



NOTICE OF AN APPLICATION FOR A PLANNING PERMIT

The land affected by the application is located at:	191-201 Morriss Rd WARRNAMBOOL VIC 3280
The application is for a permit to:	Development and use of Child Play Centre (Leisure & recreation)
A permit is required under the following clauses of the planning scheme:	Clause 34.02 (Commercial 2 Zone) – Use and development Clause 43.02 (Design and Development Overlay – Construct a building or carry out works)
The applicant for the permit is:	D & K Grist
The application reference number is:	PP2024-0233
You may look at the application and any documents that support the application at the office of the responsible authority:	Warrnambool Civic Centre 25 Liebig Street WARRNAMBOOL 3280 Or online at: https://www.warrnambool.vic.gov.au/advertised-planning-applications
For further reference please contact:	Planning Support Telephone: 03 5559 4800 Email: planning@warrnambool.vic.gov.au

This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the Responsible Authority (Warrnambool City Council).

An objection must * **be made to the Responsible Authority in writing**
 * **include the reasons for the objection, and**
 * **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

If you object, the Responsible Authority will tell you its decision.

Objections/Submissions are accepted by:

- post to Town Planning Office, Warrnambool City Council, PO Box 198 Warrnambool 3280
- in person at the Warrnambool Civic Centre, 25 Liebig Street, Warrnambool
- submitting an 'Objection to grant a Planning Permit' form available from www.warrnambool.vic.gov.au Click on *Property – Planning Permits - Objection to grant a Planning Permit form*
- email to planning@warrnambool.vic.gov.au

The Responsible Authority will not decide on the application before:	7 February 2025
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The Warrnambool City Council is committed to protecting personal information in accordance with the principles of the Victorian privacy laws. The information provided will be used for the following purposes:

- correspond about the permit application
- if necessary, notify affected parties who may wish to inspect your application so that they can respond
- if necessary, forward your application to a referral authority who must also keep a register available for inspection by any person

The information you provide will be made available to:

- any person who may wish to inspect the application until the application process is concluded, including any review in VCAT
- relevant officers at Council, anyone a party to the application process and other Government agencies or Ministers directly involved in the planning process
- persons accessing information in accordance with the Public Records Act 1973 or the Freedom of Information Act 1982
- Other external parties if required by law

This information is being collected in accordance with the Planning and Environment Act 1987. If all requested information is not received, Council may not be able to process your application or objection.

Do you agree?



Yes



No

The Land

1. Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address

Unit No.: _____ St. No.: 191-201 Street name MORRIS ROAD
HOLLINGSWORTH BOULEVARD
Suburb/locality WARRNAMBOOL postcode 3280

Formal Land Description

Complete either A or B.

A Lot No.: 1 ☐ Lodged Plan ☒ Title Plan ☐ Plan of Subdivision No.: 961748Q

or

B Crown Allotment No.: _____ Section No.: _____

Parish/Township Name: _____

NOTE LAND THE SUBJECT OF PLAN OF SUBDIVISION
TO BE LOT 38 PS 849566 M

The Proposal

You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

2. For what use, development or other matter do you require a permit?

CHILD PLAY CENTRE (LEISURE AND RECREATION)
DEVELOPMENT & USE PER ATTACHED PLANS
AND REPORT

Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

3. Estimated cost of development for which the permit is required

Cost: \$ 1.05 M You may be required to verify this estimate.

Insert '0' if no development is proposed (eg. change of use, subdivision, removal of covenant, liquor licence)

Existing Conditions

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4. Describe how the land is used and developed now

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

VACANT LAND

Title Information

5. Encumbrances on title

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes ☐ Provide a copy
☐ No
☒ Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive

Applicant and Owner Details

6. Provide details of the applicant and the owner of the land.

Applicant (The person who wants the permit.)

Title: MR/MRS First Name: D & K Surname: GRIST

Organisation (if applicable): _____

Unit No.: _____ St. No.: 604 Street name: CHISHOLM ST

Suburb/locality: BLACKHILL State: VIC postcode: 3350

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

☒ Same as applicant (If so, go to 'contact information')

Title: _____ First Name: _____ Surname: _____

Organisation (if applicable): _____

Unit No.: _____ St. No.: _____ Street name: _____

Suburb/locality: _____ State: _____ postcode: _____

Contact information Please provide at least one contact phone number

Business Phone: _____ Email: dkgrista@outlook.com

Mobile Phone: 0419 525 377 Fax: gpdsovrke@gmail.com

Owner (The person or organisation who owns the land)

☐ Same as applicant

Where the owner is different from the applicant, provide the details of that person or organisation.

Title: _____ First Name: _____ Surname: _____

Organisation (if applicable): _____

Unit No.: 1

Suburb/locality: _____

Owners signature (Optional)

[Signature]
owner owner contact.

Date: 25/11/24

Declaration

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7. This form must be signed by the applicant

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature



Date

26/11/24

Need help with the Application?

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8. Has there been a pre-application meeting with a Council planning officer?

☒ yes

☐ no

If yes, with whom?: PLANNING + ECO DEV

Date: OCTOBER 24

Application Type

Is this a VicSmart application?* ☐ Yes ☒ No

If yes, please specify which VicSmart class or classes.

*Classes of VicSmart application are listed in Zones, overlays, particular provisions and the schedule to Clause 59.15

Checklist

9. Have you

☒ Filled in the form completely?

☒ Provided all necessary supporting information and documents?

☒ A current copy of title (no more than 3 months old) including a copy of any encumbrances affecting the land.

☒ Plans showing the layout and details of the proposal

☒ A plan of existing conditions

☒ Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

☒ Signed the declaration (section 7)?

Lodgement and Payment

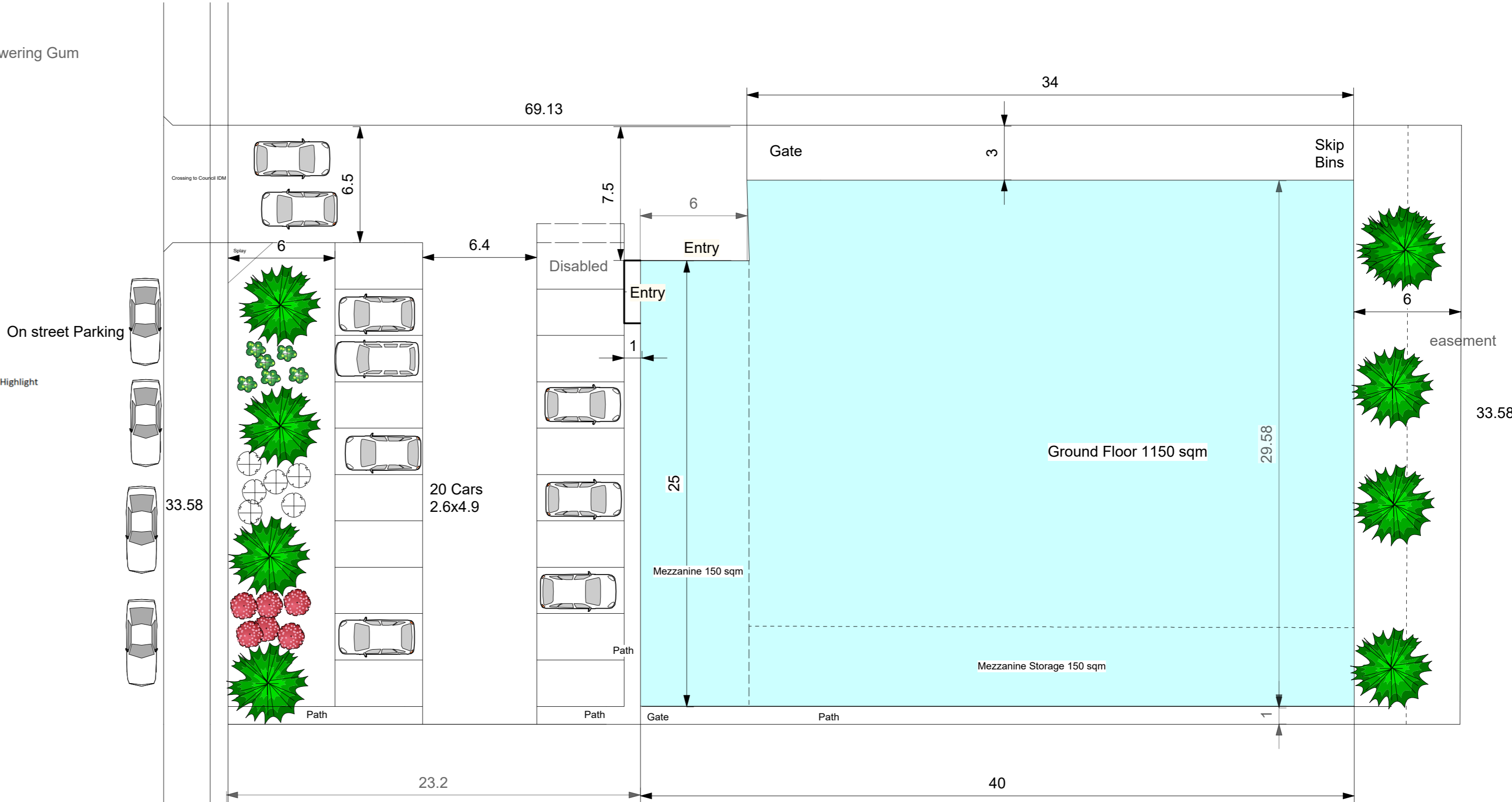
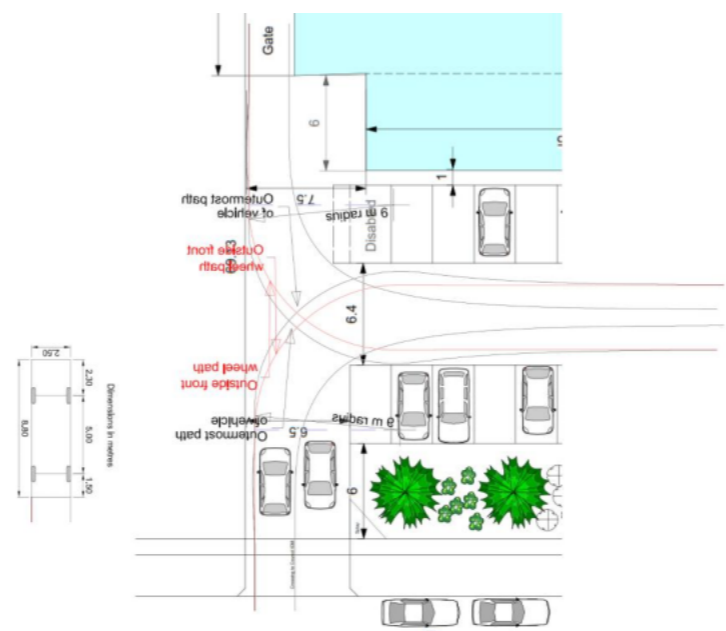
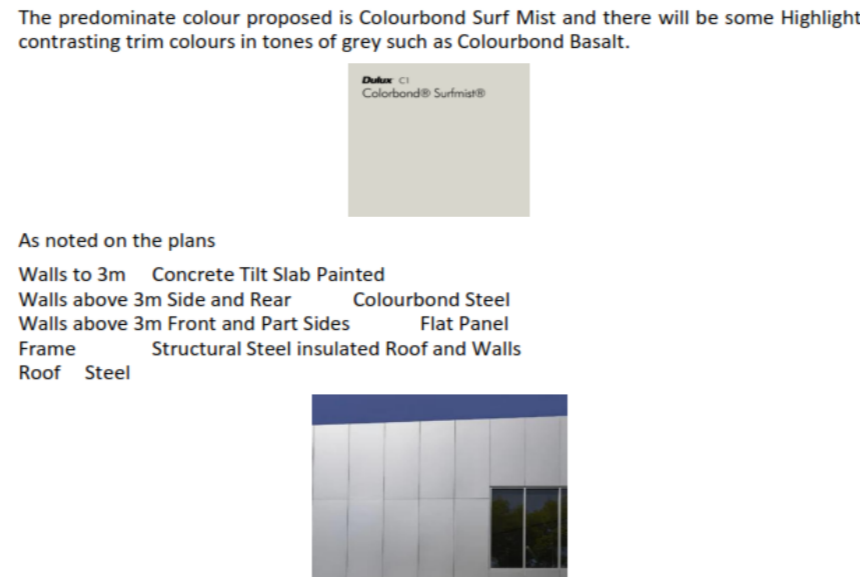
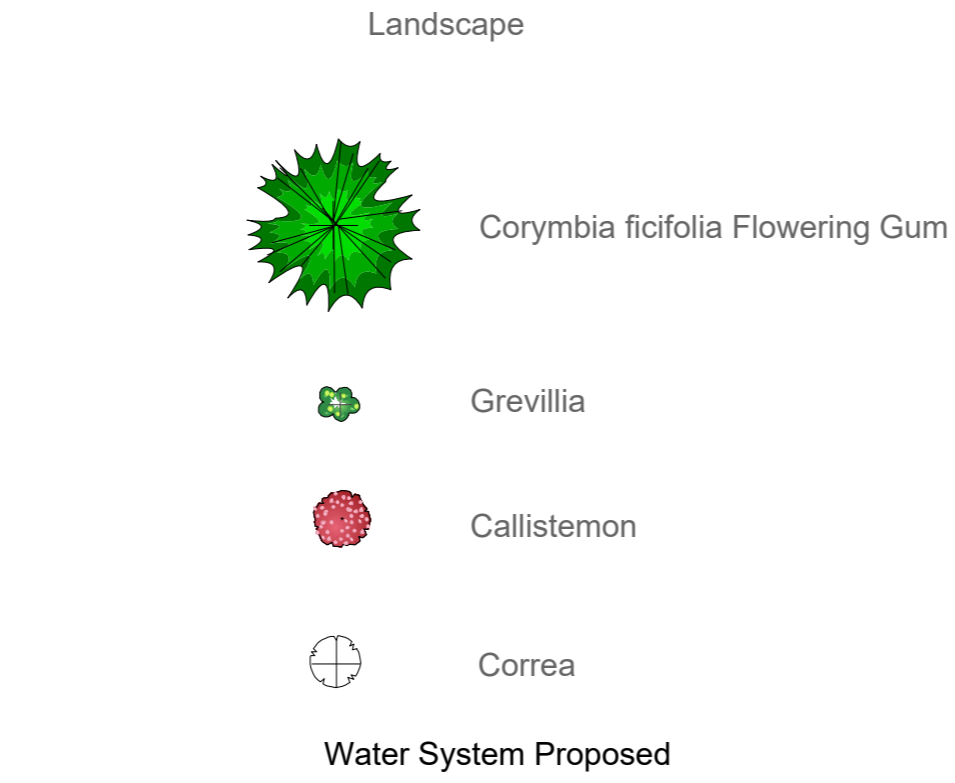
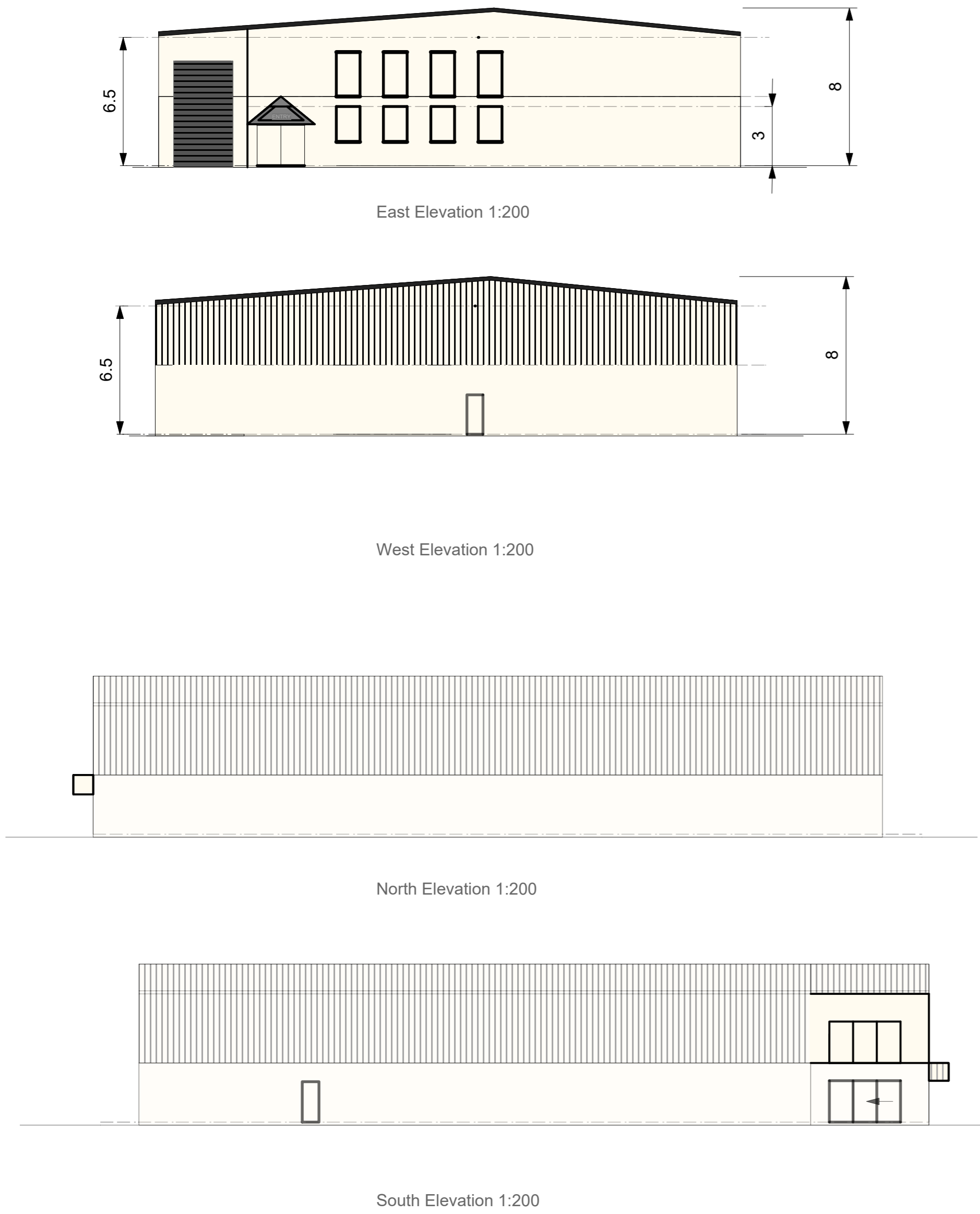
Lodge the completed and signed form and all documents with:

In Person: Warrnambool City Council Civic Centre, 25 Liebig Street, Warrnambool 8.30am to 5.00pm

Mail: PO Box 198, WARRNAMBOOL Victoria 3280

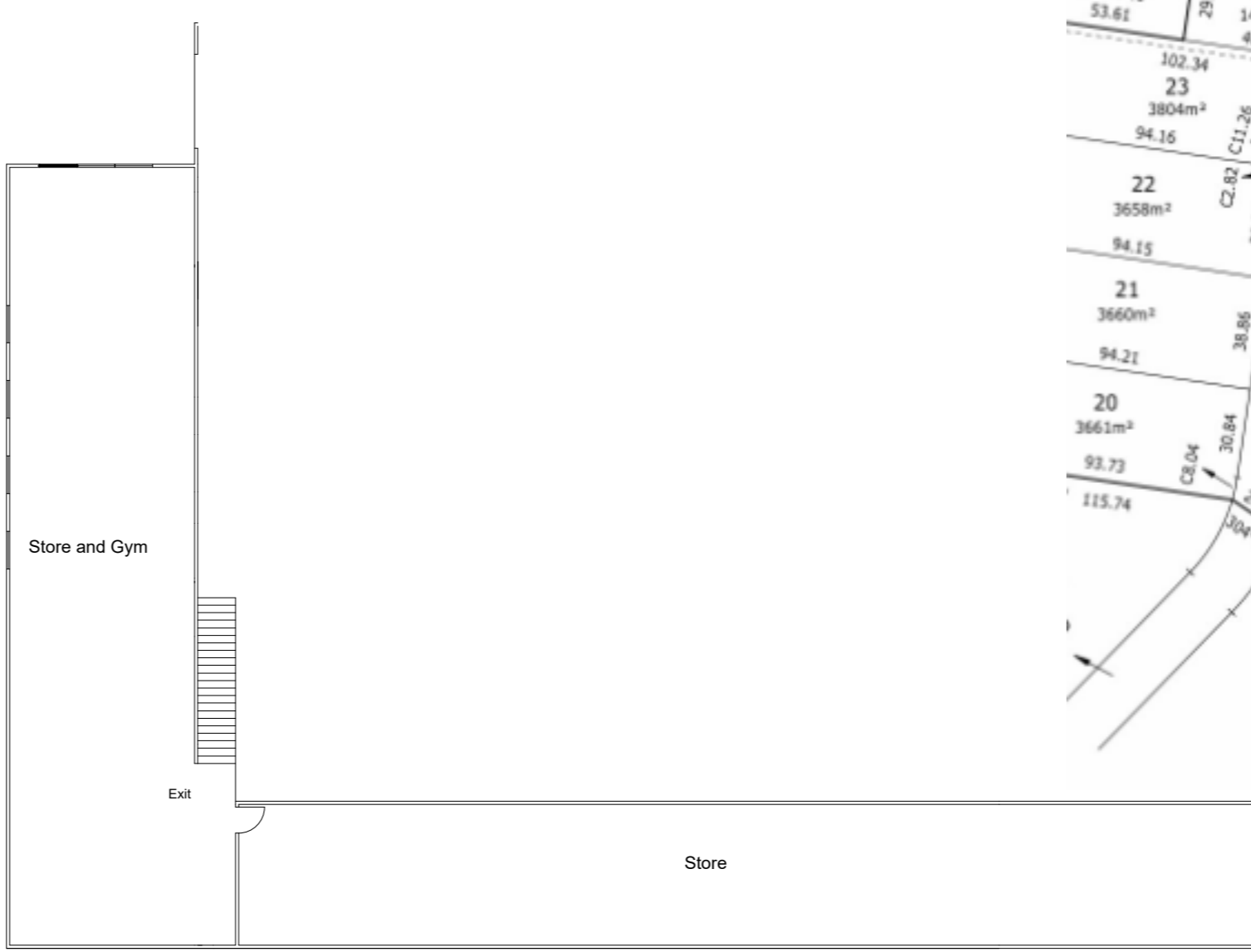
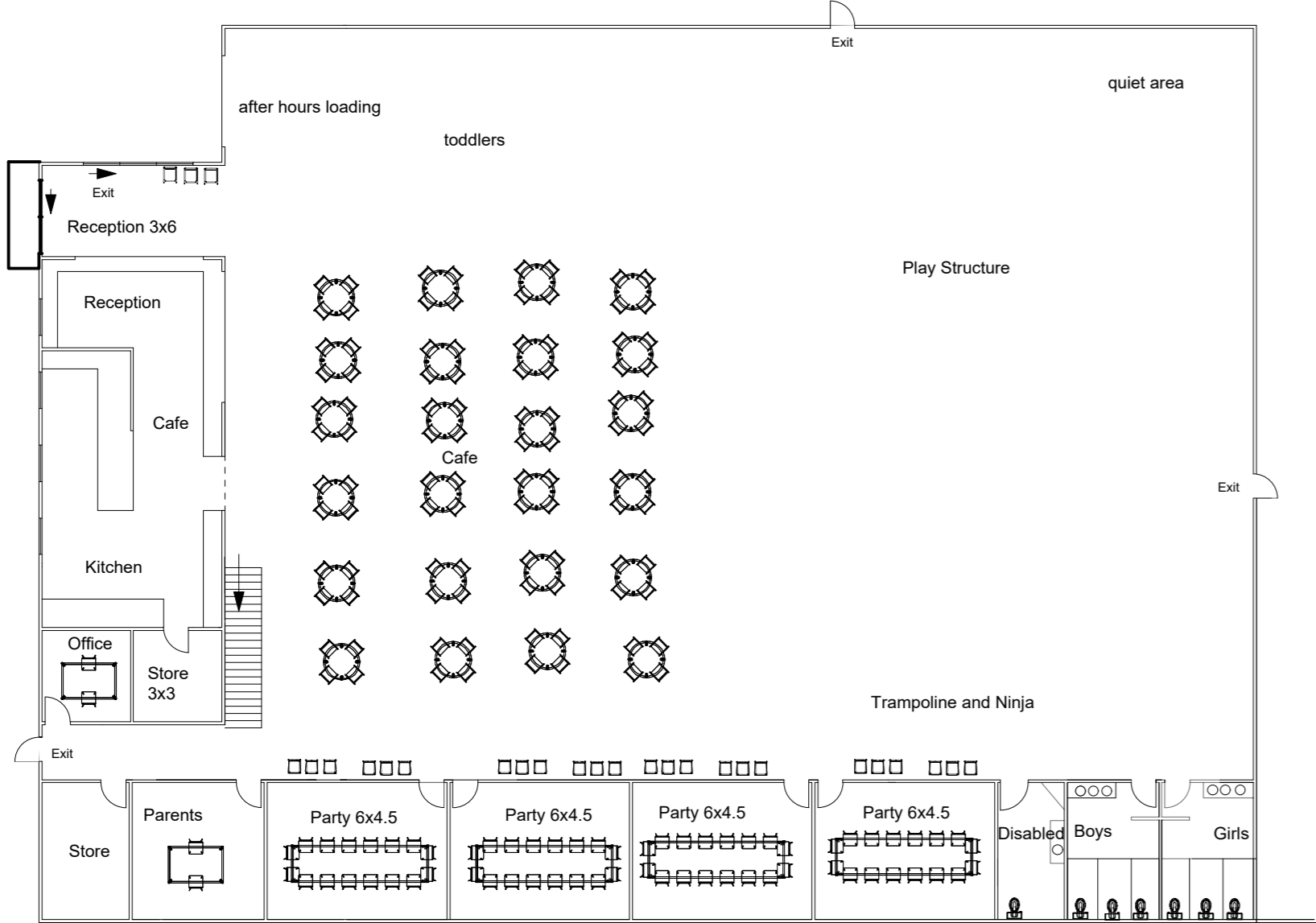
E-mail planning@warrnambool.vic.gov.au

Please note once your application is received, an invoice will be forwarded to you via email.



Notes

- Connect to sewer
- Connect to existing drainage system
- All work to BCA and relevant Standards
- Fire Service to Engineers Report
- Energy to Section J requirements
- Metal Roof
- Steel Portal Frame
- Concrete Tilt Slab Construction to 3m
- Colourbond above 3m (rear and sides)
- Flat Painted Panel to front and around sides
- Windows to later detail
- Car Parking to Planning Scheme requirements
- Colours to later detail (muted tones)
- To accomodate 80 patrons
- Disabled car parking space
- Landscaping detail to later plan (shade, understory and mulch)
- Lights Baffled and Located to prevent glare
- Civil Works to Council IDM



Plan 1:200 at A1

Notes All work to meet BCA and relevant Australian Standards. Engineers Computations and Footing Design to be observed. Work to be inspected at relevant stages by Building Inspector. Drainage to lawful Point of Discharge or existing SWD. Wastes Discharge to meet EPA Standards.		Design Firm Bernie Wilder and Associates 9 Robins Ave Portland Victoria 3305 Mobile 0419 400 333	Project Title Play Centre Lot 38 Hollingsworth Bvd Warrnambool	Project Manager Bernie Wilder	Project ID
		Consultant Bernie Wilder and Associates gpdshourke@gmail.com	Sheet Title Final Concept Plan	Drawn By Bernie Wilder	Scale
				Reviewed By	Sheet No. 24 December 2024 CDD File Name

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Bernie Wilder and Associates



We respectfully acknowledge the traditional custodians, the Gunditjmara peoples. We pay our respects to all Aboriginal Community Elders past and present who have been an integral part of this region's history.

Town Planning, Project Management and Local Government Consultants

9 Robins Ave Portland Victoria 3305

Mobile 0419 400 333

E-mail gpdsbourke@gmail.com

Web Site www.berniewilder.com

**Proposed Indoor Child Play Centre
(Leisure and Recreation)**

at

Lot 38 PS 849566M

Hollingsworth Boulevard Warrnambool



Warrnambool Planning Scheme

PLANNING REPORT

ENVIRONMENTAL IMPACT ASSESSMENT

25 November 2024



Introduction and Context

This report has been prepared to accompany an application for a Planning Permit under the Warrnambool Planning Scheme for the construction of an Indoor Child Play Centre and associated works.

Core hours are to be Daytime mainly on weekends and school breaks. Some activities after hours such as Admin, meetings, maintenance and cleaning are involved.

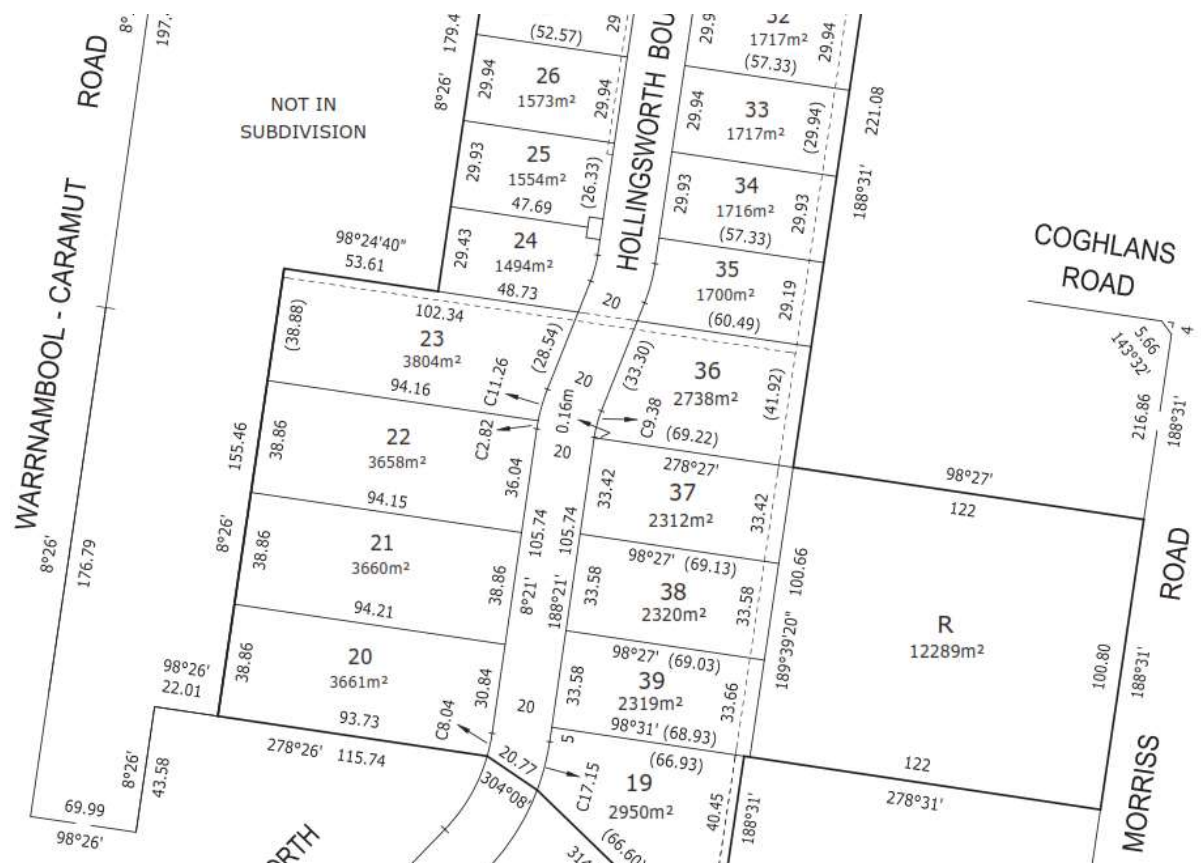
The report considers the various provisions of the Planning Scheme. The report also provides an assessment of likely environmental impacts.

Site Details

The development site has an area of approximately 2320 sqm and is zoned Commercial 2 Zone under the Scheme. A Design and Development Plan 12 Overlay applies.

The development site has an abuttal to a street under construction as part of the subdivision to create the lot and is vacant land.

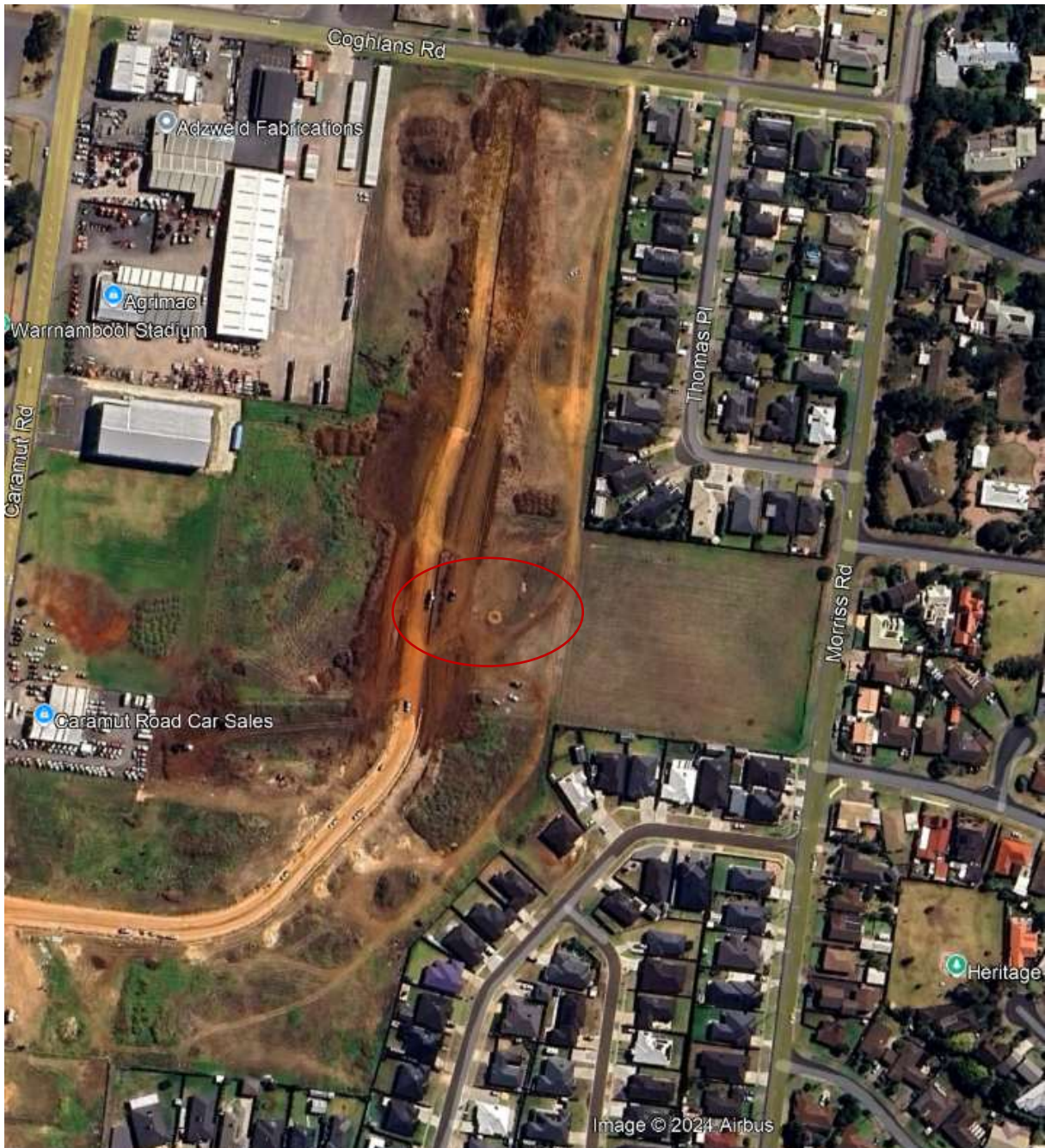
The following map shows the location of the site relative to adjoining allotments:



Locality Plan



Air Photo and Features



Air Photo showing Land



Site Development Details

Details of the proposed development are set out below:

Land Use

The new building is to be used for an Indoor Child Play Centre for up to 80 Children.

Buildings

Buildings are proposed in this application as per the plans.

Works

Proposed works involve connection of services.

Site Topography

The site is flat and drains to existing drainage networks comprising watercourses and drains. The site is cleared with no remnant vegetation. No tree clearing is proposed.

Access

An all-weather sealed access way is proposed as per the plans.

Drainage

Concentrated waters are proposed to be discharged to a pipe system to the existing SWD system.

Parking

Off-street car parking is proposed in accordance with the Planning Scheme requirements.

Tree Clearing and Landscaping

Site landscaping is proposed as per the plans.

Aboriginal Archaeology

A Cultural Management Plan is not required.

Need for Development

There is an urgent need for such a facility to provide for recreation of this type.

The site is readily accessible and has safe drop off points within the land consistent with relevant strategies contained within the Planning Scheme.

The site is removed from close proximity to existing houses. Land to the east is vacant and will be developed with houses at some future date. The future owners will buy in the knowledge of the existence of the facility.



Title



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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to Page 5/200.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 12307 FOLIO 923

Security no : 1241191253598
Produced 18/10/2024 07:00 AM

LAND DESCRIPTION

Lot 1 on Title Plan 961748Q.
PARENT TITLE Volume 11838 Folio 871
Created by Application No. 144946E 01/06/2021

REGISTERED PROPRIETOR

Estate, Fee Simple

ENCUMBRANCES, CAVEATS AND NOTICES

DIAGRAM LOCATION

SEE TP961748Q FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 191-201 MORRISS ROAD WARRNAMBOOL VIC 3280

ADMINISTRATIVE NOTICES

NIL

eCT Control 23915R NWF LAWYERS PTY LTD
Effective from 27/07/2023

DOCUMENT END

Title 12307/923

Page 1 of 1

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Number of Pages (excluding this cover sheet)	1
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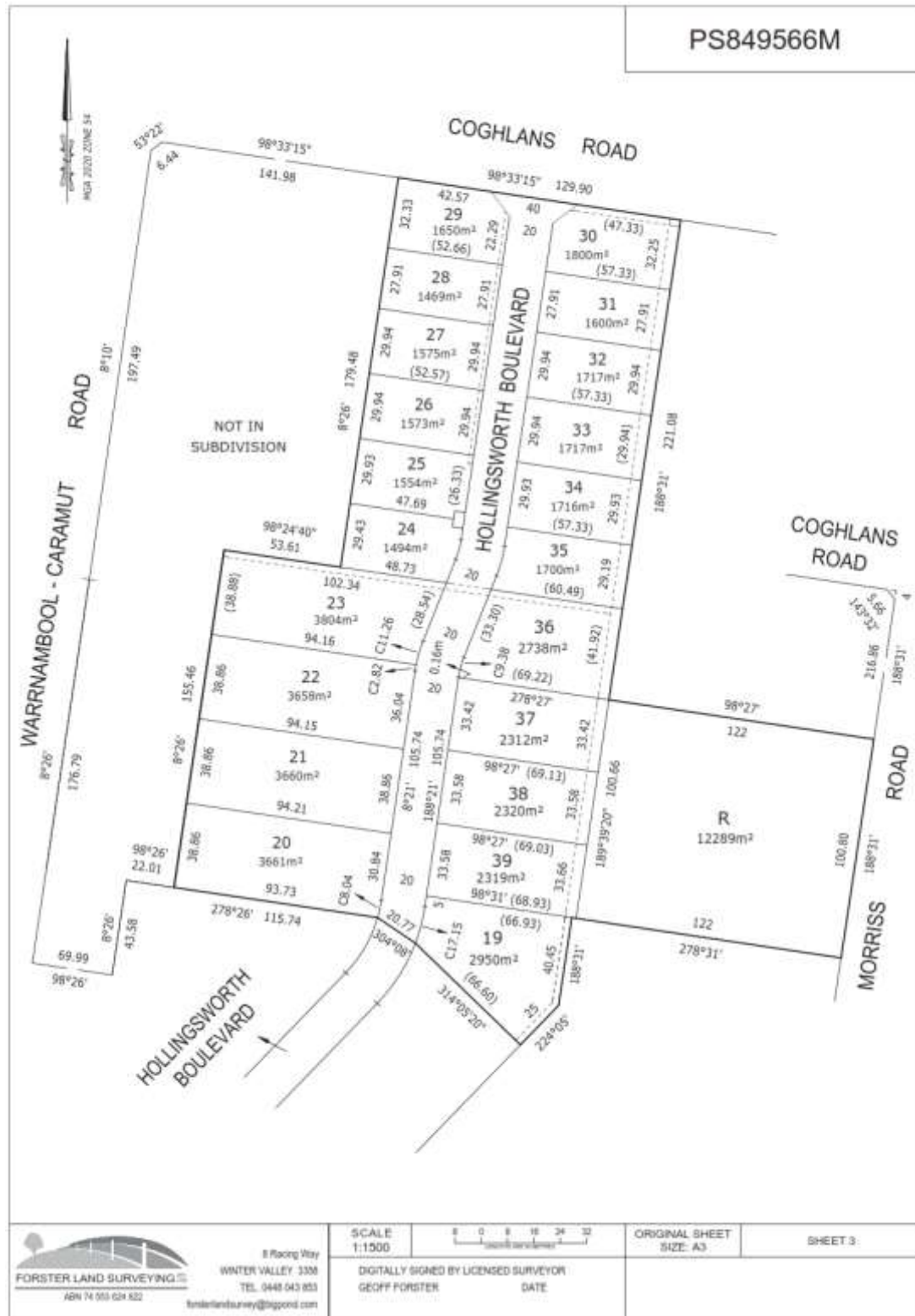
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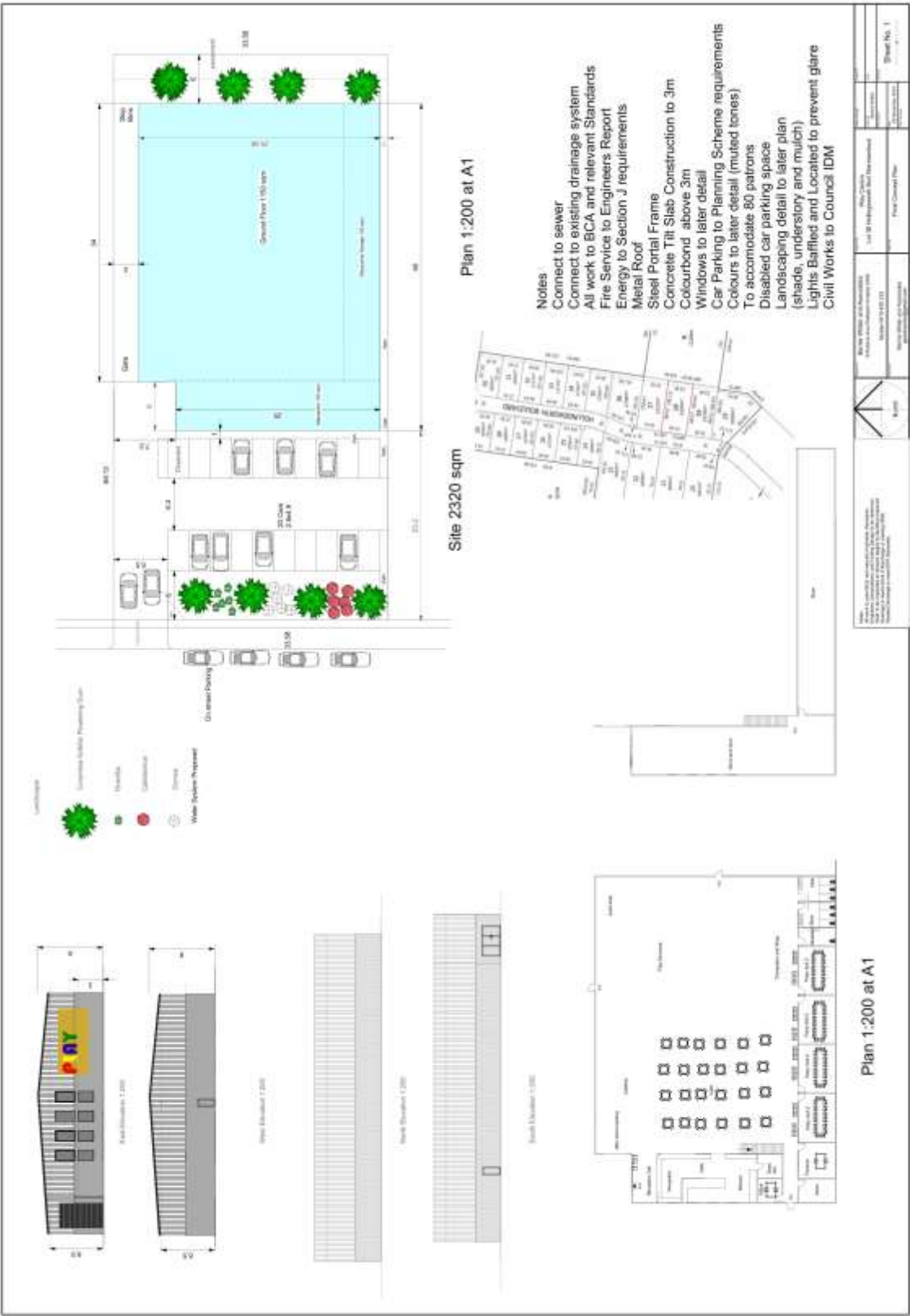
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LOCATION OF LAND PARISH: WANGOOM TOWNSHIP: SECTION: CROWN ALLOTMENT: 73 (PT) CROWN PORTION: LAST PLAN REFERENCE: DERIVED FROM: DEPTH LIMITATION: NIL			NOTATIONS WARNING AS TO DIMENSIONS: ANY DIMENSION AND CONNECTING DISTANCE SHOWN IS BASED ON THE DESCRIPTION OF THE LAND CONTAINED IN THE GENERAL LAW TITLE AND IS NOT BASED ON SURVEY INFORMATION WHICH HAS BEEN INVESTIGATED BY THE REGISTRAR OF TITLES.		
EASEMENT INFORMATION E - ENCUMBERING EASEMENT, R - ENCUMBERING EASEMENT (ROAD), A - APPURTENANT EASEMENT.					THIS PLAN HAS BEEN PREPARED BY LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES Checked by: AJC Date: 01/12/2016 Assistant Registrar of Titles
Easement Reference	Purpose / Authority	Width (Metres)	Origin	Land benefited / In favour of	
<p>The diagram shows a rectangular lot labeled 'LOT 1'. The dimensions and bearings for the lot are: North boundary: 90°00', 201.17; East boundary: 180°00', 100.58; South boundary: 270°00', 201.17; West boundary: 0°00', 100.58. To the east of the lot is 'MORRIS ROAD'. To the west is 'CA 73'. To the south is 'S.E. CNR CA 73' and 'CA 72'. A north arrow is located to the left of the lot.</p>					
LENGTHS ARE IN METRES	SCALE	DEALING / FILE No: AP136887P		DEALING CODE: 23	
		GOVERNMENT GAZETTE No:		SHEET 1 OF 1	



There are no Covenants or restrictions on title.



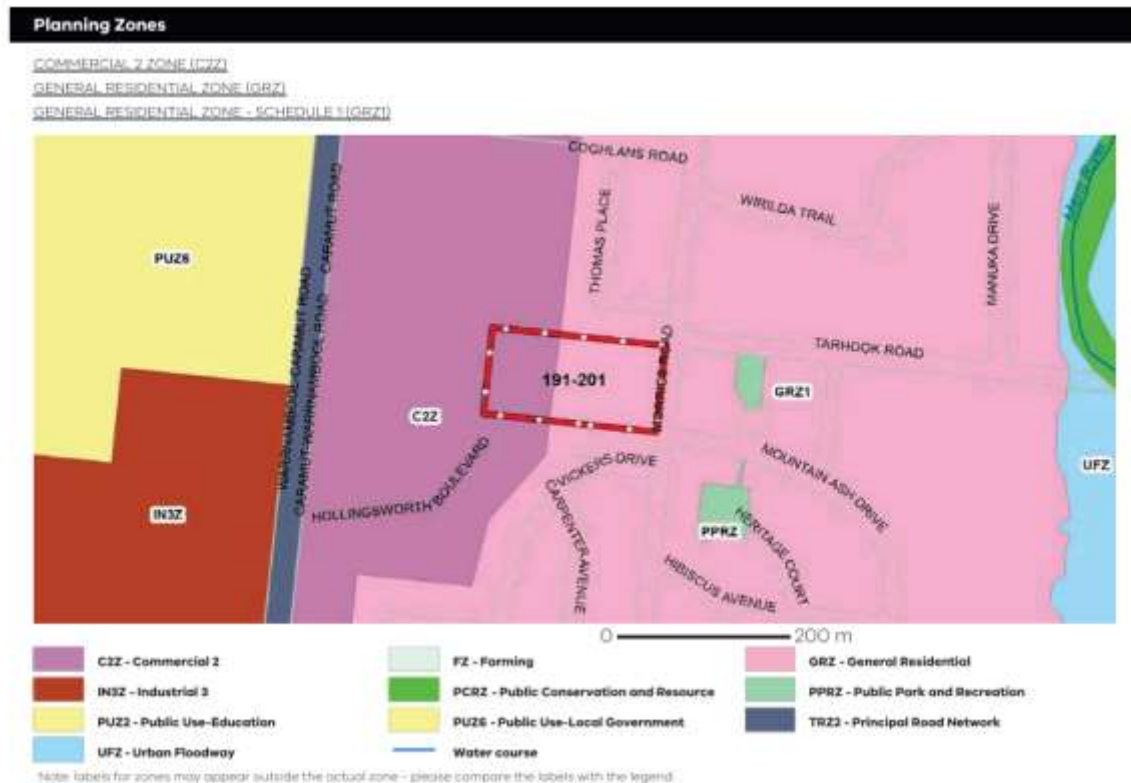
The following plans show the site development:





Zoning Details

The land is within a Commercial 2 Zone under the Planning Scheme. The following extracts of the Zoning Map indicate the land and surrounding land:



Extract of Planning Scheme Map

Source: Planning Scheme

Planning Scheme Requirements

The proposal is consistent with the various policy considerations and comprises a development of a commercial use. The Zone allows the proposal subject to a Permit.

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To encourage commercial areas for offices, appropriate manufacturing and industries, bulky goods retailing, other retail uses, and associated business and commercial services.

To ensure that uses do not affect the safety and amenity of adjacent, more sensitive uses.



The proposal meets the relevant Zone purpose as it is an allied community recreation use servicing dwellings. Adjacent amenity is unlikely to be adversely affected due to the low intensity and hours proposed. Land to the rear is vacant.

Overlay Controls

A Design and Development Plan 12 Overlay applies.



The Planning Scheme provides:

43.02

DESIGN AND DEVELOPMENT OVERLAY

31/07/2018

VC148

Shown on the planning scheme map as DDO with a number.

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify areas which are affected by specific requirements relating to the design and built form of new development.

The proposal meets the purpose and relevant policy considerations, and an assessment of the factors involved is provided below.

SCHEDULE 12 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO12**.



CARAMUT ROAD BUSINESS PARK AREA AND ENTRANCE PRECINCT

The Planning Scheme provides:

1.0 Design objectives

To establish and maintain a consistently high-quality industry and business environment that protects and enhances the investment of those who choose to locate and work within and the amenity of those who reside near the City's business park.

To create an attractive park-like setting in the City's business park focusing on ample landscaped areas complemented by high quality architecture and urban design.

To ensure that new development is well designed and will enhance the visual and streetscape amenity of the area, particularly along roads with a residential interface.

To ensure that new development along Caramut Road enhances the appearance and function of this road.

To ensure that development and works are located to minimise off-site impacts to adjoining residential areas.

To minimise the impact of commercial traffic on adjoining residential amenity and pedestrian traffic.

To provide effective stormwater management and improve stormwater water quality as part of new development proposals by incorporating the use of Water Sensitive Urban Design treatments.

To ensure that car parking, vehicle access and service areas do not visually impinge on front setbacks or affect streetscape elements such as trees and nature strips.

Assessment

Factor	Comments
To establish and maintain a consistently high-quality industry and business environment that protects and enhances the investment of those who choose to locate and work within and the amenity of those who reside near the City's business park.	The proposal has been devised to provide an attractive building well set back and provided with landscaping.
To create an attractive park-like setting in the City's business park focusing on ample landscaped areas complemented by high quality architecture and urban design.	The proposal has been devised to provide an attractive building well set back and provided with landscaping.
To ensure that new development is well designed and will enhance the visual and	The proposal has been devised to provide an attractive building well set back and provided with landscaping.



streetscape amenity of the area, particularly along roads with a residential interface.	
To ensure that new development along Caramut Road enhances the appearance and function of this road.	The site is off Caramut Road.
To ensure that development and works are located to minimise off-site impacts to adjoining residential areas.	Relevant setbacks have been met. Low intensity activity is proposed mainly at weekends and school breaks.
To minimise the impact of commercial traffic on adjoining residential amenity and pedestrian traffic.	Relevant setbacks have been met. Low intensity activity is proposed mainly at weekends and school breaks. The site does not abut a residential street.
To provide effective stormwater management and improve stormwater water quality as part of new development proposals by incorporating the use of Water Sensitive Urban Design treatments.	This provision will be met in the design.
To ensure that car parking, vehicle access and service areas do not visually impinge on front setbacks or affect streetscape elements such as trees and nature strips.	This provision is met in the design. Carparking meets the standard.

It is submitted that the relevant criteria are met.

The Planning Scheme provides as follows:

2.0 Buildings and works

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

The Planning Scheme provides as follows:

Architecture

- Buildings proposed for each site should seek to achieve a high standard of design.
- Outbuildings and/or ancillary installations should be compatible with the design theme established by the primary buildings on each site.
- Plant and equipment is to be concealed or, in the case of freestanding structures, appropriately screened from view.



- Buildings should not occupy more than 50 per cent of the site. Applications for buildings that occupy more than 50 per cent of the site should show how matters such as car parking can be satisfactorily addressed.
- Rubbish enclosures and service areas, including areas used for storage of goods, should be screened and located to the rear of buildings. Rubbish bins, enclosures and loading docks should not be visible from a street.

Assessment

Factor	Comments
Buildings proposed for each site should seek to achieve a high standard of design.	The design provides a quality form as per criteria listed.
Outbuildings and/or ancillary installations should be compatible with the design theme established by the primary buildings on each site.	No outbuildings are proposed.
Plant and equipment is to be concealed or, in the case of freestanding structures, appropriately screened from view.	This criterion is to be met.
Buildings should not occupy more than 50 per cent of the site. Applications for buildings that occupy more than 50 per cent of the site should show how matters such as car parking can be satisfactorily addressed.	This criterion is met.
Rubbish enclosures and service areas, including areas used for storage of goods, should be screened and located to the rear of buildings. Rubbish bins, enclosures and loading docks should not be visible from a street	This criterion is met.

It is submitted that the relevant criteria are met.

The Planning Scheme provides as follows:

External finishes and materials

- Buildings and any ancillary structures must be constructed using masonry, or other material suited to the type of building and its use. Roof material must be constructed using muted non reflective materials.
- Office buildings must be constructed primarily of masonry or similar with appropriate use of glazing.



- External walls should be painted or finished with a quality textured coating except where face brickwork is integral to the overall design and appearance of the building.
- The use of galvanised iron as a dominant building material is discouraged.
- Those parts of buildings having any frontage to a road should be constructed of concrete, masonry, glass or other high grade construction materials.

Assessment

Factor	Comments
Buildings and any ancillary structures must be constructed using masonry, or other material suited to the type of building and its use. Roof material must be constructed using muted non reflective materials	This criterion is met.
Office buildings must be constructed primarily of masonry or similar with appropriate use of glazing	This criterion is met.
External walls should be painted or finished with a quality textured coating except where face brickwork is integral to the overall design and appearance of the building	This criterion is met.
The use of galvanised iron as a dominant building material is discouraged	This criterion is met.
Those parts of buildings having any frontage to a road should be constructed of concrete, masonry, glass or other high grade construction materials	This criterion is met.

It is submitted that the relevant criteria are met.

The Planning Scheme provides as follows:

Building setbacks

- All buildings should be set back at least 10 metres from any road.

Assessment

Factor	Comments
All buildings should be set back at least 10 metres from any road.	This criterion is met.



It is submitted that the relevant criteria are met.

The Planning Scheme provides as follows:

Landscaping

- A landscaping setback of a minimum of 6 metres must be provided along all property boundaries where the property abuts a residential property, and along all street frontages.
- The landscaping should be designed to provide appropriate screening of car parking and outdoor storage areas, enhance the amenity of the surrounding area and provide an attractive visual environment for adjoining residential properties and within the business park.
- The landscaping should be designed to contribute to the creation of an attractive business environment and should visually reduce the bulk of new development and enhance the appearance of new buildings.
- Landscaping should be designed to provide summer shade and windbreaks to areas used by pedestrians or occupied by car parking.
- The landscape design should minimise surface run-off and be practical to implement and maintain, and may be incorporated with proposed stormwater treatments.
- Where buildings are not built to side or rear property boundaries, provision should be made for a landscape screen to be established along these boundaries.
- The landscaping design should include automated watering systems to be provided to landscaped areas in the front setback and in all other landscaped areas.
- The location and choice of vegetation should incorporate native vegetation taking account of the existing landscape theme, as well as local soil conditions and prevailing weather; and the selection of species should minimise long-term watering requirements.
- The use of fast growing screening species between properties (alongside boundaries) is encouraged. However, species having a reputation for short lifespan, unstable structure or unruly habit are discouraged.
- The massed planting of single species rather than a mixture of various species should be maximised in the landscape design

Assessment

Factor	Comments
A landscaping setback of a minimum of 6 metres must be provided along all property boundaries where the property abuts a	This criterion is met.



residential property, and along all street frontages	
The landscaping should be designed to provide appropriate screening of car parking and outdoor storage areas, enhance the amenity of the surrounding area and provide an attractive visual environment for adjoining residential properties and within the business park	This criterion is met.
The landscaping should be designed to contribute to the creation of an attractive business environment and should visually reduce the bulk of new development and enhance the appearance of new buildings	This criterion is met.
Landscaping should be designed to provide summer shade and windbreaks to areas used by pedestrians or occupied by car parking	This criterion is met.
The landscape design should minimise surface run-off and be practical to implement and maintain, and may be incorporated with proposed stormwater treatments	This criterion is met.
Where buildings are not built to side or rear property boundaries, provision should be made for a landscape screen to be established along these boundaries	This criterion is met.
The landscaping design should include automated watering systems to be provided to landscaped areas in the front setback and in all other landscaped areas	This criterion is met.
The location and choice of vegetation should incorporate native vegetation taking account of the existing landscape theme, as well as local soil conditions and prevailing weather; and the selection of species should minimise long-term watering requirements	This criterion is met.



The use of fast growing screening species between properties (alongside boundaries) is encouraged. However, species having a reputation for short lifespan, unstable structure or unruly habit are discouraged	This criterion is met.
The massed planting of single species rather than a mixture of various species should be maximised in the landscape design	This criterion is met.

It is submitted that the relevant criteria are met.

The Planning Scheme provides as follows:

Fencing

- The construction of fences along the frontage to each site is discouraged. In the event that fencing is required for security purposes, it is to be designed to have a high degree of transparency and be located beyond/behind the front setback, and screened with landscape planting.
- Fence and gate design is to be integral to the design of buildings proposed for the site.
- Side and rear boundary fences are to be black plastic coated cyclone wire.

Assessment

Factor	Comments
The construction of fences along the frontage to each site is discouraged. In the event that fencing is required for security purposes, it is to be designed to have a high degree of transparency and be located beyond/behind the front setback, and screened with landscape planting	This criterion is met.
Fence and gate design is to be integral to the design of buildings proposed for the site	This criterion is met.
Side and rear boundary fences are to be black plastic coated cyclone wire	This criterion is met.

It is submitted that the relevant criteria are met.

The Planning Scheme provides as follows:



Car parking

- Large areas set aside for car parking should be provided with landscape islands to allow the planting of shade trees and shrubs.
- Land uses generating regular truck movements are to provide designated truck parking areas in addition to car parking spaces and/or loading bays.
- Vehicle loading and unloading should be designed to occur totally within the site.
- Common parking areas should be considered as part of any integrated development.

Assessment

Factor	Comments
Large areas set aside for car parking should be provided with landscape islands to allow the planting of shade trees and shrubs	Not Applicable but shade trees proposed.
Land uses generating regular truck movements are to provide designated truck parking areas in addition to car parking spaces and/or loading bays	No trucks involved.
Vehicle loading and unloading should be designed to occur totally within the site	This criterion is met.
Common parking areas should be considered as part of any integrated development	This criterion is met.

It is submitted that the relevant criteria are met.

The Planning Scheme provides as follows:

Drainage

- The drainage of the land and associated buildings will be in accordance with Water Sensitive Urban Design including on-site retention methods.

Assessment

Factor	Comments
The drainage of the land and associated buildings will be in accordance with Water Sensitive Urban Design including on-site retention methods	This criterion is met



It is submitted that the relevant criteria are met.

The Planning Scheme provides as follows:

External lighting

- All premises should provide external lighting to ensure adequate site security.
- All car parking areas should be provided with suitable lighting to ensure safety and security of users after dark.
- All lighting should be located, directed and baffled to limit light spill beyond the site boundaries.

Assessment

Factor	Comments
All premises should provide external lighting to ensure adequate site security	This criterion is met
All car parking areas should be provided with suitable lighting to ensure safety and security of users after dark	This criterion is met
All lighting should be located, directed and baffled to limit light spill beyond the site boundaries	This criterion is met

It is submitted that the relevant criteria are met.

The Planning Scheme provides as follows:

4.0 Signs

Business signs

- Business signs should be sensitive to the style, scale and type of development. Visual clutter, created by too many or inappropriate sign types, is strongly discouraged.
- Business signs should fit within architectural forms and be integrated with building design. Logo or corporate style signage is favoured.
- Freestanding low level signs within the front setback may be considered provided massed understorey planting is provided at its base.
- Where signs are intended or required to be illuminated, illumination should be concealed or integral with the sign by neon, or internally lit box or by sensitively designed spot-lighting.



Assessment

Factor	Comments
Business signs should be sensitive to the style, scale and type of development. Visual clutter, created by too many or inappropriate sign types, is strongly discouraged	This criterion is met
Business signs should fit within architectural forms and be integrated with building design. Logo or corporate style signage is favoured	This criterion is met
Freestanding low level signs within the front setback may be considered provided massed understorey planting is provided at its base	This criterion is met
Where signs are intended or required to be illuminated, illumination should be concealed or integral with the sign by neon, or internally lit box or by sensitively designed spot-lighting	This criterion is met

It is submitted that the relevant criteria are met.

The Planning Scheme provides as follows:

Directional signs

- Each business should provide appropriate directional signs to assist with the movement of pedestrian and vehicular traffic. In general, signs should explain:
 - site entries and exits;
 - staff and visitor car parking;
 - goods delivery and pick-up; and
 - reception/office areas.
- Directional signs should be of a consistent type and style throughout the site.

Assessment

Factor	Comments
Each business should provide appropriate directional signs to assist with the	This criterion is met



movement of pedestrian and vehicular traffic. In general, signs should explain: <ul style="list-style-type: none">○ site entries and exits;○ staff and visitor car parking;○ goods delivery and pick-up; and○ reception/office areas	
Directional signs should be of a consistent type and style throughout the site	This criterion is met

It is submitted that the relevant criteria are met.

The Planning Scheme provides as follows:

6.0 Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the proposed buildings and works protect the amenity of adjoining residential uses in accordance with the criteria specified in this schedule with respect to:
 - External finishes
 - Building setbacks
 - Landscaping
 - Fencing
 - Drainage
 - External lighting
 - Signs
- The effect of the bulk, siting and design of any proposed buildings and works on the general appearance of the site from Caramut Road and adjoining residentially zoned land.

Assessment

Factor	Comments
Whether the proposed buildings and works protect the amenity of adjoining residential uses in accordance with the criteria specified in this schedule with respect to:	It is submitted that the criterion has been met.



<ul style="list-style-type: none">○ External finishes○ Building setbacks○ Landscaping○ Fencing○ Drainage○ External lighting○ Signs	
The effect of the bulk, siting and design of any proposed buildings and works on the general appearance of the site from Caramut Road and adjoining residentially zoned land.	It is submitted that the criterion has been met.

It is submitted that the relevant criteria are met.

Clause 52.06 provides:

52.06
31/07/2018
VC148

CAR PARKING
Purpose

To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.

To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.

To support sustainable transport alternatives to the motor car.

To promote the efficient use of car parking spaces through the consolidation of car parking facilities.

To ensure that car parking does not adversely affect the amenity of the locality.

To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

A total of 20 fully constructed car spaces are proposed. That number is in accordance with the Planning Scheme requirement set out in the Table to the Clause. Overflow on street parking available and as used mainly at weekends no adverse impact envisaged.

It is submitted that the relevant purposes are met as follows:

- Car Parking is proposed per Policy requirements.
- The number proposed will meet needs.
- Options for car pooling and other alternatives will be available.
- Design Standards are to be met.

Clause 65.01 of the Planning Scheme provides as follows:



65.01
01/07/2021
VC203

APPROVAL OF AN APPLICATION OR PLAN

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- The matters set out in section 60 of the Act.
- Any significant effects the environment, including the contamination of land, may have on the use or development.
- The Municipal Planning Strategy and the Planning Policy Framework.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the environment, human health and amenity of the area.
- The proximity of the land to any public land.
- Factors likely to cause or contribute to land degradation, salinity or reduce water quality.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The extent and character of native vegetation and the likelihood of its destruction.
- Whether native vegetation is to be or can be protected, planted or allowed to regenerate.
- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.
- The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.

This clause does not apply to a VicSmart application.

An assessment of the relevant issues is set out as follows:

Issue	Comment
The matters set out in section 60 of the Act.	The proposed has been devised to meet relevant criteria.
Any significant effects the environment, including the contamination of land, may have on the use or development.	The proposed has been devised to meet relevant criteria.
The Municipal Planning Strategy and the Planning Policy Framework.	The proposed has been devised to meet relevant criteria.
The purpose of the zone, overlay or other provision.	The proposed has been devised to meet relevant criteria.
Any matter required to be considered in the zone, overlay or other provision.	The proposed has been devised to meet relevant criteria.
The orderly planning of the area.	The proposal is unlikely to have any adverse impacts.



The effect on the environment, human health and amenity of the area.	The proposed has been devised to meet relevant criteria.
The proximity of the land to any public land.	The site is remote from public land.
Factors likely to cause or contribute to land degradation, salinity or reduce water quality.	The proposed has been devised to meet relevant criteria.
Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.	The proposed drainage system is to meet Council requirements.
The extent and character of native vegetation and the likelihood of its destruction.	No vegetation is to be removed.
Whether native vegetation is to be or can be protected, planted or allowed to regenerate.	Landscaping proposed.
The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.	No adverse impacts likely.
The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.	Loading and unloading area proposed.
This clause does not apply to a VicSmart application.	Not Applicable.

The proposal is consistent with the assessment criteria.

Environmental Factors Assessment

The following is an assessment of relevant factors:

Factor	Comments
Zoning considerations	Allowable use in the zone and consistent with surrounding land uses which are also zoned and used for Commercial purposes. No likely adverse impact.



Overlay considerations	Overlay provisions apply and meets requirements.
Site features and suitability	Land is relatively flat, and all relevant services are available. No likely adverse impact.
Current use	Vacant.
Previous use	None.
Surrounding land use	Residential, Commercial and vacant land. No likely adverse impact.
Contamination	No known issues and there do not appear to be any past history of sheep dips, pesticide spraying or activities likely to have caused contamination based on enquiry. No likely adverse impact.
Hours of operation	Weekend and school breaks. Some activities after hours such as Admin, meetings, maintenance and cleaning. No likely adverse impact.
Access	Access to existing public road. No likely adverse impact.
Traffic considerations	Car parking per requirements No likely adverse impact.
Parking	Parking available on site. No likely adverse impact.
Manoeuvring	There is adequate space available. No likely adverse impact.
Loading and unloading	There is adequate space available. No likely adverse impact.
Disabled access	There is adequate space available. No likely adverse impact.
Utilities	All relevant services are available. No likely adverse impact.
Social impacts	Will employ local people during construction and operation. No adverse impacts likely.
Visual intrusion and prominence	Well setback. No adverse impacts likely.
Privacy	Remote from houses. No adverse impacts likely.
Streetscape	Well setback. No adverse impacts likely.
Setbacks	Well setback. No adverse impacts likely.



Neighbourhood character	Industrial form. No adverse impacts likely.
Acoustic considerations	Remote from houses. No adverse impacts likely.
Views	No adverse impacts likely.
Overshadowing	No adverse impacts likely.
Economic impacts	Provides jobs and essential service. No adverse impacts likely.
Water pollution	Water drainage system to meet Council requirements. No adverse impacts likely.
Air pollution	No emissions. No adverse impacts likely.
Flooding	Drainage control designed to meet Council requirements. No adverse impacts likely.
Erosion	Covered surfaces. No adverse impacts likely.
Sedimentation	Sealed surfaces. No adverse impacts likely.
Excavation	Minimal land regrading using appropriate best practice. No adverse impacts likely.
Heritage	CMP not required. No adverse impacts likely.
Aboriginal artefacts	CMP not required. No adverse impacts likely.
Vegetation	No vegetation to be removed. No adverse impacts likely.
Tree removal	No clearing proposed. No adverse impacts likely.
Landscaping	Landscaping proposed. No adverse impacts likely.
Threatened species	No threatened species known to site. No adverse impacts likely.
Koalas	No koala habitat known to site. No adverse impacts likely.
Cultural	The region has a long tradition of supporting Farming, Transport and Heavy Industry. No adverse impacts likely.
Hazards	No dangerous chemicals or substances involved. No adverse impacts likely.



Fire	Low risk as open environment. CFA requirements to be met. No adverse impacts likely.
Waste management	Other waste to be conveyed to tip. No adverse impacts likely.
Energy	Electric powered plant from existing supply. No adverse impacts likely.
Sustainability	Designed to be ongoing. No adverse impacts likely.
Amenity	Due care in design to mitigate any adverse impacts. No adverse impacts likely.
Other	Nil.

The proposed land use meets the zone requirements. All relevant factors have been considered and it has been concluded that the on balance the proposal will only have positive environmental effects. The future sustainability of the land will be better served by the proposed development.

Conclusions

The proposal meets the objectives and detailed requirements of the Planning Scheme and has been devised to fit in with existing residential establishments in this location.

The proposed use and development is for a child care facility on land zoned for that purpose.

Bernie Wilder
Bernie Wilder and Associates
25 November 2024



We respectfully acknowledge the traditional custodians, the Gunditjmara peoples. We pay our respects to all Aboriginal Community Elders past and present who have been an integral part of this region's history.

Town Planning, Project Management and Local Government Consultants

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Web Site www.berniewilder.com

24 December 2024

Mr Nick Legoe
Coordinator City Development
PO Box 198 Warrnambool VIC 328

Dear Mr Legoe

Planning Permit Application Number: PP2024-0233 Development and use of Child Play Centre (Leisure & Recreation) 191-201 Morriss Rd WARRNAMBOOL VIC 3280

I refer to your request for further information and we provide details as requested.

1. *It is council's intention to describe the use as an 'Indoor Recreation Facility'. Please advise if you object to this definition for the use*

There are no objections to what you call the proposed use.

2. *The site is located within an area of Aboriginal Cultural Heritage Sensitivity and under the Aboriginal Heritage Regulations 2018 identify both the use and buildings and works component of the application being deemed a high impact activity. You are therefore required to demonstrate in more detail why the need for a cultural heritage management plan is not triggered by the proposal as per the statement in your submission.*

The site has been extensively disturbed during the subdivision process as shown on the air photo.

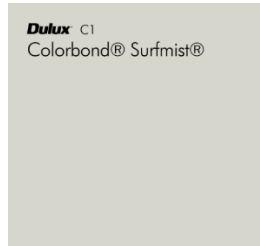


Furthermore, a CHMP was approved as part of the Subdivision process and a copy is attached.

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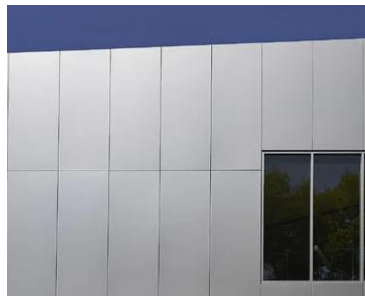
3. Provide a colours and material schedule.

The predominate colour proposed is Colourbond Surf Mist and there will be some Highlight contrasting trim colours in tones of grey such as Colourbond Basalt.



As noted on the plans

Walls to 3m Concrete Tilt Slab Painted
Walls above 3m Side and Rear Colourbond Steel
Walls above 3m Front and Part Sides Flat Panel
Frame Structural Steel insulated Roof and Walls
Roof Steel



4. Provide details in relation to the proposed use including but not limited to patron numbers, hours of operation, staff numbers etc.

As noted on the Plans and in the Report the number of patrons will be up to 80 persons mainly on weekends and school holidays. Staff numbers 2 to 3. The Hours proposed are Mon-Thu: 9am-3pm, Fri: 9am-6pm, Sat and Sun: 9am-4pm. Some cleaning, administrative and maintenance activities will occur outside these hours. Deliveries will only occur outside these hours for safety reasons. Deliveries will not involve large trucks.

The building will contain a multi-level play structure as follows:

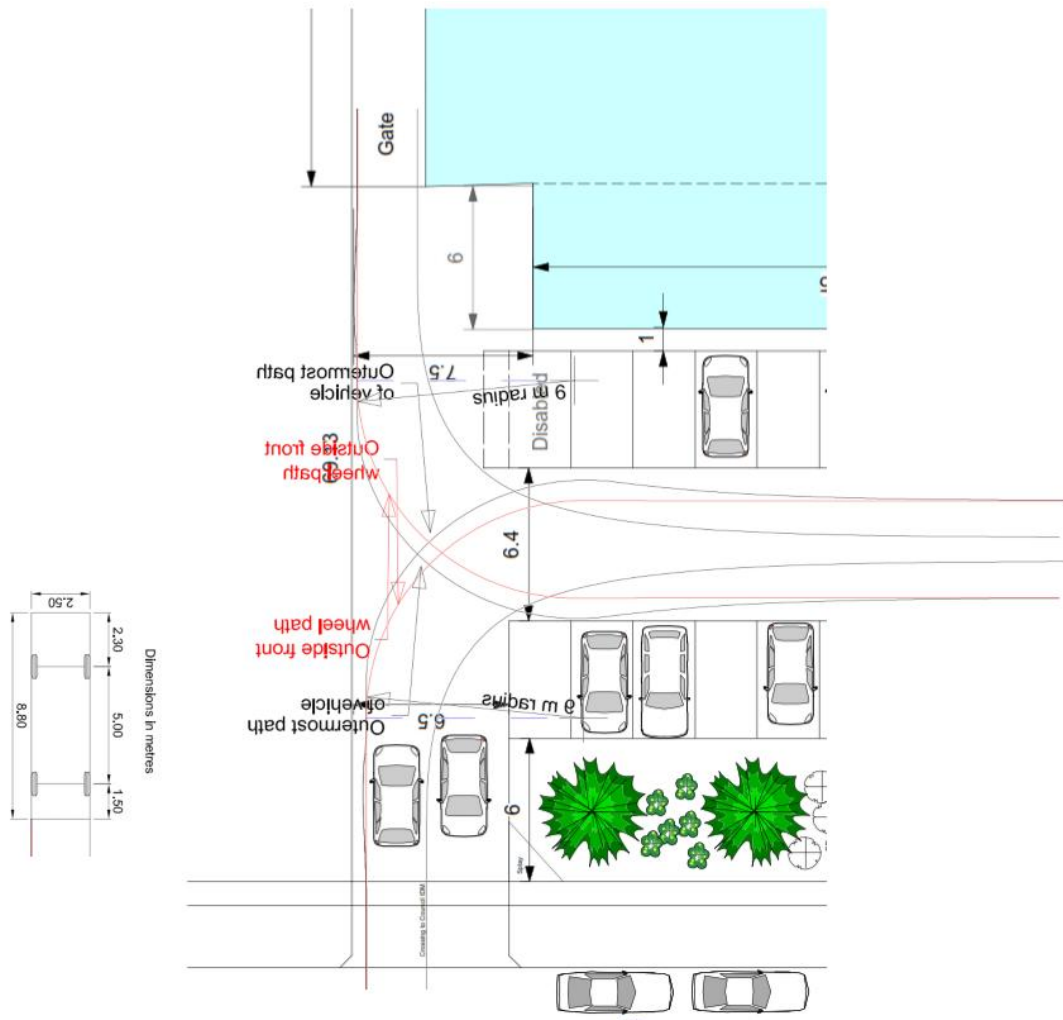


ADVERTISED

8. Provide swept path diagrams to demonstrate that the car parking are functional and that an 8.8m service vehicle can access the loading area and enter and exit the site in a forward direction.

The Car Park and access is designed to meet the Planning Scheme, and it is submitted that the spaces are accessible. It is not envisaged that large trucks will access the site, and any deliveries will occur after hours for safety reasons. Deliveries will mainly involve small vans and cars utes and the like.

The following shows a 9m truck turn diagram:



In addition to the above information the following issued are noted and should be considered when providing the requested information:

Schedule 12 of the Design and Development Overlay stipulates specific built form outcomes that should be achieved including:

- *Buildings proposed for each site should seek to achieve a high standard of design*
- *External walls should be painted or finished with a quality textured coating except where face brickwork is integral to the overall design and appearance of the building.*
- *Those parts of buildings having any frontage to a road should be constructed of concrete, masonry, glass or other high grade construction materials.*

Given the above requirements, it is recommended that the use of Colorbond cladding to the walls, particularly to the front of the building is reconsidered and an alternative material proposed.

- *The building currently has minimal interaction with and no defined entry visible from the street. This is deemed to be a poor outcome and at odds with the objection of Schedule 12 of the Design and Development Overlay.*

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The Plans have been amended and an inventory and position of the street provided

Should you wish to discuss this matter further, please contact the writer on mobile 0419 400 333

Yours sincerely

A handwritten signature in black ink, appearing to read 'Bernie Wilder', with a stylized flourish at the end.

Bernie Wilder
Bernie Wilder and Associates