spaces at the eastern and western pedestrian entrances to the estate and the pedestrian access to Brodies Lane. These 'pause points' and linking spaces will feature a combination of hard and soft landscape treatments including shared paths, seating and canopy shade trees to provide pleasant places for safe planned and chance encounters with community members and neighbours.

Future stages of the Woodford Heights Estate (stages 3-4) will incorporate a 0.75 hectare reserve located within the southern extent of the site, at a key vantage point. This space is focused on providing for active and passive recreational uses, which can adapt and respond to changing community recreational preferences over time. The reserve will comprise a wetland area designed to hold water (while allowing for adequate storm water detention), coupled with a rotunda and linked paths for passive recreation, to be constructed in latter stages.

Beyond the site, improvements will be made to allow safe crossing of Bridge Road near the entrance road.

Landscaping

Significant landscaping of road reserves, public areas and private land is critical to achieving the vision for an aesthetically attractive, community focussed estate. The objective is to gradually immerse the built form with vegetation using a combination of planting on public land, road reserves and private lots. Key to achieving this objective is the regime of native and exotic 'landscape zones', which provide for native landscaping along the Bridge Road median and the proposed drainage reserves and a boulevard of exotic canopy trees and underplanting's along north-south access streets within the estate.

Road reserves are of sufficient width to accommodate significant tree planting in nature strips. The open space areas are designed and located to incorporate extensive vegetation which will enhance the local environment.

The main entrance median strip provides a great space for additional tree planting and vegetation. See **Appendix I** (Landscape Plan) for details.

Guidelines for planning permit applications:

- Applications for subdivision must be generally in accordance with the Development Plan and Landscape Plan.



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Figure 11: Open space and landscaping

6.3 Design intent

In order to ensure that the vision and objectives of the Woodford Heights Northern Development Plan are achieved and that any future development of this land is consistent with the context and setting of the area, the following residential design guidelines will apply to future development and will be controlled by a covenant, memorandum of common provisions or similar provision:

Building Setbacks & Appearance

- Dwellings must be sited within Appropriate Building Areas (see **Appendix B**), which comprise a 10 metre setback to road frontages and a 2 metre setback to rear and side boundaries, except for:
 - o eaves (being the part of a roof extending beyond the wall of the building and including gutters and fascias) which extend into the airspace outside the building envelope by a maximum of 600mm;
 - o chimneys which do not extend more than 600mm outside the building envelope.
- Sheds and other outbuildings are not permitted within the front setback area and must be located at a minimum at the rear building line of the dwelling.
- External building colours should reflect muted earthy tones which will blend with the rural setting.
- The maximum area of any outbuildings must not exceed a combined floor area greater than 150 square metres.

- Outbuildings must not exceed 4 metres above natural ground level or the height of the highest point of the roof structure of the dwelling (whichever is the lesser).

Landscaping

- A rainwater tank with a capacity of not less than 60,000 litres should be provided unless specified otherwise. The water is to be used for toilet flushing and other suitable internal and external uses with a 10,000 litre reserve for fire fighting purposes. The colour of the rainwater tank should complement the dwelling and be located so that it is not readily visible from the street or neighbouring properties.
- All lots must contain at least three (3) canopy trees. Canopy trees must include indigenous species suited to the rural setting. Appropriate species are outlined in Table 1 (overleaf).



Botanical name	Common name
<i>Acacia melanoxylon</i>	Blackwood
<i>Allocasuarina verticillata</i>	Drooping She-oak
<i>Banksia marginata</i>	Silver Banksia
<i>Eucalyptus ovata</i>	Swamp Gum
<i>Eucalyptus viminalis</i> subsp. <i>viminalis</i>	Manna Gum
<i>Corymbia ficifolia</i>	Red Flowering Gum

Siting and landscape requirements will be registered on title at the time of subdivision via a covenant, memorandum of common provisions or similar provision.



6.4 Utilities and drainage

The development plan area is capable of being serviced by required rural residential development services.

Water supply

Wannon Water is the responsible authority for the provision of water supply. Reticulated water supply is not available within the development plan area. It is recommended that rainwater tanks be used to store enough water to service each lot's water needs. The proposed lot sizes allow adequate space to contain on-site domestic water supply. A rainwater tank with a capacity of not less than 60,000 litres should be provided unless specified otherwise.

Electricity

Powercor is the responsible authority for the provision of electricity supply to service the development plan area.

Electricity supply can be provided to the site from existing underground low voltage power supply from a power substation located in the Bridge Road reserve. transmission lines.

Telecommunications

Telstra is the responsible authority for the provision of telecommunication facilities to service the development plan area. An existing underground cable network is located on the southern side of Bridge Road. Connection is proposed to be made via an extension from the underground cable network.

Drainage

Warrnambool City Council is the responsible authority for stormwater drainage within the development plan area.

An updated Stormwater Management Plan setting out the existing drainage constraints and proposed stormwater infrastructure is provided with this development plan. The Stormwater Management Plan identifies stormwater will be collected and treated via underground storm water pipes located throughout the development plan area and into a series of proposed wetlands, and ultimately discharged south of the subject site at pre-development flow rates.

It is proposed to create a berm like system in the southern future reserve that will recreate a sheet flow type scenario, at 20% AEP pre-development levels, prior to entering the private property to the south. This will ensure that the property to the south will not have increased flows entering from the proposed subdivision.

Storage from the 1% AEP Storm event will be shared between the basins, details of which will be provided with the detailed design. See the updated Stormwater Management Plan at **Appendix E** for further details on the proposed stormwater strategy.

Wastewater

Wannon Water is the responsible authority for the provision of sewer services. Reticulated sewer is not available to service the development. Accordingly, the proposed development will be required to treat and dispose of domestic wastewater on site.

The updated Land Capability Assessment (see **Appendix D**) accompanying this development plan identifies wastewater can be treated and disposed of within the boundary of each proposed lot in accordance with the requirements of the EPA Code of Practice – Onsite Wastewater Management.

Land application areas are provided on each lot and are approximately 600 square metres in area. The final location and configuration of the irrigation systems will be flexible, provided they remain within the land application areas (see **Appendix D** for details).

The updated Land Capability Assessment (SITEC Pty Ltd) also considers relevant cumulative impacts and outlines how these will be managed as part of the proposed lot layout, density, treatment and management of wastewater systems. These assessments conclude that the proposed lot layout and density is appropriate for on-site domestic wastewater treatment subject to detailed wastewater management design. Final lot size and land application areas will be determined at time of subdivision.



6.5 Staging

The staging of the development plan area will revolve around the roll out of required development services.

The most northern section will be the first area to be developed (Stage 1) comprising 14 lots, and will provide initial primary access upgrades to the site. Stage 2 will follow within the mid-section of the site comprising 16 lots. The very small remaining balance of Low Density Residential Zone Land and larger balance of Rural Living Zone land will be considered as part of a separate development plan process.

Temporary wetlands and drainage infrastructure will be located within the interim drainage reserves from the commencement of Stage 1, with the final infrastructure regime constructed following a separate development plan process for the remainder of the site.

Stages 1 and 2 do not include any open space reserves. The open space reserve detailed in the Woodford Heights Estate Northern Development Plan (to be integrated with the drainage detention basin and wetland) will be held as an interim drainage basin until further work has been undertaken to confirm the layout of the remainder of the site as part of a separate development plan process.

Guidelines for planning permit applications:

- Applications for subdivision must be accompanied with a Servicing Report which sets out likely servicing and infrastructure requirements and staging of proposed drainage infrastructure.

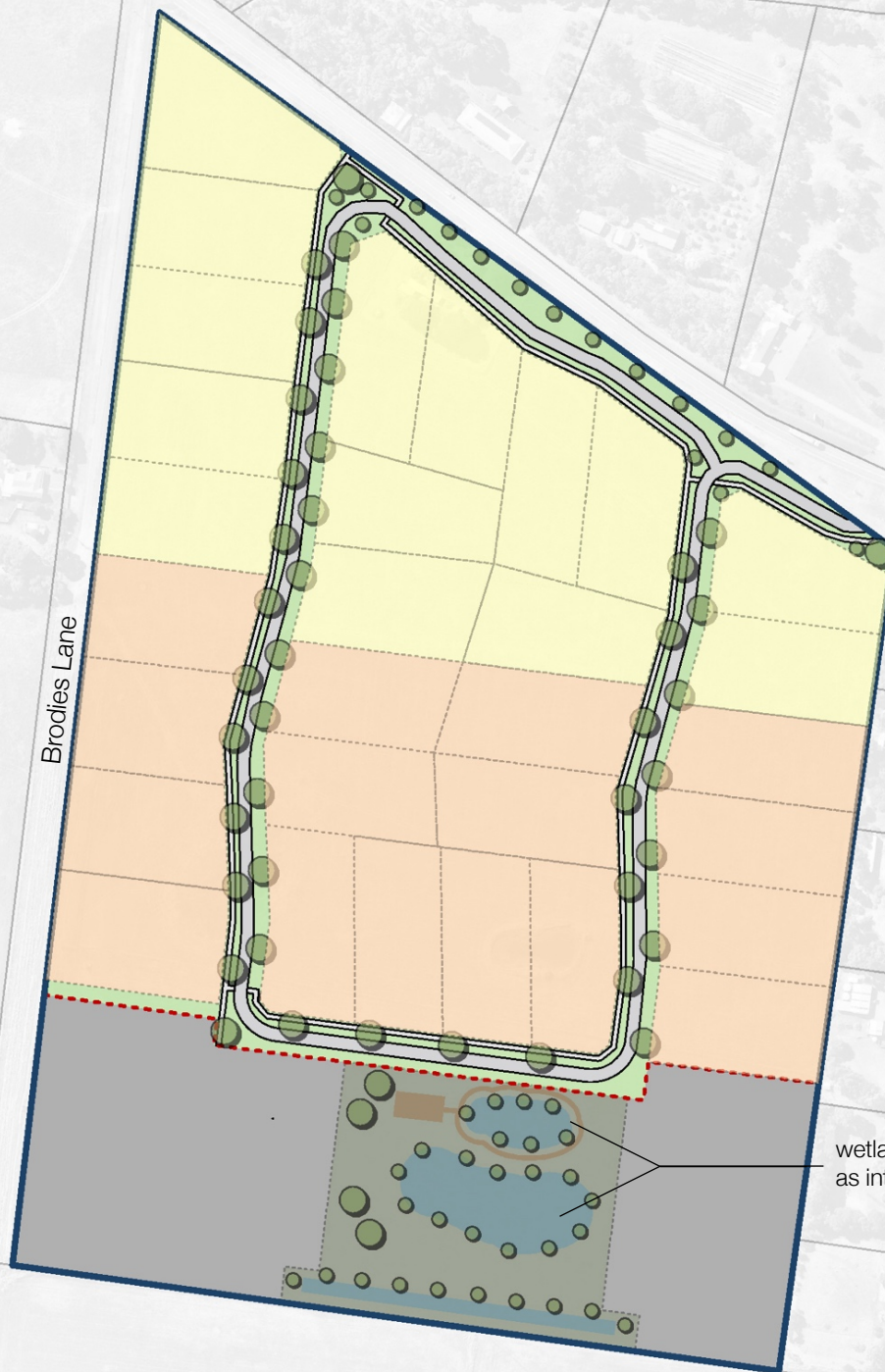


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- Stage 1
- Stage 2



wetland drainage areas planned
as interim and future reserves

Figure 12: Staging
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APPENDIX B

APPROPRIATE BUILDING AREA PLAN



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Appropriate Building Areas





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