FORM 2 SECTION 52 (1)



NOTICE OF AN APPLICATION FOR A PLANNING PERMIT

The land affected by the application is located at:	43 Jamieson St WARRNAMBOOL VIC 3280
The application is for a permit to:	Demolition of existing dwelling, outbuilding and fencing, and the construction of a new dwelling and fencing (Heritage Overlay)
A permit is required under the following clauses of the planning scheme:	43.01-1 – Building and works
The applicant for the permit is:	MPAA Studio
The application reference number is:	PP2024-0239
You may look at the application and any documents that support the application at the office of the responsible authority:	Warrnambool Civic Centre 25 Liebig Street WARRNAMBOOL 3280 Or online at: https://www.warrnambool.vic.gov.au/advertised-planning-applications
For further reference please contact:	Planning Support Telephone: 03 5559 4800 Email: planning@warrnambool.vic.gov.au

This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the Responsible Authority (Warrnambool City Council).

An objection must

- be made to the Responsible Authority in writing
- include the reasons for the objection, and
- * state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

If you object, the Responsible Authority will tell you its decision.

Objections/Submissions are accepted by:

- post to Town Planning Office, Warrnambool City Council, PO Box 198 Warrnambool 3280
- in person at the Warrnambool Civic Centre, 25 Liebig Street, Warrnambool
- submitting an 'Objection to grant a Planning Permit' form available from <u>www.warrnambool.vic.gov.au</u> Click on Property – Planning Permits - Objection to grant a Planning Permit form
- email to <u>planning@warrnambool.vic.gov.au</u>

The Responsible Authority will not decide on the application before:	5 March 2025
--	--------------



ADVERTISED Application for Planning Permit

Under Section 47(1)(a) of the Planning and Environment Act 1987

Any material submitted with this application, including. plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the Planning and Environment Act 1987. If you have any concerns, please contact Council's planning department.

The	Land				
	dress of the land. Comp	plete the Street Ad	ddress and one of the Formal	Land Descriptions.	
Unit I	No.: \$	St. No.:	Street nar	me	
Subu	urb/locality		postcode		
	al Land Description uplete either A or B.				
A	Lot No.:	!	Lodged Plan Title Plan	n Plan of Subdivision	No.:
or					
В	Crown Allotment	No.:	Section N	lo.:	
	Parish/Township	Name:			
				button and enter relevant det	
	Proposal				
inforr	mation will delay your	application.	and attach the information do you require a permit?	required to assess the applic	cation. Insufficient or unclear
	-				
D	tale extension and the formula	Para di di			
sche			<u> </u>	elevations; any information re nit checklist; and if required, a	
3. Est	timated cost of develop	ment for which th	ne permit is required		
Cost	:: <u>\$</u>	You may	be required to verify this e	estimate.	
Inser	•		-	ion, removal of covenant, liqu	uor licence)
Exis	sting Conditions				
	scribe how the land is vacant, three dwelling			ensed restaurant with 80 sea	its, grazing.
	, .		<u> </u>		7.0

Title Information

5. Encumbrances on title Does the proposal breach, in any way, an encumbrance other obligation such as an easement or building enveloped.		ant, section 173 agreement or
Yes Provide a copy		
No		
Not applicable (no such encumbrance applies).		
Provide a full, current copy of the title for each individual ing 'register search statement', the title diagram and the		n as 'instruments', eg. restrictive
Applicant and Owner Details		
6. Provide details of the applicant and the owner of the land. Applicant (<i>The person who wants the permit.</i>)		
Title: First Name:	_ Surname	
Organisation (if applicable):		
Unit No.: St. No.:	_ Street name	
Suburb/locality	_ State	postcode
Where the preferred contact person for the application is	different from the applicant, provid	de the details of that person.
Same as applicant (If so, go to 'contact information')		
Title: First Name:	_ Surname	
Organisation (if applicable)		
Unit No.: St. No.:		
Suburb/locality	_ State	postcode
Contact information Please provide at least one contact pl	none number	
Business Phone		
Mobile Phone		
Owner (The person or who owns the land)		
signature (Optional)		Date
Declaration		
7. This form must be signed by the applicant Remember it is against the law to provide false or mislear heavy fine and cancellation of the permit.	ding information, which could resu	lt in a
I declare that I am the applicant; and that all the informati self) has been notified of the permit application.	ion in this application is true and co	orrect; and the owner (if not my-
Signature Hower		Date

Need help with the Application?

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8. Has	there been a pre-application me	eting with a Council planning offi	cer?	
уе	es no If yes, with	whom?:	Date:	
•••••				
Appl	ication Type			
Is this	a VicSmart application?* Y	es No		
If yes,	please specify which VicSmar	t class or classes.		
*Class	ses of VicSmart application are		cular provisions and the schedule to Clause 59.15	
Chec	klist			
9. Have	e you			
	Filled in the form completely?			
	Provided all necessary supporting information and documents?			
	A current copy of title (r	no more than 3 months old) inc	luding a copy of any encumbrances affecting the land.	
	Plans showing the layou	ut and details of the proposal		
	A plan of existing conditions			
		d by the planning scheme, req	uested by council or outlined in a council planning permit	
	checklist. If required, a description	n of the likely effect of the prop	osal (eg traffic, noise, environmental impacts).	
	Signed the declaration	(section 7)?		
Lodg	ement and Payment			
Lodge	e the completed and signed fo	rm and all documents with:		
In Pers	Warrnambool City	Council Civic Centre, 25 Liebig	g Street, Warrnambool 8.30am to 5.00pm	
Mail:	PO Box 198, WARI	RNAMBOOL Victoria 3280		
E-mail	planning@warrnam	bool.vic.gov.au		

Please note once your application is received, an invoice will be forwarded to you via email.



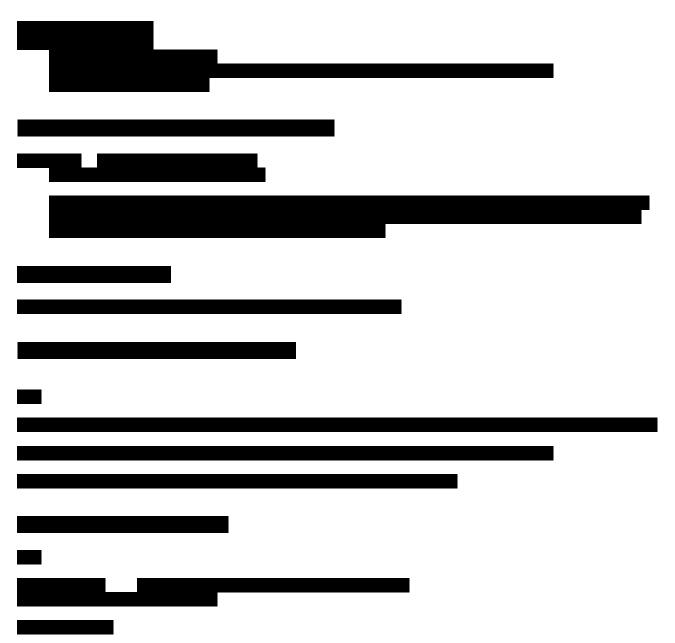
VOLUME 08362 FOLIO 692

Security no : 124120374291H Produced 04/12/2024 09:34 AM

LAND DESCRIPTION

Lot 1 on Title Plan 318064N.
PARENT TITLE Volume 03317 Folio 316
Created by instrument B259176 10/08/1961

REGISTERED PROPRIETOR



8362/692 Page 1 of 1

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	TP318064N
Number of Pages	1
(excluding this cover sheet)	
Document Assembled	18/10/2023 11:02

Copyright and disclaimer notice:

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

TITLE PLAN EDITION 1 TP 318064N

Location of Land

Parish: Township: WANGOOM

Section:

WARRNAMBOOL 30A 5(PT)

Crown Allotment: Crown Portion:

Last Plan Reference:

Derived From: VOL 8362 FOL 692

Depth Limitation: NIL

Notations

ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON

THIS TITLE PLAN

Description of Land / Easement Information

THIS PLAN HAS BEEN PREPARED
FOR THE LAND REGISTRY, LAND
VICTORIA, FOR TITLE DIAGRAM
PURPOSES AS PART OF THE LAND
TITLES AUTOMATION PROJECT
COMPILED: 15/02/2000

VERIFIED: M.P.

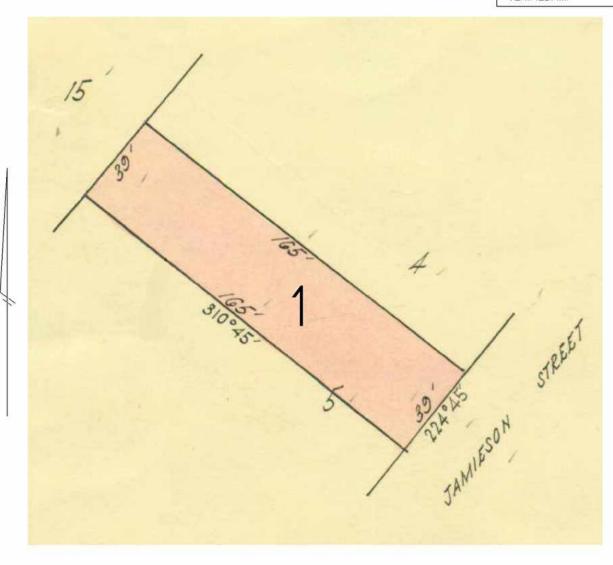


TABLE OF PARCEL IDENTIFIERS

WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962

PARCEL 1 = CA 5 (PT)

LENGTHS ARE IN FEET & INCHES Metres = 0.3048 x Feet Metres = 0.201168 x Links

Sheet 1 of 1 sheets

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Instrument
Document Identification	AG209095Y
Number of Pages	2
(excluding this cover sheet)	
Document Assembled	18/10/2023 11:02

Copyright and disclaimer notice:

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

Delivered by LANDATA®, timestamp 18/10/2023 11:02 Page 1 of 2 © State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

TRANSFER OF LAND

Section 45 Transfer of Land Act 1958

Lodged by:

Name:

Phone: Address: Scott Ashwood P/L Code 1557Q

Ref:

Customer Code:



MADE AVAILABLE/CHANGE CONTROL

Office Use Only

The transferor at the direction of the directing party (if any) transfers to the transferee the estate and interest specified in the land described for the consideration expressed and subject to the encumbrances affecting the land including any created by dealings lodged for registration before the lodging of this transfer.

Land: (volume and folio reference)

Certificate of Title Volume 8362 Folio 692



Execution and attestation:

See Annexure page

Approval No. 389079A

ORDER TO REGISTER

Please register and issue title to

Signed

Cust. Code

STAMP DUTY USE ONLY

Scatt Ashwood Pty Ltd DRS Vic Duty

Consideration Trans Na.

14421/2008 19/11/2008

Endorse Date Section LYNNEA Signature

Original

\$10,370.00

\$255,000.00

THE BACK OF THIS FORM MUST NOT BE USED

Land Registry, 570 Bourke Street, Melbourne, 3000, Phone 8636-2010

3

ANNEXURE PAGE

Transfer of Land Act 1958

Privacy Collector The information from this form is authority and is used for the purposearchable registers and indexes



This is page 2 of *Approved Form* T1 dated

Denim Gem Pty Ltd and Colin Neville Whiti

13.11.08

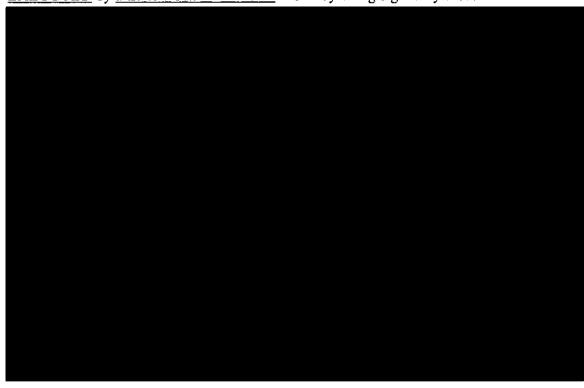
between

Denim Gem Pty Ltd and Colin Neville Whiting and Lyneve Angela Whiting

Signatures of the parties

Panel Heading

EXECUTED by DENIM GEM PTY LTD ACN by being signed by those



Approval No. 389079A





- 1. If there is insufficient space to accommodate the required information in a panel of the Approved Form insert the words "See Annexure Page 2" (or as the case may be) and enter all the information on the Annexure Page under the appropriate panel heading. THE BACK OF THE ANNEXURE PAGE IS NOT TO BE USED.
- 2. If multiple copies of a mortgage are lodged, original Annexure Pages must be attached to each.
- The Annexure Pages must be properly identified and signed by the parties to the Approved Form to which it is annexed.
- 4. All pages must be attached together by being stapled in the top left corner.



13 February 2025

Matthew Cross / Bronwyn Mellor Warrnambool City Council PO Box 198 Warrnambool VIC 3280

By email only

Dear Bronwyn and Matthew,

Re: Response to Request for Further Information - Planning Permit Application PP2024-0239, 43 Jamieson Street, Warrnambool

I refer to your email dated 3 January 2025 requesting further information regarding the above planning permit application.

Thank you also for the opportunity to meet onsite to discuss the proposal further. The enclosed plans reflect our discussions and have been amended as agreed.

In addition to the requested changes, the overall height of the proposal has been reduced by approximately 380mm, ensuring that the second level cannot be seen from the street when standing directly in front of the proposed dwelling.

We appreciate the collaborative approach taken with Council's planning team and heritage advisor in refining the proposal, and we look forward to the application progressing to public notice.

Sincerely,

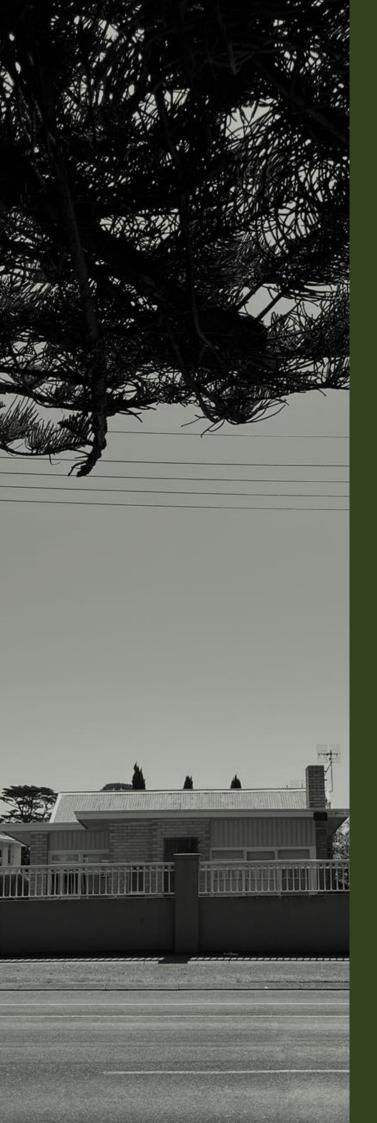
Steve Myers

Managing Director, MPAA Studio

(03) 5562 9443 info@mpaastudio.co

1 Dispensary Lane Level 1 (above Allee Espresso) Warrnambool VIC 3280







TOWN PLANNING REPORT

DEMOLITION AND BUILDINGS AND WORKS UNDER THE HERITAGE OVERLAY 43 JAMIESON STREET, WARRNAMBOOL ISSUED 13 FEBRUARY 2025

(03) 5562 9443

1 Dispensary Lane, Warrnambool Level 1, Col ab (above Allee Espresso)

OVERVIEW

Background

Address	43 Jamieson Street, Warrnambool
Lot Description	Lot 1 TP318064N (Volume 08362 Folio 692)
Relevant Planning Controls	
Municipal Planning Strategy	Clause 02.01 Context
	Clause 02.02 Vision
	Clause 02.03 Strategic directions.
Planning Policy Framework	Clause 11 Settlement
	Clause 15 Built Environment and Heritage
	Clause 16 Housing
Zone	General Residential Zone
Overlays	Heritage Overlay (H0317)
Particular Provisions	Clause 52.06 Car parking
	Clause 53.03 Residential Reticulated Gas Service
Strategic Planning Documents	None applicable
Permit Application Details	
Description of Proposal	Demolition of existing dwelling, outbuilding and fencing, and the construction
	of a new dwelling and fencing
Permit requirement	Clause 43.01-1 (HO) - demolition and buildings and works

QUALITY ASSURANCE

Town P	lanning R	eport		Project Number

43 Jamieson Street, Warrnambool 23-1200

Revision

02

Prepared ByCM/AP/SM

Project Lead

SM

Issued

13 February 2025

Revision	Date	Issue
02	13 February 2025	Final report (incorporating design changes)

CONTENTS

1.		Introduction	5
2.		Site and surrounds	е
	2.1.	Site description and title particulars	6
	2.2.	Site analysis	6
	2.3.	Site Context	7
3.		Proposal	9
	3.1.	Overview	9
	3.2.	Planning permit triggers	9
	3.3.	Key elements	S
4.		Planning policies and controls	11
	4.1.	Municipal Planning Strategy	11
	4.2.	Planning Policy Framework (PPF)	11
	4.3.	General Residential Zone	12
	4.4.	Heritage Overlay	12
	4.5.	Particular Provisions	13
	4.6.	Other planning considerations	14
5.		Planning assessment	15
	5.1.	Overview	15
	5.2.	Key considerations	15
6		Canalysian	22

1. INTRODUCTION

This report has been prepared by MPAA Studio in support of a planning permit application for demolition and buildings and works under the Heritage Overlay (HO317) at 43 Jamieson Street, Warrnambool (the 'Site'). The proposal seeks to demolish the existing dwelling, outbuilding, and fencing and construct a new dwelling and fencing that is site-responsive and aligns with the objectives of state and local planning policy within the Warrnambool Planning Scheme.

The proposal requires a planning permit under Clause 43.01-1 (Heritage Overlay) - Demolition and buildings and works.

The proposal has been assessed against the Municipal Planning Strategy, Planning Policy Framework, General Residential Zone (GRZ1), and Heritage Overlay (HO317). The assessment finds that the proposal:

- Aligns with state and local planning policy The development supports orderly infill growth in an established residential area, providing a high-quality replacement dwelling that contributes to the built form and character of Jamieson Street.
- Meets the requirements of the General Residential Zone The proposal complies with mandatory provisions, including a 44% garden area (exceeding the 35% minimum requirement) and a building height that remains within the 11-metre
- Responds sensitively to the Heritage Overlay (HO317) The design has been informed by engagement with Council's heritage advisor, ensuring a sympathetic approach to the heritage character of the precinct. The dwelling's form, materials, roof pitch, and articulation reference key elements of contributory buildings in the area while presenting a contemporary yet respectful interpretation of the established streetscape.
- Integrates seamlessly with the built form and streetscape The front portion of the dwelling presents as single storey, consistent with the prevailing character of the precinct, while the larger massing is positioned towards the rear, leveraging the natural topography to minimise visibility from the streetscape. The setbacks, window proportions, roof form, and fencing have been carefully considered to maintain spatial and visual harmony.
- Supports the acceptability of demolition The structures to be demolished are not of identified heritage significance, and their removal will not impact the overall integrity of the heritage precinct.

The following documents should be read in conjunction with this report and are provided as part of the application:

- Certificate of Title
- Proposed Town Planning Drawings prepared by MPAA Studio.

1.1. Limitations

This report has considered the following documents:

- Warrnambool Planning Scheme (last updated by VC237 on Tuesday 14 January 2025);
- Certificate of Title (dated 4 December 2024).

2. SITE AND SURROUNDS

2.1. Site description and title particulars

Site address	43 Jamieson Street, Warrnambool
Title details	Lot 1 TP318064N (Volume 08362 Folio 692)
Site description	The Site is rectangular in shape with an area of 597.44 square metres and a frontage of approximately 11.89 metres.
Easements, restrictions or covenants	The site is not encumbered by any easements, restrictions or covenants pursuant to Section 173 of the Planning and Environment Act 1987 and the Subdivision Act 1988.

Refer to Certificate of Title.

2.2. Site analysis

The Site is located on the northern side of Jamieson Street, Warrnambool approximately 140 metres northeast of Princess Street and Canterbury Road. The Site is contained within the General Residential Zone and is currently developed with a single storey dwelling.

The Site contains a modernist styled light-coloured brick dwelling facade attached to a number of earlier-period structures to the rear (in mixed condition). The existing dwelling comprises an area of approximately 200 square metres and is setback approximately 5 metres from the southern (front) boundary, zero-setback to the eastern (side) boundary and setback between 1.5 metres and 3 metres to the western boundary. A small outbuilding is setback 30 metres from the southern (front) boundary and zero setback from the western (side) boundary.

A well-established vehicle crossover is located near the south-eastern boundary of 43 Jamieson Street. The driveway is of concrete construction and is 3 metres wide between the property line and lay back and 3.5 metre wide at the lip of kerb. A driveway of mixed asphalt and concrete construction extends from the property line for 30 metres along the side of the western boundary up to the edge of the outbuilding located to the rear of the property.

Garden areas are located within the frontage (approximately 5 metre x 8 metres) and to the rear of the property (approximately 12 metres x 20 metres). The frontage also contains a rendered concrete fence with white powder coated steel rods and the rear garden area contains typical solid perimeter fencing.

The property address is contained within Heritage Overlay 317 (Jamieson Street Heritage Precinct) but is recognised as a non-contributory building.



Image 1: Existing dwelling on the subject site, with adjoining Milk Bar (left) and dwelling (right).

2.3. Site Context

The Site is located within an established residential area, approximately 500 metres north of the central business district of Warrnambool. The immediate vicinity of the site is predominantly developed with single dwellings, with the exception of offices generally located around the roundabout to the south west, and a small milk bar/kiosk to the west.

The locality within 400 metres of the Site comprises a mix of land uses, including the Warrnambool Botanic Gardens, the Aquazone facility, Jamieson Street Primary School, Emmanuel College, the Warrnambool Presbyterian Church and commercial properties.

The Site adjoins the Jamieson Street road reserve, which contains two single lanes, a bicycle lane and parallel parking bays within a thirteen metre seal. The road is contained within the Transport Zone 3 and is recognised as a Significant Municipal Road.

Beyond the site, the Jamieson Street Heritage Precinct runs south-west to north-east between Raglan Parade and Banyan Street.

The precinct contains a series of intact dwellings with a number of Victorian-era homes and a small number of modern and interwar period dwellings.

Most dwellings contain well-established gardens in their frontage. Dwellings are either consistently single storey in scale or give the appearance of single storey. The topography on the north side of Jamieson Street allows for a second floor to some dwellings/properties to the rear, due to the fall of the land away from Jamieson Street.

Dwellings feature (generally) pitched (i.e. 30 degree) hipped or gable corrugated galvanised iron or tile clad roofs and many dwellings retain prominent masonry chimneys. In the vicinity of the Site, the adjoining dwellings exhibit a rhythm comprising a forward projecting façade feature (bay window or gable) and a building width of around 11 to 13 metres.

Walls are typically masonry, with only a few clad in weatherboard or lightweight finishes.

The properties on the south side of the road have a prominence granted by the natural topography. Allotment widths are generally between 10-20 metres.



Front fencing generally comprises masonry materials (particularly to the south side of Jamieson Street) with few timber constructed front fences. Garages are predominantly set back or accessed from rear street frontages along the south side of Jamieson Street, resulting in fewer crossovers along this stretch. Mature Norfolk Island Pines line the southern side of the street and are individually significant to the precinct (and other heritage precincts within the locality).

The Site's key interfaces are as follows:

North	The Site shares a common boundary with 39 Jamieson Street, which contains a hard stand area for a private off-street car park, connected to the dwelling located two properties to the south west of the Site.
East	45 Jamieson Street comprises an Edwardian dwelling with two outbuildings located to the rear of the Site.
South	Beyond the Jamieson Street road reserve to the south, are 34 Jamieson Street (vacant), with an infill dwelling currently under construction.
West	41 Jamieson Street comprises a milk bar/kiosk with a veranda located over the Jamieson Street (north) foot path.

3. PROPOSAL

3.1. Overview

The proposal seeks planning approval for demolition and buildings and works in a heritage overlay, which includes:

- Demolition of the existing dwelling, existing fencing and existing outbuilding
- Construction of a new dwelling and the construction of fencing.

Refer to enclosed Town Planning Drawings for full details of the proposal.

3.2. Planning permit triggers

In accordance with the provisions of the Warrnambool Planning Scheme, the proposal triggers the following planning permit requirements:

- Clause 43.01-1 (HO) - demolition and buildings and works.

3.3. Key elements

Demolition:

The existing dwelling, outbuilding and fence are to be demolished.

Dwelling:

A single dwelling is proposed on the land following the demolition of the existing dwelling, outbuilding and fence.

The dwelling includes a single-storey front section to Jamieson Street, with a feature porch setback 6.67metres to the front boundary, and the building setback 8.17 metres from the front boundary.

At Jamieson Street, the building will read as a sensitive infill dwelling within the existing streetscape, comprising a modest cottage style appearance, with contemporary gable roof form to integrate with the character of adjoining dwellings. The fall of the Site is used, along with excavation, to create a basement level, which minimises the visibility of parking areas from the street. Towards the rear of the building, a first floor master suite is proposed, which incorporates a skillion roofline.

The overall height of the dwelling is a maximum of 9.0 metres at the rear, and at Jamieson Street the building height is 6.94 metres to the apex of the roof.

The dwelling utilises mixed materials, including weatherboard cladding, trimdeck roof sheets (skillion design). Feature select stone is a feature of the facade, and face brick is used at the sub-floor level. uPVC windows and door frames are proposed throughout.

The dwelling comprises:

Basement level:

- $\hbox{-} \qquad \hbox{Oversized double garage with turn table, accessed via a ramp down from Jamieson Street}\\$
- Workshop to be used for domestic gardening and similar activities
- Rear porch and open pergola area
- Laundry
- Powder room
- Stairwell and a lift providing access to upper levels.



Ground floor:

- Front porch and entry, accessed via steps adjacent to raised garden beds from a pedestrian gate to Jamieson Street
- Two (2) bedrooms
- Study / sitting room
- Bathroom and powder room
- Open plan kitchen, living and dining area
- Walk in pantry
- Alfresco with outdoor BBQ area
- Stairwell and lift access to first floor and basement.

First floor:

- Master bedroom suite with walk in robe and ensuite
- Access via lift and stairwell.

Fence:

A new front fence is proposed with an average height of 1.2 metres, constructed from pickets, likely aluminium or a composite material. The design includes a pedestrian gate providing access to the front path and an automatic gate for vehicle entry. The fence follows the front boundary and extends partially along the driveway as a return.

Additionally, a 1.5-metre-high slat fence is proposed at the end of the driveway, adjoining the sub-floor. Refer to Town Planning Drawings for full details of proposed fences.



4. PLANNING POLICIES AND CONTROLS

4.1. Municipal Planning Strategy

The Municipal Planning Strategy (MPS) sets out the municipal context, outlines the Council vision, and provides for strategic directions for planning with a focus on specific areas and issues within Warrnambool. The most relevant clauses within the MPS are set out below.

Clause 02.01 - Context

Warrnambool is Victoria's largest coastal regional city and is the fastest growing economy and population centre in South West Victoria.

Clause 02.02 - Vision

The relevant objectives in the Warrnambool Council Plan (2017-2021) include "Foster a healthy, welcoming city that is socially and culturally rich" and "Develop a smarter economy with diverse and sustainable employment".

Clause 02.03 Strategic Directions

Relevant local strategic directions for this application are contained in:

Clause 02.03-1 - Settlement

Urban Growth: Warrnambool is forecast to grow at 1.4 per cent per annum until 2040 requiring about 250 new dwellings per year to meet demands.

Clause 02.03-5 – Built Environment and heritage

Urban design: To design developments to protect and enhance the quality of the built environment whilst facilitating the sharing of views.

Neighbourhood character: To integrate infill development with the existing architectural, historic and landscape character of the neighbourhood.

Heritage: To maintain heritage values and places as a vital part of the community's 'sense of place', cultural identity and wellbeing, whilst conserving, maintaining and enhancing their character and contributory elements.

Clause 02.03-6 - Housing

Housing affordability: A lack of affordable housing is a barrier to attracting key workers and tertiary students to the City. It also has detrimental impacts on sole parents, single people, young people, older people (65+ years) and children of sole parents. Council seeks to facilitate smaller lot sizes and housing for the ageing and student populations close to community services.

4.2. Planning Policy Framework (PPF)

To ensure the overarching objectives of planning in Victoria are met, policies contained within the Planning Policy Framework (PPF) must be considered. The PPF clauses of most relevance to the Site and the proposal are set out below.

<u>Clause 11.01-1S Settlement</u> seeks to promote the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.

Clause 11.03-6S Regional and local places seeks to facilitate place-based planning.

<u>Clause 15.01-1S Urban design</u> seeks to create urban environments that are safe, functional and enjoyable and that contribute to a sense of place and cultural identity.



<u>Clause 15.01-3S Subdivision design</u> seeks to ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.

<u>Clause 15.01-5S Neighbourhood character</u> seeks to recognise, support and protect neighbourhood character, cultural identity, and sense of place.

Clause 15.03-1S Heritage conservation seeks to ensure the conservation of places of heritage significance.

Clause 16.01-1S Housing supply seeks to facilitate well-located, integrated and diverse housing that meets community needs.

4.3. General Residential Zone

The Site is located within the General Residential Zone (Clause 32.08). The purposes of the General Residential Zone include:

- To encourage development that respects the neighbourhood character of the area

The subject site is greater than 300 square metres and therefore does not require a planning permit.

Notwithstanding, the mandatory minimum garden area and maximum height limits will apply as specified within Clause 32.08.

4.4. Heritage Overlay

The Site is subject to the Heritage Overlay (Schedule 317). The relevant purposes of Clause 43.01 Heritage Overlay are:

- To conserve and enhance those elements which contribute to the significance of heritage places
- To ensure that development does not adversely affect the significance of heritage places.

Pursuant to Clause 43.01-1 a planning permit is required to demolish or remove a building, and to construct a building or construct or carry out works.

HO317 - Jamieson Street Precinct

The precinct contains a series of intact dwellings, some potentially dating from the late 1860s, along with a number of Victorian houses. There are also a small number of interwar period dwellings. Most dwellings are set in established gardens.

Dwellings are consistently single storey in scale or give the appearance of single storey, with the topography on the north side of Jamieson Street allowing for a second floor to the rear. Dwellings generally have pitched (typically 30 degree) hipped or gable corrugated galvanised iron or tile clad roofs and many dwellings retain prominent masonry chimneys. Walls are typically masonry, with only a few clad in weatherboard or lightweight (sometimes later conite) finishes. 1860 symmetrical cottages, with arched head entries are the most distinctive and significant in the street.

19th century dwellings are symmetrical cottages in style. Late 19th/early 20th century dwellings are double fronted (symmetrical) or asymmetrical villas in style, with bullnose or straight hipped verandah roofs supported by timber posts dressed with cast iron lacework, or occasionally timber fretwork.

Dwellings are consistent in roofline and setbacks and address the street. The properties on the south (high) side of the road have a prominence granted by the natural topography. Allotment widths are generous with several properties on the south of Jamieson Street running through to Mickle Crescent at the rear.

Fencing is generally high masonry particularly to the high side of Jamieson Street, although this does not impinge overly on visibility to building frontages. Several lower masonry and timber picket fences are also present.

Garages are predominantly set back or accessed from rear street frontages along the south side of Jamieson Street, resulting in fewer crossovers along this stretch. Mature Norfolk Island Pines line the southern side of the street above the roundabout intersection.



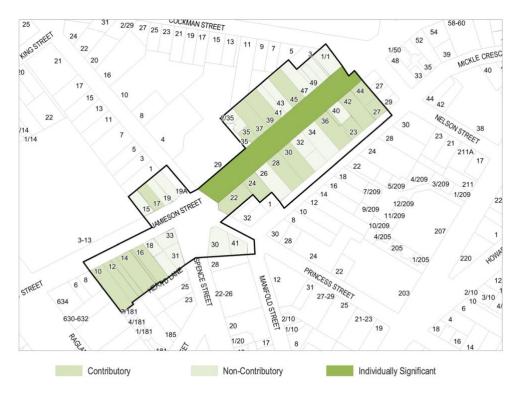


Figure 1: H0317 Jamieson Street Precinct Map

4.5. Particular Provisions

4.5.1. Clause 52.06 Car parking

Clause 52.06 is applicable to the planning application.

The purposes of Clause 52.06 include:

- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

A new dwelling is to be constructed that contains three (3) bedrooms. The design allows for a garage that provides for more than two undercover car spaces, exceeding the minimum dimensions.

The requirements of Clause 52.06 are considered to have been met. No planning permit is required under this clause.

4.5.2. Clause 53.03 Residential Reticulated Gas Service Connection

The purpose of this clause is to prohibit residential reticulated gas connections to new dwellings, new apartment developments and new residential subdivisions.

This clause is applicable as a planning permit is required to construct a new dwelling.

The dwelling is within an established residential area that currently has access to both gas and electricity. It is intended for the new dwelling to utilise the reticulated power supply, currently provided to the site and available from Jamieson Street.

Council will be required to include the mandatory planning permit conditions as required.



4.6. Other planning considerations

4.6.1. <u>Aboriginal Cultural Heritage Sensitivity</u>

The Site is identified as being an 'area of cultural heritage sensitivity' pursuant to the Aboriginal Heritage Regulations 2018. These areas relate to landforms and soil types where Aboriginal places are more likely to be located.

A Cultural Heritage Management Plan (CHMP) is required for an activity if the activity is a 'high impact activity' and falls in whole or part within an area of cultural heritage sensitivity. Division 2 of the Aboriginal Heritage Regulations 2018 set out various exempt activities for which a CHMP is not required.

One or two dwellings

Regulation 9 sets out that the 'construction or an extension to one or 2 dwellings on a lot' is an exempt activity. On this basis, a CHMP is not required for the proposed development.



5. PLANNING ASSESSMENT

5.1. Overview

The following chapter outlines the key planning considerations of the proposal in response to relevant policy and the provisions of the Warrnambool Planning Scheme. In summary, the following key considerations are relevant to the assessment of the proposal:

- Is the proposal consistent with the Municipal Planning Strategy and Planning Policy Framework?
- Does the proposal appropriately respond to the General Residential Zone?
- Does the proposal appropriately respond to the Heritage Overlay?

5.2. Key considerations

5.2.1. Is the proposal consistent with the Municipal Planning Strategy and Planning Policy Framework?

The proposal aligns with the objectives of the Municipal Planning Strategy and the Planning Policy Framework, supporting Council's vision for the orderly development of urban areas and facilitating infill growth within established residential precincts (Clause 02.01 Context and Clause 02.02 Vision).

The development replaces an existing dwelling with a new, high-quality home in Jamieson Street, a well-located area relative to the Warrnambool CBD and key community facilities. This ensures an orderly residential outcome, consistent with Clause 02.03-6 Housing.

Given the site's non-contributory status within the heritage overlay and the residential allotment's size, the proposed dwelling maintains the scale and character of the surrounding area. The design retains the sense of a front garden setting, preserves the streetscape's spaciousness, and respects the rhythm of buildings along Jamieson Street (Clause 02.03-6 Housing and Clause 02.03-5 Built Environment and Heritage).

The Warrnambool Planning Scheme encourages a place-based approach that integrates planning controls with the distinctive characteristics and needs of the local area. Clause 11.03-6L-01 Warrnambool supports infill development within existing residentially zoned land (Clause 11.01-1S Settlement and Clause 11.03-6S Regional and Local Places).

The dwelling has been carefully designed to respond sensitively to the heritage character of the precinct. While contemporary in form, it respects the predominant single-storey character of the area. The roof lines and gables are consistent with the dominant built form within the precinct, and the entry gable is a modern interpretation of gable forms commonly found in the area. The selected materials, including weatherboards and stone, reference traditional materials used throughout the precinct.

The height of the rear portion of the dwelling has been carefully designed to ensure it does not impact the streetscape. When viewed directly in front of the proposed dwelling or from the southern side of Jamieson Street, the building form remains consistent with the existing pattern of development. The design utilises the site's natural topography to position the additional height towards the rear, maintaining compatibility with the immediate streetscape.

Engagement with Council's heritage advisor has informed the final design, ensuring a high level of sensitivity to the precinct's heritage values. The proposal does not disrupt the existing rhythm of the street but enhances the precinct's significance through a well-considered, contemporary, and respectful architectural response.

While the proposal does not increase housing supply (as it is a replacement dwelling), it contributes positively to the urban environment by promoting active transport, supporting walkability, and reinforcing the residential function of the area. The design provides an appropriate front setback, maintains a garden setting, and integrates harmoniously with the surrounding development pattern.



On balance, the proposal is considered to be consistent with the Municipal Planning Strategy and the Planning Policy Framework, providing a high-quality design outcome that respects and contributes to the heritage character of the precinct (Clause 15.01-5S Neighbourhood Character and Clause 15.03-1S Heritage Conservation).

5.2.2. <u>Does the proposal appropriately respond to the General Residential Zone?</u>

The proposal does not require a planning permit under the General Residential Zone; however, two key mandatory provisions within Clause 32.08 must be considered:

- **Minimum Garden Area:** The site is required to provide a minimum of 35% of the site as garden area. The proposal exceeds this requirement, providing 44% garden area.
- **Maximum Height:** The maximum allowable height within the General Residential Zone is 11 metres or three storeys. The proposed dwelling is three storeys and remains under the 11-metre maximum when measured from its highest point, as indicated in the town planning drawings.

Additionally, the proposal aligns with the purpose of the General Residential Zone, as it maintains the site's residential function and contributes to the area's established residential character.

5.2.3. <u>Does the proposal appropriately respond to the Heritage Overlay?</u>

The proposal requires assessment under the Heritage Overlay (Schedule 317).

The following table provides a response to the relevant decision guidelines under Clause 43.01-8:

Application requirement	Response		
The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place.	In accordance with the Jamieson Street Precinct Guidelines, 43 Jamieson Street is identified as a non- contributory property within the precinct. The proposal has been sensitively designed with careful consideration of the area's built form heritage values. The design respects the existing character of the precinct and ensures that the development does not detract from the natural or cultural significance of the area. As such, the proposal is not considered to have any adverse impact on the heritage significance of the place.		
Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy.	The proposal considered the heritage guidelines for the Jamieson Street Precinct. A response is provided within the table overleaf.		

Application requirement	Response
Whether the location, bulk, form or appearance of the proposed building will adversely affect the significance of the heritage place.	The location of the proposed dwelling will not adversely affect the significance of the HO317 – Jamieson Street Precinct, as it has been designed with careful consideration of its frontage to Jamieson Street. The dwelling incorporates sympathetic colours and materials, ensuring compatibility with the character of the streetscape. While the rear portion of the dwelling includes some bulk and mass, it is positioned towards the back of the site, making it less visible from the street. The view corridors, as demonstrated in the Town Planning Drawings, indicate that these elements will have limited visibility from the streetscape and will remain consistent with the surrounding character. The submitted plans provide 3D perspectives from various viewpoints, including a pedestrian's perspective from the footpath, assisting in assessing the proposal's impact on the streetscape. These perspectives confirm that the design maintains a sympathetic and appropriate response to the heritage character of the precinct.
Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place.	The built form has been carefully designed to respect the predominant single-storey character along Jamieson Street, with the front portion of the dwelling maintaining a lower scale and mass to align with the adjoining dwellings. The larger-scale portion of the dwelling is positioned to the rear, taking advantage of the natural fall of the land to minimise its visibility from the streetscape. The proposed dwelling features a setback consistent with the surrounding streetscape, ensuring that sightlines are maintained, and the rhythm of the built form along Jamieson Street remains intact. The appearance of the dwelling is modest and conservative from the street, incorporating a sympathetic palette of colours and materials that align with the heritage character of the precinct. The contemporary design reflects key architectural elements found within the area, such as roof forms and gables, providing a modern yet contextually appropriate interpretation of the precinct's built form.
Whether the demolition, removal or external alteration will adversely affect the significance of the heritage place.	Given the dwelling and outbuilding/fence to be demolished are not of any heritage significance, the proposal is not considered to be detrimental to the form, bulk or appearance of the surrounding heritage precinct, subject to what is approved in its place.



Jamieson Street Precinct Heritage Guideline Response Subdivision Further subdivision of allotments within the precinct is not Not applicable. encouraged, as the spatial/built form character of the locale will be compromised. Secondary development in rear yards is possible, but may be limited due to allotment size. The built form character of the streetscape should be maintained (dwellings, with open space between) if rear allotment development is considered. Future subdivision of non-contributory allotments should continue the established spatial character of development in the streetscape - in scale, width and pattern. Demolition Demolition of Contributory Place dwellings is not Given the dwelling and outbuilding/fence to be supported, as this would result in a loss of heritage fabric. demolished are not of any heritage significance, the proposal is not considered to be detrimental to the form, Removal of later garages, rear additions or fences not in bulk or appearance of the surrounding heritage precinct, character with those typical to the era of significance of the subject to what is approved in its place. place may be considered by Council. Removal of original timber sash windows or changes in Not applicable. window opening proportions to Contributory places is not supported, where windows can be seen from the streetscape. New buildings New development should respect the established spatial/ The proposed development continues the established built form pattern of the streetscape of Jamieson Street. scale and built form pattern of Jamieson Street, ensuring New buildings should continue the scale/ proportion of a consistent streetscape presentation. The dwelling built form/ open space common to the precinct. is set back in line with adjoining properties, maintaining the prevailing rhythm of the precinct. The higher and larger massing has been positioned towards the rear of the site, rather than at the frontage, minimising its visual impact from the streetscape. A front garden setting and an appropriately designed fence are proposed to reinforce the established streetscape character, tying in with the setting of the adjoining contributory dwelling at 45 Jamieson Street. The design draws inspiration from the surrounding built form, particularly referencing the dwellings at 39, 45, and Jamieson a harmonious Street. ensuring integration into the precinct. Careful consideration has been given to the scale and



proportions of the building. The bulk of the rear section is

Jamieson Street Precinct Heritage Guideline	Response
	effectively screened by the lower front rooms, further assisting in the building's integration with its surroundings. The proportions of the dwelling at the Jamieson Street frontage reflect those of neighbouring properties, preserving the established rhythm and character of the area. Additionally, the window proportions have been designed to mirror those of nearby dwellings, maintaining architectural cohesion within the streetscape.
The scale, roof pitch and use of materials similar to those common to the area is encouraged. Flat or low pitch roofs, two storey structures and large, wide footprint development on allotments is not supported.	The proposal aligns with the preferred built form outcomes for the precinct by incorporating materials, roof forms, and scale that are consistent with the established character of Jamieson Street. The materials proposed (a combination of weatherboards, timber elements, and stone) reference materials used on dwellings in the precinct. This material selection ensures that the dwelling presents as a modern yet contextually appropriate infill development within the precinct. The roof design features a gable form, reinforcing the predominant roof character of the area. The first-floor roof adopts a skillion roofline, intentionally reducing the overall building height. This portion of the roof is also partially screened, ensuring a discreet integration with the surrounding built form. While two-storey or larger structures are generally not supported within the precinct, the proposal has been carefully designed to present a single-storey frontage to the streetscape, with the three-level section (sub-floor, ground floor, and upper floor) positioned towards the rear of the site. Due to the natural topography, the building will be perceived single storey from the street, with only glimpses of the first floor visible. This approach is consistent with the scale and infill development pattern along the rear of properties at 37 and 39 Jamieson Street. The statements of significance within HO317 acknowledge that the northern side of Jamieson Street accommodates larger built forms due to the topography. In line with this, the proposed dwelling is sensitively sited to minimise visual impact. The setback of the larger portion of the dwelling ensures that sightlines towards the contributory dwelling at 45 Jamieson Street are not adversely affected, maintaining the visual integrity of the precinct.



Jamieson Street Precinct Heritage Guideline Response **External Alterations and Additions** Upper floor additions are generally not appropriate, as they Not applicable. will alter the scale of the dwelling and hence compromise The proposal is for a new building. the suburban setting of places within the streetscape. Upper floor additions may only be appropriate if sited to the rear of a property and stepped so that new ridge lines do not dominate streetscape views of existing dwellings. Upper floor additions should also not be seen from side views, from the streetscape. Any proposed additions should be to the rear of existing dwellings, to minimise adverse visual impact on the streetscape. Additions to the side of dwellings are not encourages, as additions will alter the original scale (width) of dwellings when viewed from the street. Original timber framed windows facing the streetscape should be retained and repaired where possible. Replacement of later aluminium framed windows with replica original timber windows is encouraged, to improve the historic integrity of dwellings. Original verandahs should also remain and be maintained, based on original evidence or on similar examples found elsewhere in the street (based upon the period of construction of the dwelling). Alterations to interior finishes and rooms will not impact on the values of the precinct. Materials, Colours and Finishes Stone and face brick wall finishes should be retained and not Not applicable. These guidelines/suggested approaches for materials, be rendered or painted. colours and finishes relate to existing heritage fabric. The proposal provides for sympathetic materials and colours which are not too dark and not too light for a Conite clad buildings should ideally be refurbished as timber heritage precinct. clad dwellings when Conite is removed in the future. Tile roofs should also remain and be repaired to match, or re-clad as required with similar deep profile corrugated, galvanised or mid-grey Colorbond roof sheeting. Original stained finish timber shingles to 'bungalow' style gable faces should be oiled, not painted in finish.



hide past patching work in stucco.

Early stucco finishes should be painted using matt or low gloss finish paint to simulate earlier gloss levels and also

Jamieson Street Precinct Heritage Guideline	Response
Replacement gutters should reflect profiles common to the era of construction of the dwelling – 20^{th} century – ½ round and Quad profile preferable. Round metal downpipes are recommended – UPVC types have jointing systems which are visually inappropriate to the era of the dwelling.	
Timberwork – matt finishes to wall planking. Gloss finishes to fascias, barges and joinery in colours suggested recommended. Potential for accent colours to be used on front doors.	
Fencing	
New fences should repeat design features of fencing typical to the era of dwellings in the streetscape – including timber picket, rendered stone masonry, hedging, vertical timber plank, or masonry with low pillars to match the dwelling. All new front boundary fencing should be limited to 1.2 m high maximum, except where the existing adjacent properties retaining early and original fences provide for a suitable precedent for a higher fence (applicable mainly to the south side of Jamieson Street). Fences should not exceed 1.6 m.	The new picket fence is to be of a maximum height of 1.2 metres, consistent with the character of the surrounding properties.
Rear fencing can be replaced to suit where out of view of the streetscape. Corrugated profile sheet or timber plank fences are preferred.	Some new fencing is provided towards the rear of the new dwelling to assist with privacy. This will achieve minimal visibility from the street. Notwithstanding, this fence is 1.5 metres maximum in height.
Carparking/Garaging	
New garages or carports are not permitted forward of dwellings in the streetscape. New garages should be sited to the rear of each property, so the traditional scale and siting of the dwelling remains extant. Materials should reflect those of each dwelling - matching face brick, painted render or timber/ corrugated clad structures are appropriate. Roofing should match that of each dwelling, continuing the established built form character of dwellings in the locale.	The new garage has been located below street level of the proposed dwelling, to minimise the visual impact of the garage structure and allow the dwelling design to better integrate into the streetscape pattern. Garages in the locality are not highly visible and typically located to the rear of existing dwellings, and the proposed garage will be compatible with this character.
New garages/ carports should also be sighted out of view of the streetscape, to maintain the setting of the place from within the streetscape. Any carport/ garage proposed in new development should be set back from the front facade of such development by at least the width of the garage. Garages/ carports should not be built on side boundaries of allotments, as this disrupts the established spatial/ built character of the streetscape.	



Any roller/ panel door to garages/ carports should be painted

Jamieson Street Precinct Heritage Guideline	Response
to match the surrounding wall colour, to reduce visual	
dominance within the streetscape.	

In accordance with the Jamieson Street Precinct Guidelines, the proposed dwelling and fence have been sensitively designed to integrate with the heritage character of the area. The proposal:

- Works with the natural topography, allowing for an increase in height towards the rear of the site while minimising its dominance within the streetscape.
- Maintains the built form character of Jamieson Street by respecting the established setbacks, spacing between dwellings, and overall pattern of development.
- Preserves the spatial character of the precinct, ensuring the new dwelling does not result in adverse impacts on the scale or setting of the area.
- Incorporates sympathetic colours and materials, referencing weatherboards and stone, consistent with the character of the precinct.
- Features a gable roof form that aligns with the predominant roof character in the area. The first-floor roof adopts a skillion roof form, reducing the overall height and visibility from the street, while careful screening further integrates it into the surrounding built form.
- Ensures window proportions and facade detailing respect the character of the area, reinforcing the rhythm and consistency of the streetscape.
- Does not seek to replicate or mimic a particular era, but rather presents as a contemporary dwelling that remains sympathetic to the existing character of Jamieson Street.

Additionally, the proposed demolition is considered acceptable, as the structures to be removed are not of identified heritage significance and do not contribute to the heritage precinct's character.

Considering the above, the proposal is consistent with the requirements of Heritage Overlay Schedule 317 (HO317) and the Jamieson Street Precinct Guidelines (Warrnambool City Council, 2020). It represents a thoughtful and contextually appropriate response that balances heritage sensitivity with contemporary design principles.



6. CONCLUSION

The proposed development at 43 Jamieson Street has been carefully designed to achieve a high-quality architectural

outcome that respects and integrates with the heritage character of the Jamieson Street Precinct while providing a modern,

functional dwelling.

The planning assessment has demonstrated that the proposal is:

- Consistent with the Municipal Planning Strategy and Planning Policy Framework, supporting orderly urban development

and sensitive infill growth in a well-located area.

Appropriate within the General Residential Zone, meeting all mandatory requirements including garden area and height

limits while reinforcing the residential character of the area.

Sympathetic to the Heritage Overlay, ensuring the scale, siting, materials, and roof form align with the existing

streetscape pattern, minimising visual impact while maintaining the spatial rhythm and integrity of the precinct.

Key design elements - including setbacks, built form articulation, material selection, and roof design - have been carefully considered to ensure compatibility with surrounding dwellings. The height and massing are appropriately distributed, with

the larger form positioned towards the rear, utilising the natural topography to reduce the perceived scale from the street.

Additionally, the front fence design and garden setting reinforce the heritage character of the precinct, ensuring a cohesive

streetscape outcome. The proposed demolition is considered acceptable, as the structures to be removed do not hold

heritage significance and their replacement will enhance the heritage integrity of the precinct.

Overall, the proposal strikes a balance between contemporary design and heritage sensitivity, delivering a site-

responsive and contextually appropriate outcome. In doing so, the proposal meets the objectives of the Warrnambool Planning Scheme, particularly those relating to heritage conservation, built form character, and residential development

within established precincts.

Accordingly, the proposed development is considered to be appropriate and supportable under the relevant planning

provisions, and it is recommended that the application be approved. $\label{eq:provision}$

Steve Myers

Managing Director, MPAA Studio

13 February 2025

M



SP Surface pit in courtyard connected to stormwater system

COS Confirm on site

Temporary bench mark - existing white surveyors peg

TBA Surface spot levels

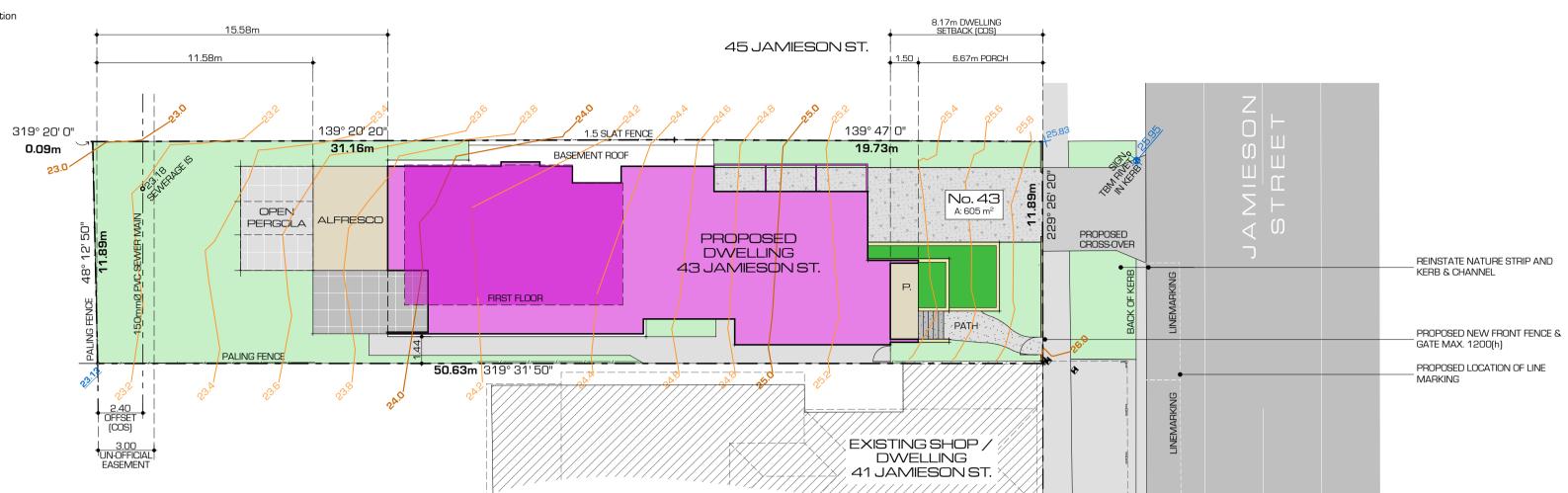
→ GM Gas Meter

TP Telecom Pit

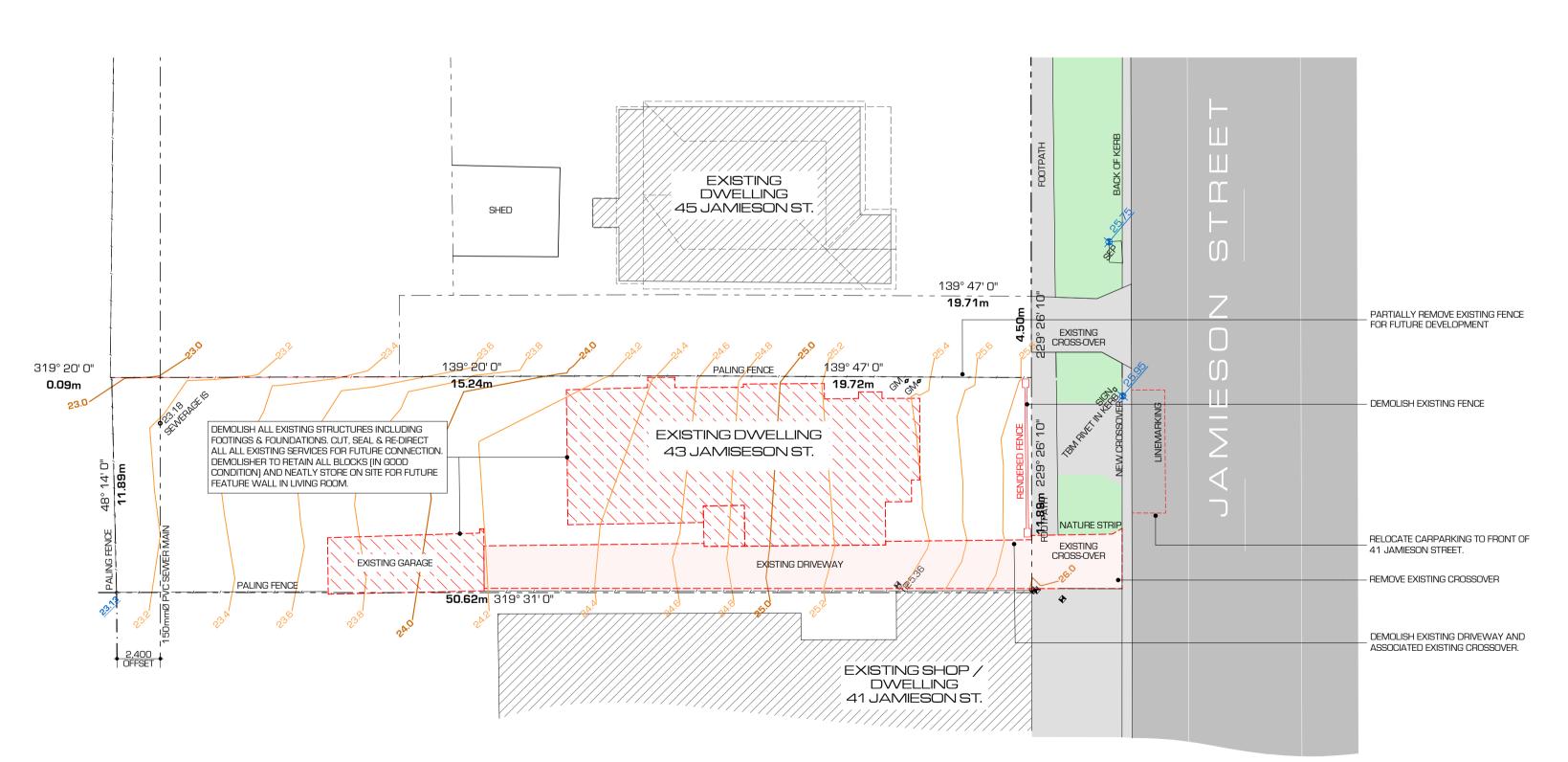
Site Contours Note:

Major site contours at 1000mm increments
Minor site contours at 200mm increments

Note: Site contours derived from interpolation between surface levels by Vincent Land Surveying. Builder to site verify before commencement of project and report any major discrepancies.







EXISTING /
DEMOLITION SITE PLAN

1:200

TP1

RESCODE ASSESSMENT

 MIN. GARDEN AREA REQUIREMENT

 ABOVE 500 - 650m² SITE = 30% MINIMUM

 SITE AREA
 605
 100%

 REQUIRED GARDEN AREA
 182
 30%

 ACTUAL GARDEN AREA
 264
 44%

 AREA
 m²
 %

 SITE COVERAGE
 SITE AREA
 605
 100%

 MAXIMUM SITE COVERAGE (60%)
 363
 60%

 PROPOSED DWELLING FOOTPRINT
 219
 36%

 PROPOSED PORCH
 6
 1%

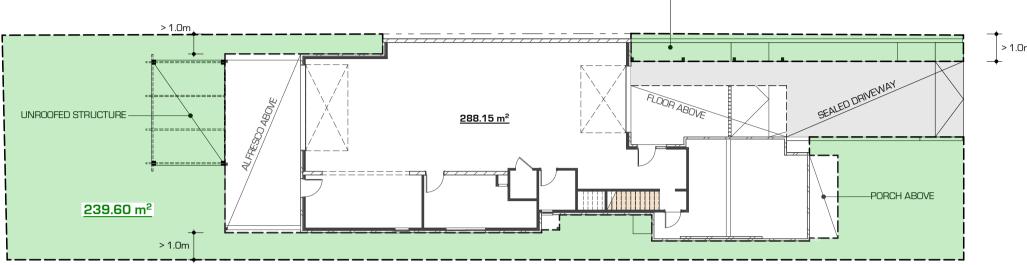
 PROPOSED ALFRESCO
 43
 7%

 BASEMENT LEVEL
 25
 4%

 TOTAL BUILDING AREA
 293m²

 ACTUAL SITE COVERAGE
 48%

25.18 m²



GARDEN AREA PLAN

1:200

TP1

0 1 2 3 4 5 10 SCALE BAR IN METRES - 1:200

MPAA

Level 1, Co Lab Despensary Lane
Warrnambool VIC 3280
Phone: (03) 5562 9443
info@mpaastudio.co
Reg No DP-AD 40515
ABN 53253414622
© MPAA STUDIO 2023

revision: description:

Lodged with WCC

NOT FOR CONSTRUCTION

ALL WORKS TO BE CARRIED OUT IN STRICT COMPLIANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) OF AUSTRALIA.
CONTRACTORS TO CHECK ALL SITE DIMENSIONS & LEVELS BEFORE COMMENCEMENT OF WORK. WRITTEN DIMENSIONS TAKE
PRECEDENCE OVER SCALE.

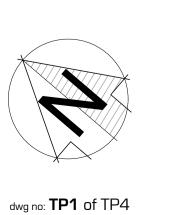
PROPOSED DWELLING AT
43 JAMIESON STREET, WARRNAMBOOL VIC. 3280

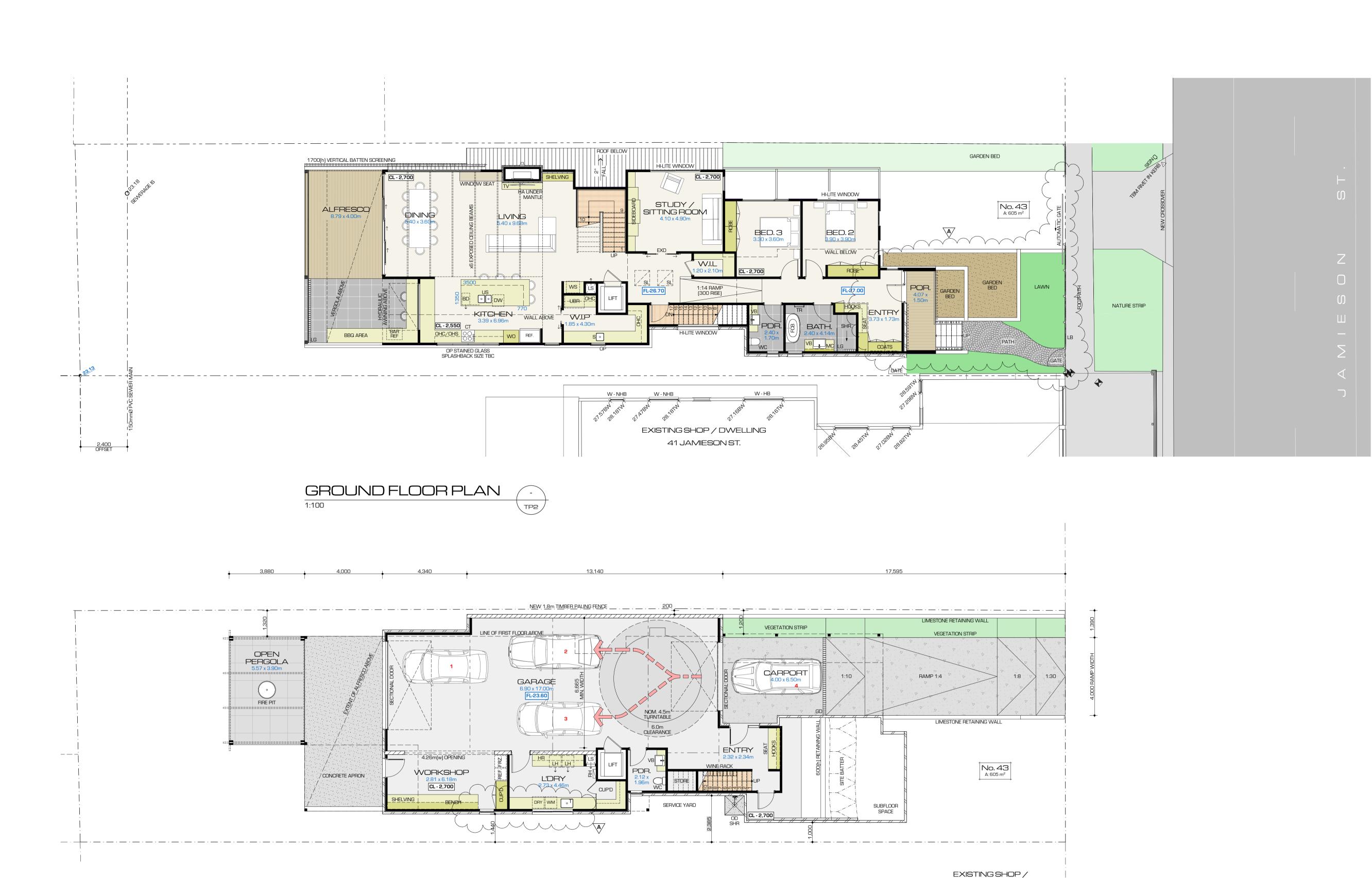
EXISTING DEMOLITION SITE PLAN & PROPOSED SITE PLAN

NOV. 2023
scale:

AS SHOWN
sheet size:

A1
designed by: drawn by:
MZ HE
project no.: rev.:
23-1200





0 1 2 3 4 5

BUILDING AREAS

SUB-TOTAL DWELLING AREA 483.69 52.05

SUB-TOTAL BUILDING AREA 28.06 3.02

ABBREVIATIONS

Under bench dryer

Floating shelves

Existing door

Hanging rail

Laundry hamper
Laundry shoot
Mirror cabinet
Overhead cupboards

Overhead shelving
Opaque window
Pigeon hole shelving
Roller Door

Sliding doors

Laundry tough

Vanity basin Toilet pan

W - HB Existing Window - Habitable
W - NHB Existing Window - Non-Habitable
BW Existing Window - Bottom of Window
TW Existing Window - Top of Window

Skylight - Velux or similar

Under bench refrigerator
Undermount sink
Under stair shoe storage

Under bench washing machine

Vertical double wall ovens Wine storage display

Refrigerator provision min. 1000mm Robin hood fold out ironing station

Letterbox

Cooktop

Kitchen slide-out bin draw

Freestanding corner bathtub

Heating appliance - TBC

217.28 23.38

84.46 9.09

123.62 13.30

6.56 0.71

42.80 4.61

511.75 55.06

21.50 2.31 35.93 3.87

PROPOSED GROUND FLOOR

PROPOSED FIRST FLOOR

PROPOSED GARAGE

PROPOSED ALFRESCO

UNDERCOVER AREA

(UNDER ALFRESCO)

FCB

SHR

WM

WO

TOTAL BUILDING AREA

FRONT PORCH

SCALE BAR IN METRES - 1:100

MPAA

Level 1, Co Lab Despensary Lane
Warrnambool VIC 3280
Phone: (03) 5562 9443
info@mpaastudio.co
Reg No DP-AD 40515
ABN 53253414622

© MPAA STUDIO 2023

BASEMENT FLOOR PLAN

revision: description:

/ Lodged with WCC

A Revised front facade, reduction of overall building height, front fence updated, altered roof forms / pitches & some 13/02/2025 external material changes

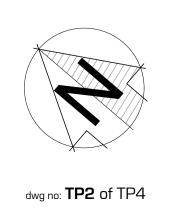
NOT FOR CONSTRUCTION

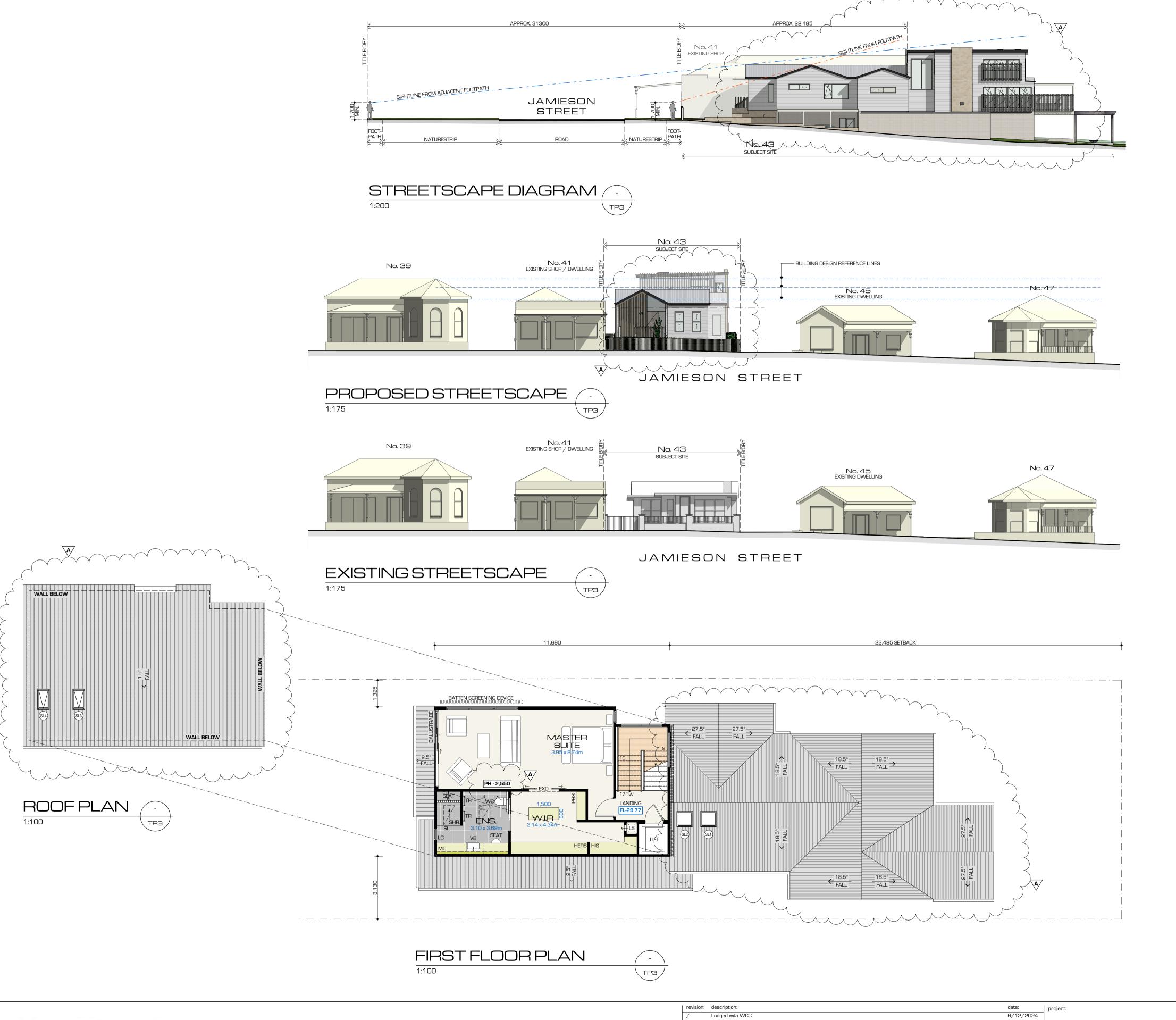
ALL WORKS TO BE CARRIED OUT IN STRICT COMPLIANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) OF AUSTRALIA. CONTRACTORS TO CHECK ALL SITE DIMENSIONS & LEVELS BEFORE COMMENCEMENT OF WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.

PROPOSED DWELLING AT
43 JAMIESON STREET, WARRNAMBOOL VIC. 3280

BASEMENT & GROUND FLOOR PLAN

DWELLING 41 JAMIESON ST.







STREETSCAPE VIEW 1



STREETSCAPE VIEW 2



STREETSCAPE VIEW 3



STREETSCAPE VIEW 4



STREETSCAPE VIEW 5



STREETSCAPE VIEW 6



SCALE BAR IN METRES - 1:100



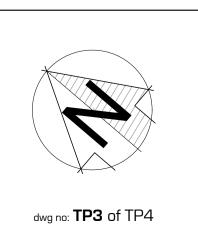
Level 1, Co Lab Despensary Lane Warrnambool VIC 3280 Phone: (03) 5562 9443 info@mpaastudio.co **Reg No** DP-AD 40515 **ABN** 53253414622 © MPAA STUDIO 2023



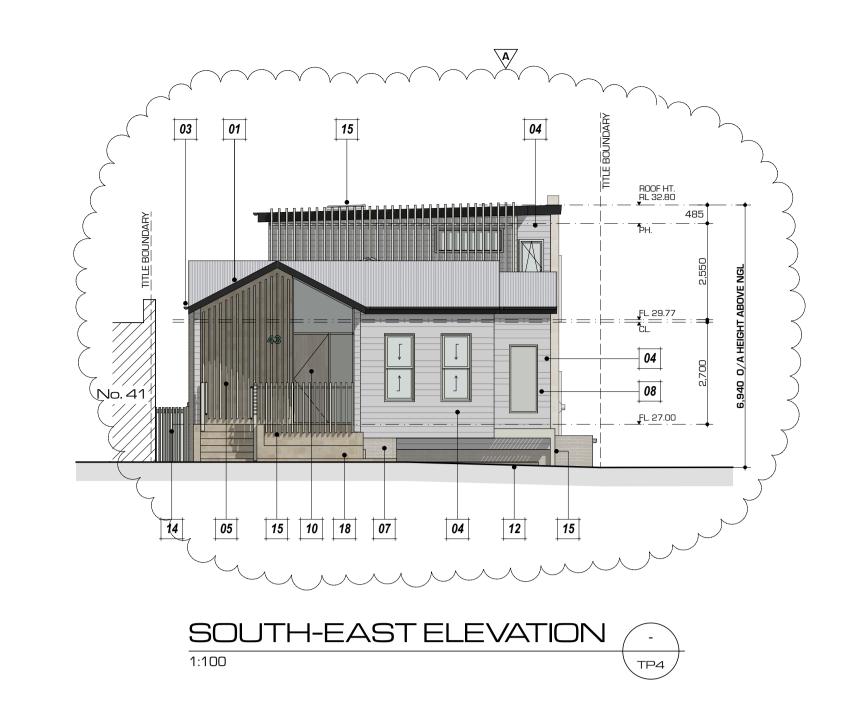
NOT FOR CONSTRUCTION

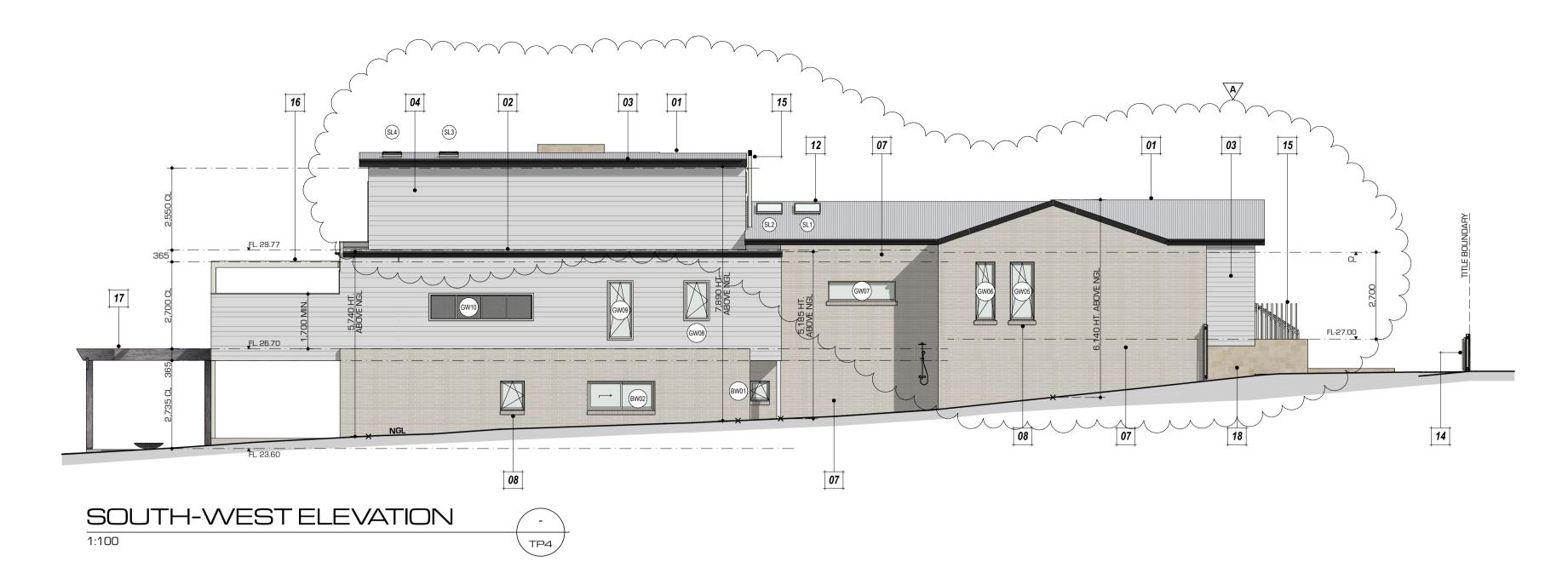
ALL WORKS TO BE CARRIED OUT IN STRICT COMPLIANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) OF AUSTRALIA. CONTRACTORS TO CHECK ALL SITE DIMENSIONS & LEVELS BEFORE COMMENCEMENT OF WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.

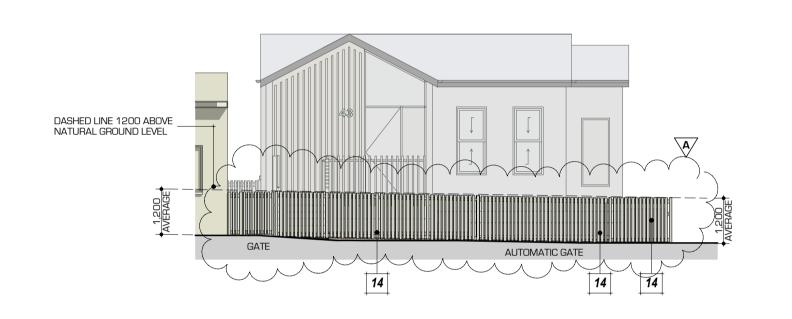
PROPOSED DWELLING AT 43 JAMIESON STREET, WARRNAMBOOL VIC. 3280		NOV. 202 scale:	
	client:	sheet size: designed by:	A
	drawing title: FIRST FLOOR PLAN, 3D PERSPECTIVES & STREETSCAPE ELEVATIONS	MZ project no.: 23-1200	rev.:

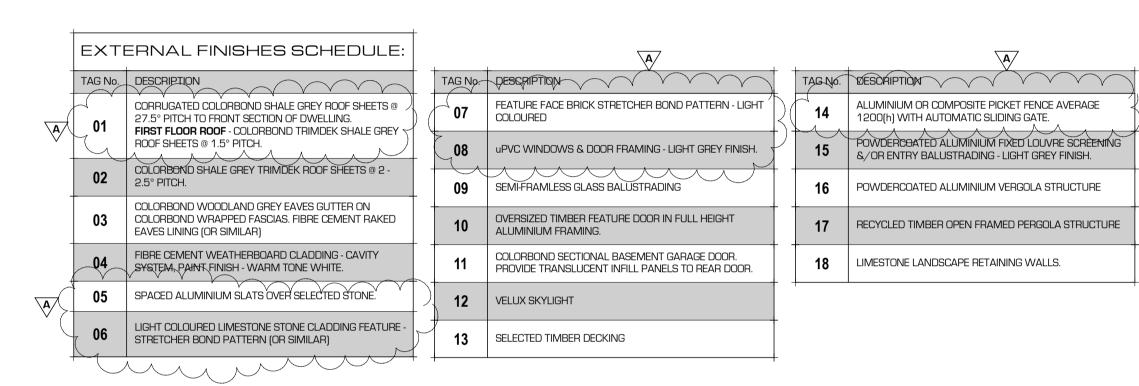


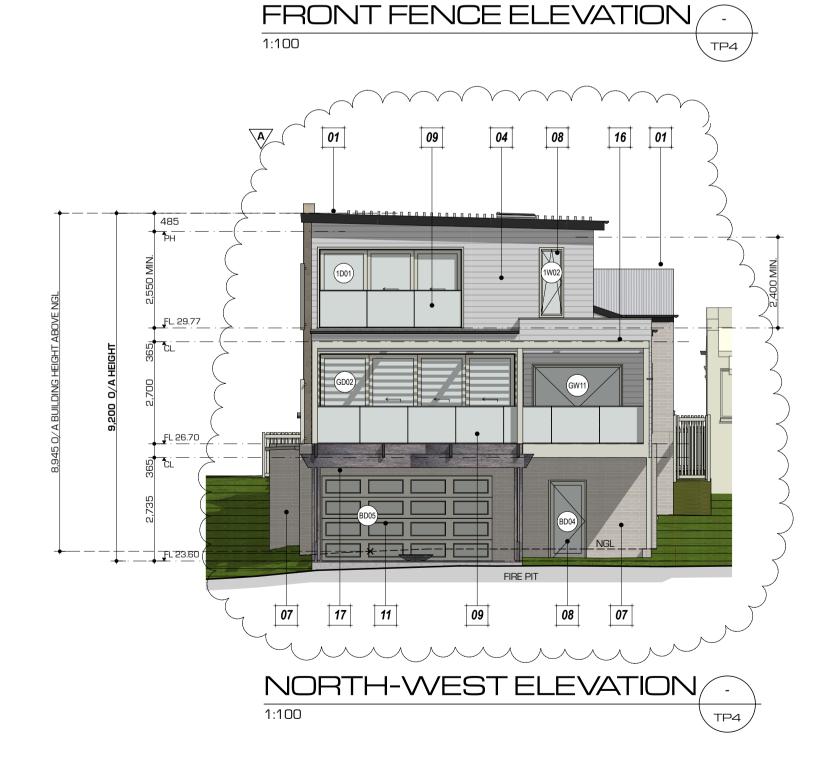
ADVERTISED















Level 1, Co Lab Despensary Lane
Warrnambool VIC 3280
Phone: (03) 5562 9443
info@mpaastudio.co
Reg No DP-AD 40515
ABN 53253414622

© MPAA STUDIO 2023

revision: description:

/ Lodged with WCC

A Revised front facade, reduction of overall building height, front fence updated, altered roof forms / pitches & some 13, external material changes

NOT FOR CONSTRUCTION

ALL WORKS TO BE CARRIED OUT IN STRICT COMPLIANCE WITH THE NATIONAL CONSTRUCTION CODE [NCC] OF AUSTRALIA. CONTRACTORS TO CHECK ALL SITE DIMENSIONS & LEVELS BEFORE COMMENCEMENT OF WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.

| Description of the content of the

PROPOSED ELEVATIONS

dwg no: **TP4** of TP4

23-1200