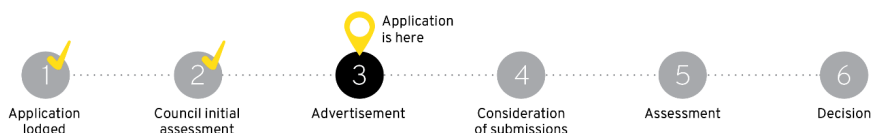


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NOTICE OF AN APPLICATION FOR AN AMENDMENT TO A PLANNING PERMIT



The land affected by this application is located at:	59 Harris St WARRNAMBOOL VIC 3280
The application is to amend a permit by:	Amend preamble to allow 3-lot subdivision in stages & construction of 2 dwellings. Amend permit conditions as required, including removal of Condition 1a & 1b, removal of Condition 3 & amendment to Condition 2. Amendment of other conditions to satisfaction of RA, as per a 3-lot subdivision & re-numbering accordingly.
A permit is required under the following clauses of the planning scheme:	
Planning scheme clause	Matter for which a permit is required
Clause:	Clause 32.08-3 – subdivide land Clause 32.08-7 – Construction of 2 dwellings
The applicant for the permit is:	MPAA Studio
The application reference number is:	PP2021-0364.01
You may look at the application and any documents that support the application at the office of the responsible authority. This can be done during office hours and is free of charge. Or online at: For further reference please contact:	Warrnambool Civic Centre 25 Liebig Street WARRNAMBOOL VIC 3280 www.warrnambool.vic.gov.au Planning Support Telephone: 03 5559 4800 Email: planning@warrnambool.vic.gov.au
Any person who may be affected by the granting of the permit may object or make other submissions to the Responsible Authority. An objection must be made to the Responsible Authority in writing, include the reasons for the objection and state how the objector would be affected. The responsible authority must make a copy of every objection available for any person to inspect free of charge until the end of the period during which an application may be made for review of a decision on the application. If you object, the responsible authority will tell you its decision.	
The Responsible Authority will not decide on the application before:	17 September 2026



Application to AMEND a Planning Permit

Under section 72 of the Planning and Environment Act 1987

The Warrnambool City Council is committed to protecting personal information in accordance with the principles of the Victorian privacy laws. The information provided will be used for the following purposes:

- correspond about the permit application
- if necessary, notify affected parties who may wish to inspect your application so that they can respond
- if necessary, forward your application to a referral authority who must also keep a register available for inspection by any person

The information you provide will be made available to:

- any person who may wish to inspect the application until the application process is concluded, including any review in VCAT
- relevant officers at Council, anyone a party to the application process and other Government agencies or Ministers directly involved in the planning process
- persons accessing information in accordance with the Public Records Act 1973 or the Freedom of Information Act 1982
- Other external parties if required by law

This information is being collected in accordance with the Planning and Environment Act 1987. If all requested information is not received, Council may not be able to process your application or objection.

Do you agree? ☐ Yes ☐ No

This form cannot be used to:

- amend a permit or part of a permit if the Victorian Civil and Administrative Tribunal (VCAT) has directed under section 85 of the Act that the responsible authority must not amend that permit or that part of the permit (as the case requires); or
- amend a permit issued by the Minister under Division 6 of Part 4 of the Act (these applications must be made to the Minister under section 97I of the Act).

The Land

1. Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.: _____ St. No.: _____ Street name _____

Suburb/locality _____ postcode _____

Formal Land Description *

Complete either A or B.

A Lot No.: _____ ☐ Lodged Plan ☐ Title Plan ☐ Plan of Subdivision No.: _____

or

B Crown Allotment No.: _____ Section No.: _____

Parish/Township Name: _____

Planning Permit Details

What permit is being amended?* Planning Permit No.: _____

The Amended Proposal

You must give full details of the amendment being applied for. Insufficient or unclear information will delay your application.

What is the amendment being applied for?*

- Indicate the type of changes proposed to the permit.
- List details of the proposed changes.

If the space provided is insufficient, attach a separate sheet.

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This application seeks to amend:

☐ What the permit allows

☐ Plans endorsed under the permit

☐ Current conditions of the permit

☐ Other documents endorsed under the permit

4. Why is the Amendment required? State reasons for change(s)

☐ Plans showing changes (if required)

Development Cost

5. Estimate cost of development*

If the permit allows development, estimate the cost difference between the development allowed by the permit and the development to be allowed by the amended permit. Insert 'NA' if no development is proposed by the permit.

Cost of proposed amended development:

Cost of the permitted development:

Cost difference (+ or -):

Title Information

6. Encumbrances on title

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

☐ Yes.

☐ Provide a copy

☐ No

☐ Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive

Applicant and Owner Details

6. Provide details of the applicant and the owner of the land.

Applicant (The person who wants the permit.)

Title: _____ First Name: _____ Surname _____

Organisation (if applicable): _____

Unit No.: _____ St. No.: _____ Street name _____

Suburb/locality _____ State _____ postcode _____

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

☐ Same as applicant (If so, go to 'contact information')

Title: _____ First Name: _____ Surname _____

Organisation (if applicable) _____

Unit No.: _____ St. No.: _____ Street name _____

Suburb/locality _____ State _____ postcode _____

Contact information Please provide at least one contact phone number

Business Phone _____ Email _____

Mobile Phone _____ Fax _____

Owner (The person or organisation who owns the land)

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☐ Same as applicant

Declaration

7. This form must be signed by the applicant *

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature

CM

Date _____

Need help with the Application?

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8. Has there been a pre-application meeting with a Council planning officer?

☐ yes ☐ no If yes, with whom?: _____ Date: _____

Checklist

9. Have you

- ☐ Filled in the form completely?
- ☐ Provided all necessary supporting information and documents?
 - ☐ A full, current copy of title information for each individual parcel of land forming the subject site A plan of existing conditions.
 - ☐ Plans showing the layout and details of the proposal
 - ☐ Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.
If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).
 - ☐ Completed the relevant Council planning permit checklist?
 - ☐ Signed the declaration (section 7)?

Lodgement and Payment

Lodge the completed and signed form and all documents with:

In Person: Warrnambool City Council Civic Centre, 25 Liebig Street, Warrnambool 8.30am to 5.00pm
Mail: PO Box 198, WARRNAMBOOL Victoria 3280
E-mail planning@warrnambool.vic.gov.au

Please note once your application is received, an invoice will be forwarded to you via email.

MPAA STUDIO

10 August 2026

Planning Department
Warrnambool City Council
25 Liebig Street
Warrnambool VIC 3280

By email only: planning@warrnambool.vic.gov.au

Dear Bronwyn Mellor,

Response to Aboriginal Cultural Heritage, 59 Harris Street, Warrnambool

It is acknowledged that the subject site is identified as being within an area of cultural heritage sensitivity under the Aboriginal Heritage Regulations 2018 (the Regulations). The mapping of land as an area of cultural heritage sensitivity, however, does not of itself establish that a Cultural Heritage Management Plan (CHMP) is required for the proposed activity. Rather, the requirement for a CHMP depends upon the interaction between the nature of the proposed activity, whether it constitutes a high impact activity, whether it is located within an area of cultural heritage sensitivity, and whether any applicable exemption under the Regulations applies.

The areas of cultural heritage sensitivity are prescribed by Division 3 of the Regulations and relate to particular landforms, waterways and other areas in which Aboriginal cultural heritage is considered more likely to occur. The identification of the subject site as being within such an area therefore establishes one component of the CHMP assessment only. It does not displace the specific exemptions contained within Division 1 of the Regulations.

In this instance, the relevant exemption is Regulation 10, which provides an exemption for the construction of three or more dwellings on a lot or allotment where:

- the lot or allotment is less than 0.11 hectares; and
- the lot or allotment is not within 200 metres of the coastal waters of Victoria, any sea within the limits of Victoria or the Murray River.

The term “coastal waters of Victoria” has a specific statutory meaning under section 4 of the Aboriginal Heritage Act 2006. The Act provides that the expression has the same meaning as “coastal waters of the State” under the Commonwealth Coastal Waters (State Powers) Act 1980. The Commonwealth legislation defines coastal waters by reference to the territorial sea and certain marine or tidal waters, rather than by reference to an inland distance measured from the coastline.

Accordingly, the use of the term “coastal” in other Victorian planning, coastal management or strategic policy contexts should not be conflated with the statutory meaning of “coastal waters of Victoria” for the purposes of Regulation 10.

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Application to the subject site

The subject site is less than 0.11 hectares in area, as demonstrated by the registered title and associated plan provided with the application.

The subject site is also well in excess of 200 metres from the coastline and, based on a review of the available mapping, is more than 1 kilometre from the relevant coastal waters in the direction of the Warrnambool coastline. A plan demonstrating the approximate separation distance between the subject site and the coastline is provided with this response.

The distance shown on the plan has been measured using the available VicPlan mapping and is therefore indicative rather than a survey-derived measurement to the statutory high-water mark. Notwithstanding this, the separation distance is sufficiently substantial that the location of the precise high-water mark would not materially affect the conclusion. The subject site is clearly outside a 200-metre distance from the coastal waters relevant to Regulation 10.

The subject site is also not within 200 metres of the Murray River.

It is acknowledged that the subject site is approximately 180 metres from the present alignment of the Merri River. However, the mere proximity of the subject site to the Merri River does not establish that the site is within 200 metres of the “coastal waters of Victoria” for the purposes of Regulation 10. The statutory definition of coastal waters is concerned with the Commonwealth-defined coastal waters of the State and does not extend that concept inland merely because a waterway is hydrologically connected to, or located relatively close to, the coast. It is also our understanding that the alignment of this section of the Merri River was man made – hence the ‘canal’ appearance.

Further, Regulation 10 expressly identifies the Murray River as a separate geographical trigger. This is significant because, if the intention of the Regulation were that any inland waterway located near the coast constituted “coastal waters”, there would be no need for the Regulation to separately identify the Murray River. The Regulation instead distinguishes between the coastal waters of Victoria, any sea within the limits of Victoria, and the Murray River.

On this basis, the fact that the site is approximately 180 metres from the Merri River does not, in itself, prevent reliance upon the Regulation 10 exemption.

The site is therefore considered to satisfy the two relevant locational and lot-size requirements of Regulation 10, namely:

- the lot is less than 0.11 hectares; and
- the lot is not within 200 metres of the coastal waters of Victoria, any sea within the limits of Victoria or the Murray River.

Accordingly, notwithstanding the identification of the land as an area of cultural heritage sensitivity, it is considered that the proposed construction of three dwellings benefits from the exemption provided by Regulation 10 and that a CHMP is not required on that basis.

For completeness, Regulation 11 provides a corresponding exemption in relation to subdivision of a small lot. The proposed subdivision is therefore also considered to benefit from the relevant exemption, subject to the precise application of that provision to the subdivision component of the proposal.

(03) 5562 9443
info@mpaastudio.co

1 Dispensary Lane
Level 1 (above Allee Espresso)
Warrnambool VIC 3280



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Figure 1: Vicplan map of distance from the Site to the coast

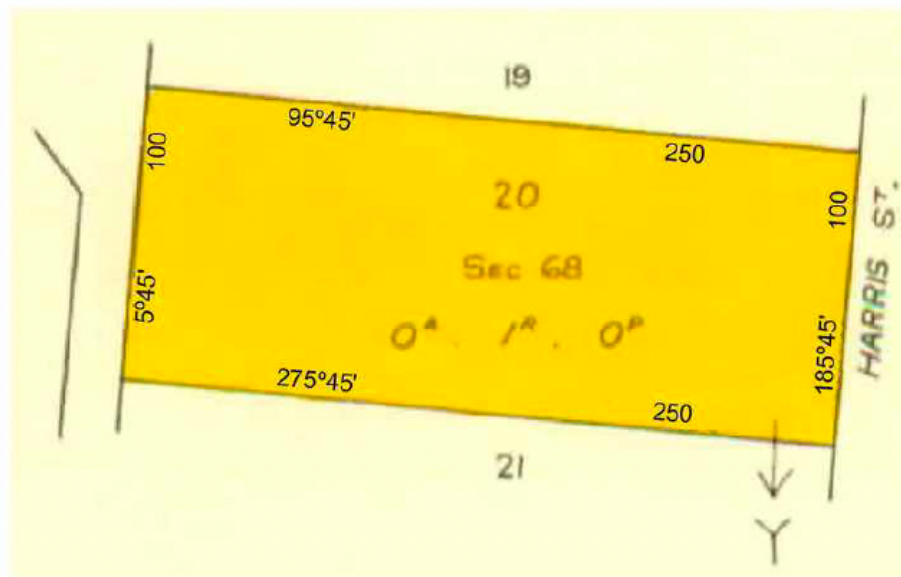


Figure 2: Subject site title

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info@mpaastudio.co

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Level 1 (above Allee Espresso)
Warrnambool VIC 3280



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Figure 3: Planning Property Report extract showing ACH

If you have any questions, please contact me on telephone (03) 5562 9443 or email info@mpaastudio.co

Yours sincerely,

Cameron McNeill
Associate Director – Planning

(03) 5562 9443
info@mpaastudio.co

1 Dispensary Lane
Level 1 (above Allee Espresso)
Warrnambool VIC 3280

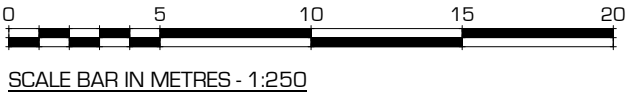
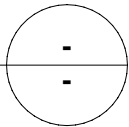


LEGEND:
ETRW EXISTING TIMBER RETAINING WALL



EXISTING SITE PLAN

1:250



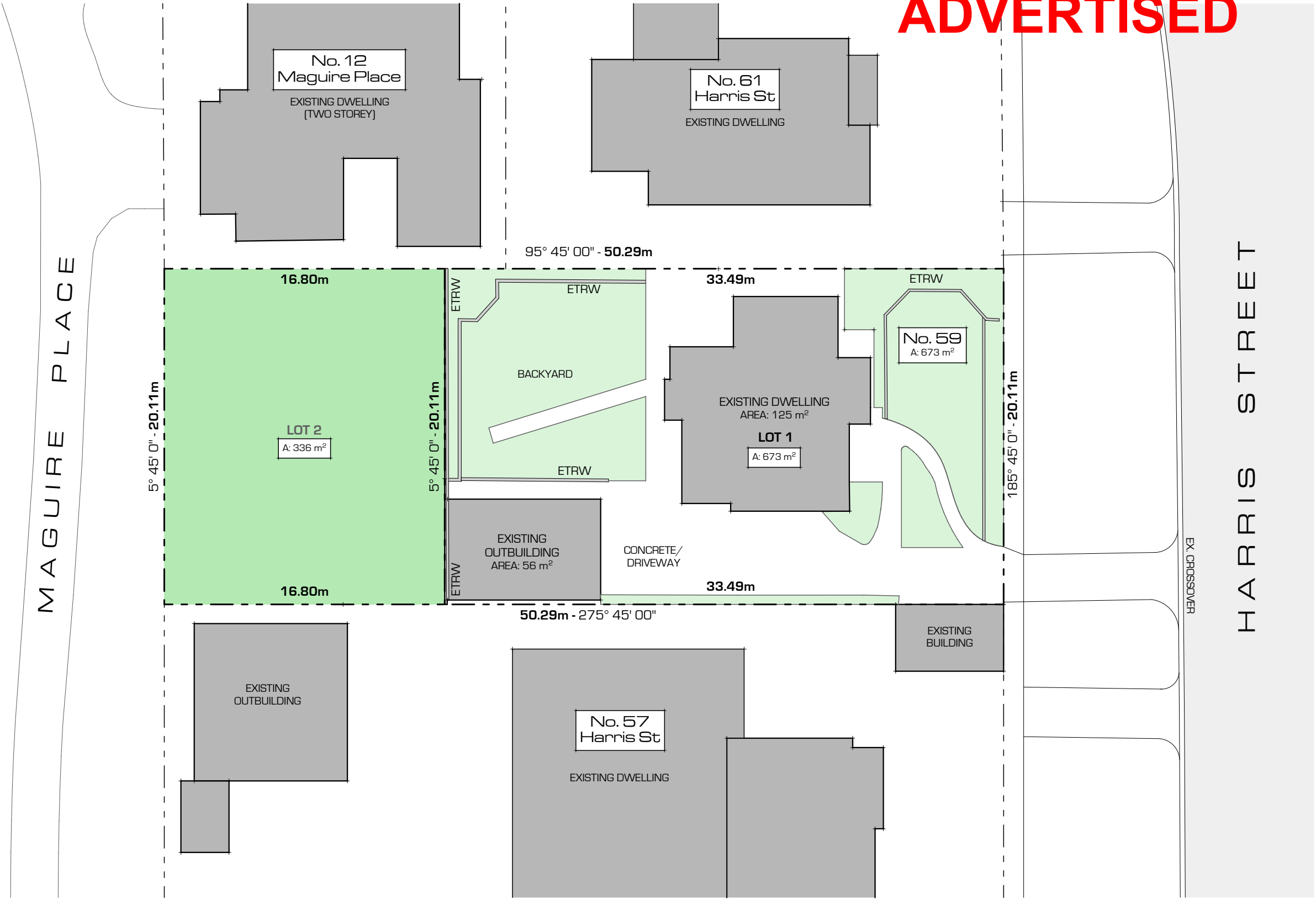
 Co Lab, Level 1 - 1 Dispensary Lane Warrnambool VIC 3280 Phone: (03) 5562 9443 www.mppastudio.co Reg No DP-AD 40515 ABN 53253414622 © MPAA STUDIO 2026	revision: description: date: NOT FOR CONSTRUCTION IMPORTANT: TOWN PLANNING DRAWINGS ARE DIAGRAMMATIC ONLY. ALL PROPOSED PLANS AND DIMENSIONS ARE SUBJECT TO SURVEY BY A REGISTERED LAND SURVEYOR.	project: PROPOSED 3 LOT SUBDIVISION & TOWNHOUSES AT 59 HARRIS STREET WARRNAMBOOL VIC. 3280 client: drawing title: EXISTING CONDITIONS PLAN	date: JUNE 2026 scale: AS SHOWN A3 designed by: MZ/MD drawn by: MZ/MD project no.: rev: 26-1655 / dwg no: TP1 of TP10

LEGEND:

TBC TO BE CONFIRMED

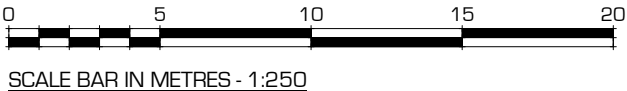
ETRW EXISTING TIMBER RETAINING WALL

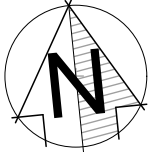
REPRESENTS PERMEABLE GREEN SPACE



SUBDIVISION PLAN - STAGE 1

1:250



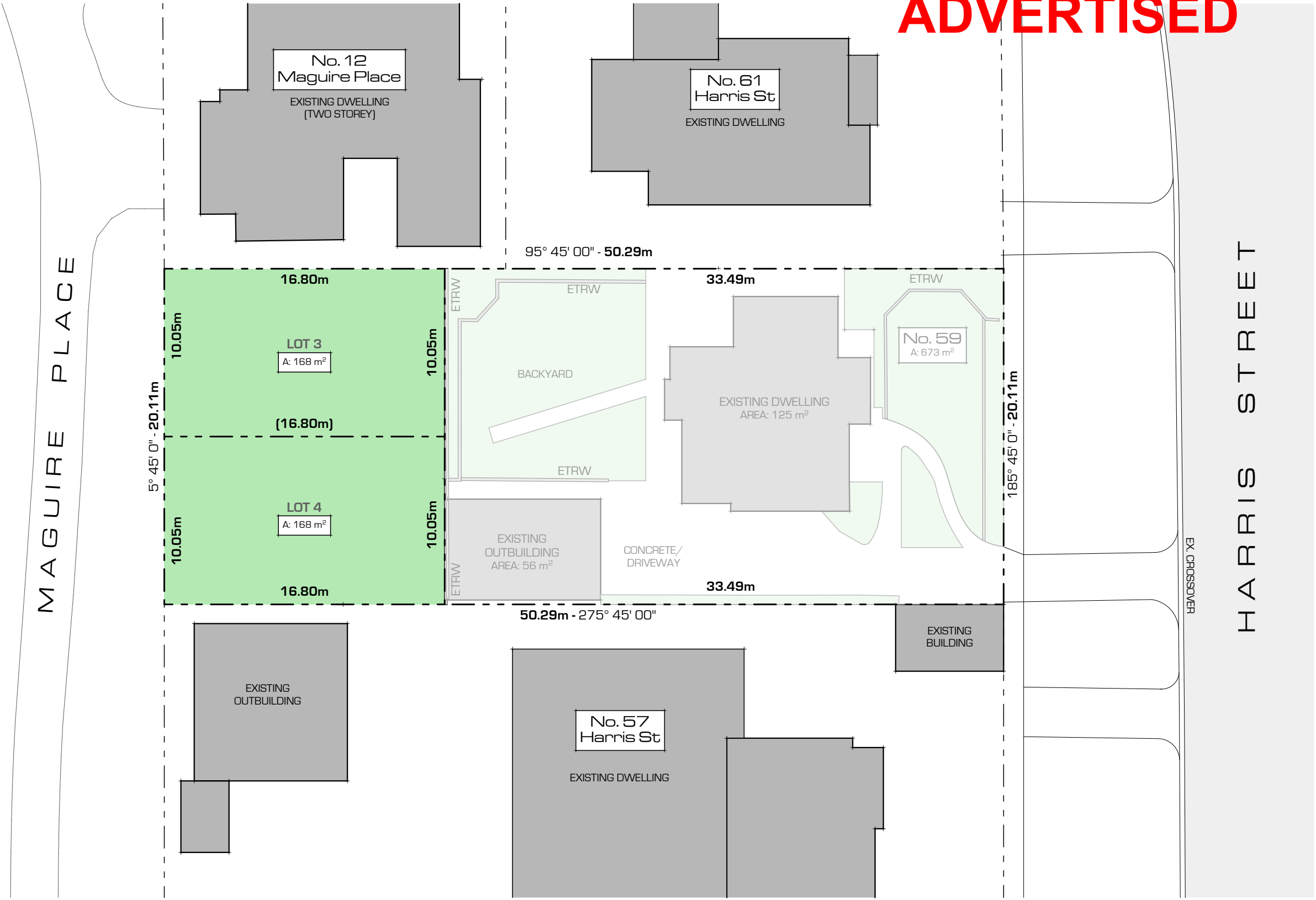
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		NOT FOR CONSTRUCTION	PROPOSED 3 LOT SUBDIVISION & TOWNHOUSES AT 59 HARRIS STREET WARRNAMBOOL VIC. 3280	scale: AS SHOWN A3
IMPORTANT: TOWN PLANNING DRAWINGS ARE DIAGRAMMATIC ONLY. ALL PROPOSED PLANS AND DIMENSIONS ARE SUBJECT TO SURVEY BY A REGISTERED LAND SURVEYOR.		client:	designed by: MZ/MD	 drawn by: MZ/MD
		drawing title:	project no.: rev.:	
© MPAA STUDIO 2026		CONCEPT PLAN OF SUBDIVISION - STAGE 1	26-1655	

LEGEND:

TBC TO BE CONFIRMED

ETRW EXISTING TIMBER RETAINING WALL

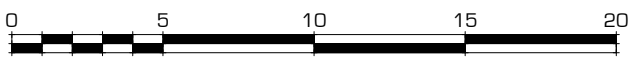
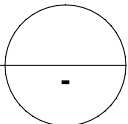
REPRESENTS PERMEABLE GREEN SPACE



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SUBDIVISION PLAN - STAGE 2

1:250



SCALE BAR IN METRES - 1:250

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	IMPORTANT: TOWN PLANNING DRAWINGS ARE DIAGRAMMATIC ONLY. ALL PROPOSED PLANS AND DIMENSIONS ARE SUBJECT TO SURVEY BY A REGISTERED LAND SURVEYOR.			

LEGEND:

- TOWNHOUSE POINT OF ENTRY
- SPOS SECLUDED PRIVATE OPEN SPACE MIN. 25m² WITH A MIN. WIDTH OF 3.0m
- POS PRIVATE OPEN SPACE
- 1 UNIT NUMBER
- TBC TO BE CONFIRMED
- CL COLLAPSABLE CLOTHESLINE
- ETRW EXISTING TIMBER RETAINING WALL
- FRL FIRE RATED PARTY WALL
- LB LETTERBOX LOCATION
- O/U PROVISION FOR SERVICE OUTDOOR UNITS
- RW PROPOSED MASONRY RETAINING WALL
- ////// DENOTES LINE OF FIRST FLOOR
- EXISTING TIMBER FENCE
- REPRESENTS CARPARKING SPACES 3500(w) x 6000(l)

REPRESENTS PAVED AREASREPRESENTS CONCRETE DRIVEWAY & CROSSEVERSREPRESENTS PERMEABLE GREEN SPACE

PROPOSED LANDSCAPING LEGEND:						
SYM.	TYPE	HEIGHT	DIA.	NO.	m²	TOTAL m²
	COASTAL BANKSIA	6.0m	4.0m	2	12.6m²	25.2m²
	DROOPY SHEOAK	8.0 - 10.0m	8.0m	4	50.3m²	201.2m²
TOTAL CANOPY AREA:						226.4m²

- DEEP SOIL PLANTING A:
MIN. 2.5(w)
- DEEP SOIL PLANTING B:
MIN. 4.5(w)

RESCODE ASSESSMENT

SITE COVERAGE		
AREA	m²	%
SITE AREA	1011	100%
MAXIMUM SITE COVERAGE (65%)	657	65%
EXISTING DWELLING	150	15
EXISTING OUTBUILDING	58	6
NET EXISTING BUILDING AREAS (2 x TOWNHOUSES)		
PROPOSED TOWNHOUSE	156	16%
PROPOSED GARAGE	62	6%
PROPOSED PERGOLA	30	3%
PROPOSED PORCH	8	1%
NET NEW BUILDING AREA	256	25%
TOTAL BUILDING AREAS	437	
ACTUAL SITE COVERAGE	43%	✓
NOTE: Existing building areas are extrapolated from the feature and level survey conducted by Brayley and Hayes Surveyors.		
GARDEN AREA - ENTIRE SITE		
	m²	%
SITE AREA	1011	100%
MINIMUM GARDEN AREA (35%)	354	35%
ACTUAL GARDEN AREA	424	42%



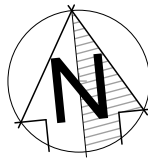
Co Lab, Level 1 - 1 Dispensary Lane
Warrnambool VIC 3280
Phone: (03) 5562 9443
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revision:	description:	date:
NOT FOR CONSTRUCTION		
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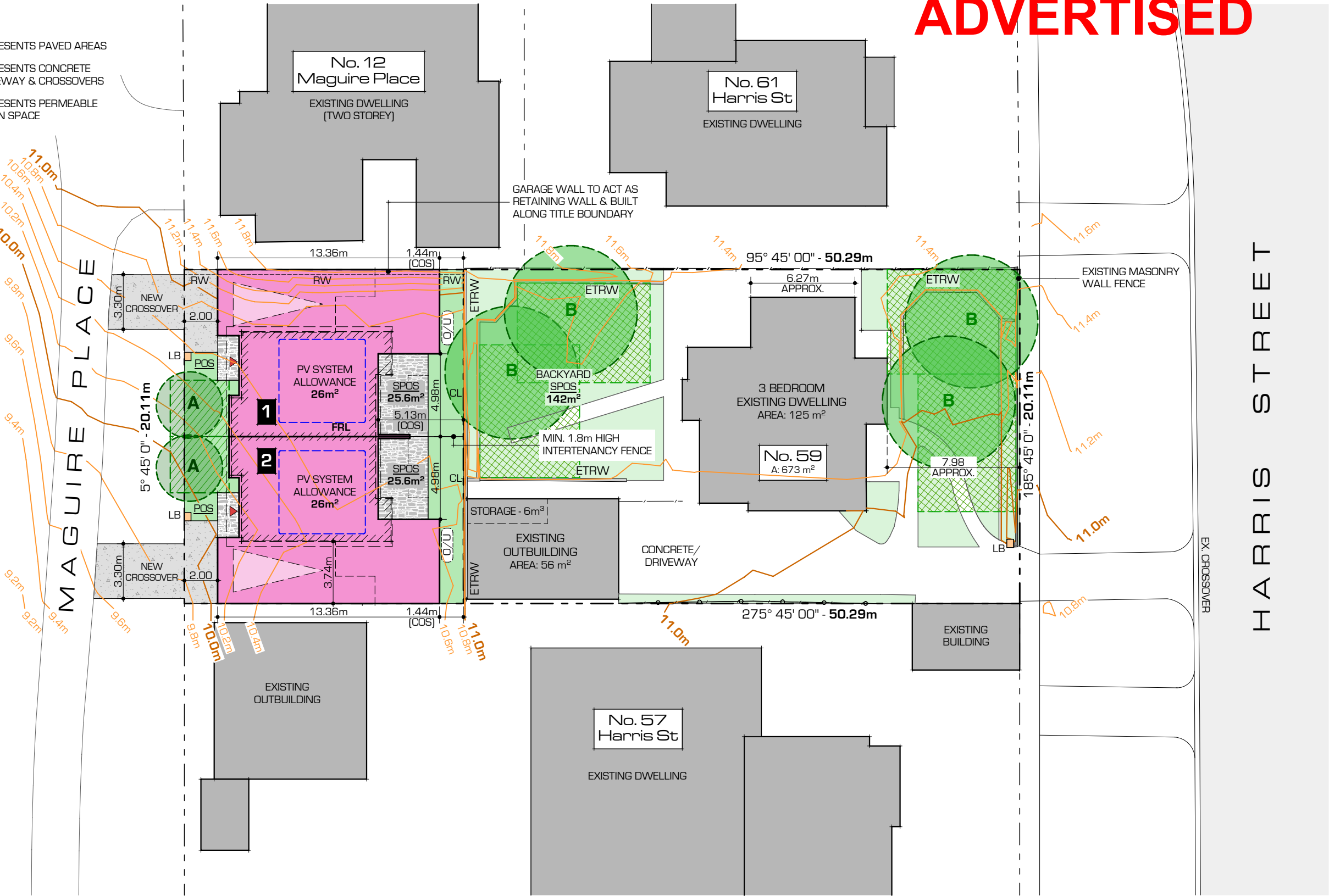
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client:	
drawing title:	PROPOSED SITE PLAN

date:	JUNE 2026
scale:	AS SHOWN A3
designed by:	MZ/MD
drawn by:	MZ/MD
project no.:	26-1655
rev.:	



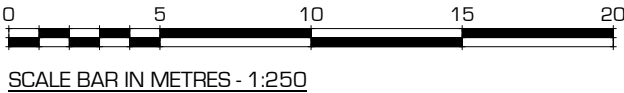
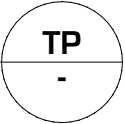
dwg no: TP4 of TP10

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PROPOSED SITE PLAN

1:250



26-1655 Harris Street - SK2 Master.pln

LEGEND

- ACU

Air conditioner outdoor unit
- B

Built-in bath
- CL

Collapsible clothesline
- CT

Cooktop
- DP

Downpipe
- DRY

Dryer
- DW

Dishwasher
- HWU

Hot water system unit
- LB

Letterbox
- LG

Linear drainage grate
- MB

Electrical meterbox
- MC

Mirror cabinet
- N

Recessed shower niche
- OHC

Overhead cupboards
- P

Pantry cupboard
- REF

Refrigerator provision min. 1000mm
- RW

Proposed masonry retaining wall
- RWH

Rainwater head
- S

Stainless steel sink
- SD

Sliding door
- SHR

Shower
- T

Laundry trough
- TR

Towel rail
- UBO

Under bench oven
- VB

Vanity basin
- WC

Toilet pan
- WM

Washing machine
- WS

Window seat with storage below

DENOTES SPOS BOUNDARY

DENOTES CROSS-VENTILATION PATHWAY

DENOTES BIN STORAGE

DENOTES MOUNTED SENSOR LIGHT



SCALE BAR IN METRES - 1:100

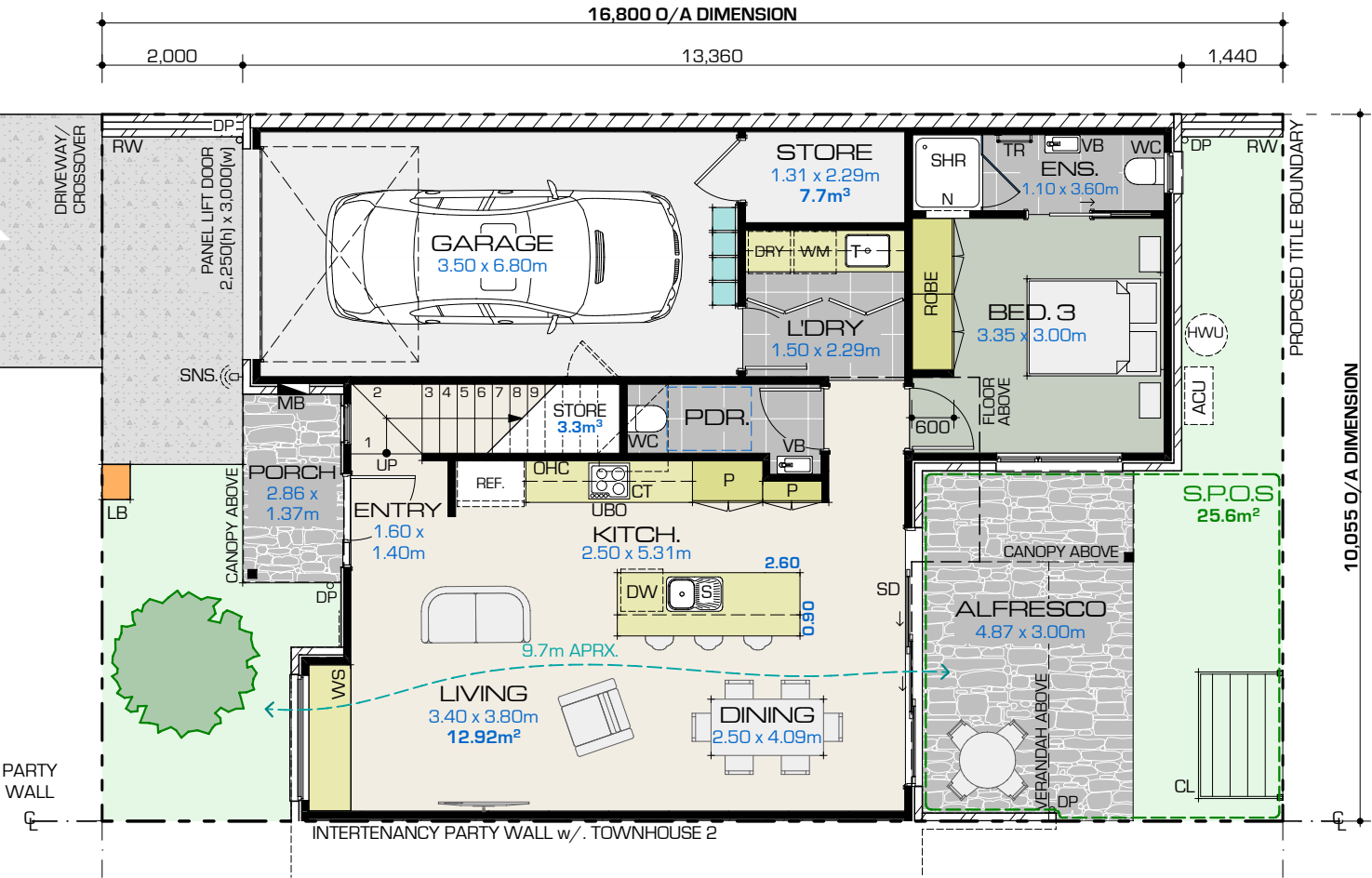
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TYPICAL BUILDING AREAS

AREA	SQM.	SGs
GROUND FLOOR	78.24	8.42
FIRST FLOOR	56.17	6.04
GARAGE	30.98	3.33
SUB-TOTAL BUILDING AREA	165.39	17.80
PORCH	3.75	0.40
ALFRESCO	14.95	1.61
TOTAL BUILDING AREA	184.09	19.81

FLOOR COVERING AREAS

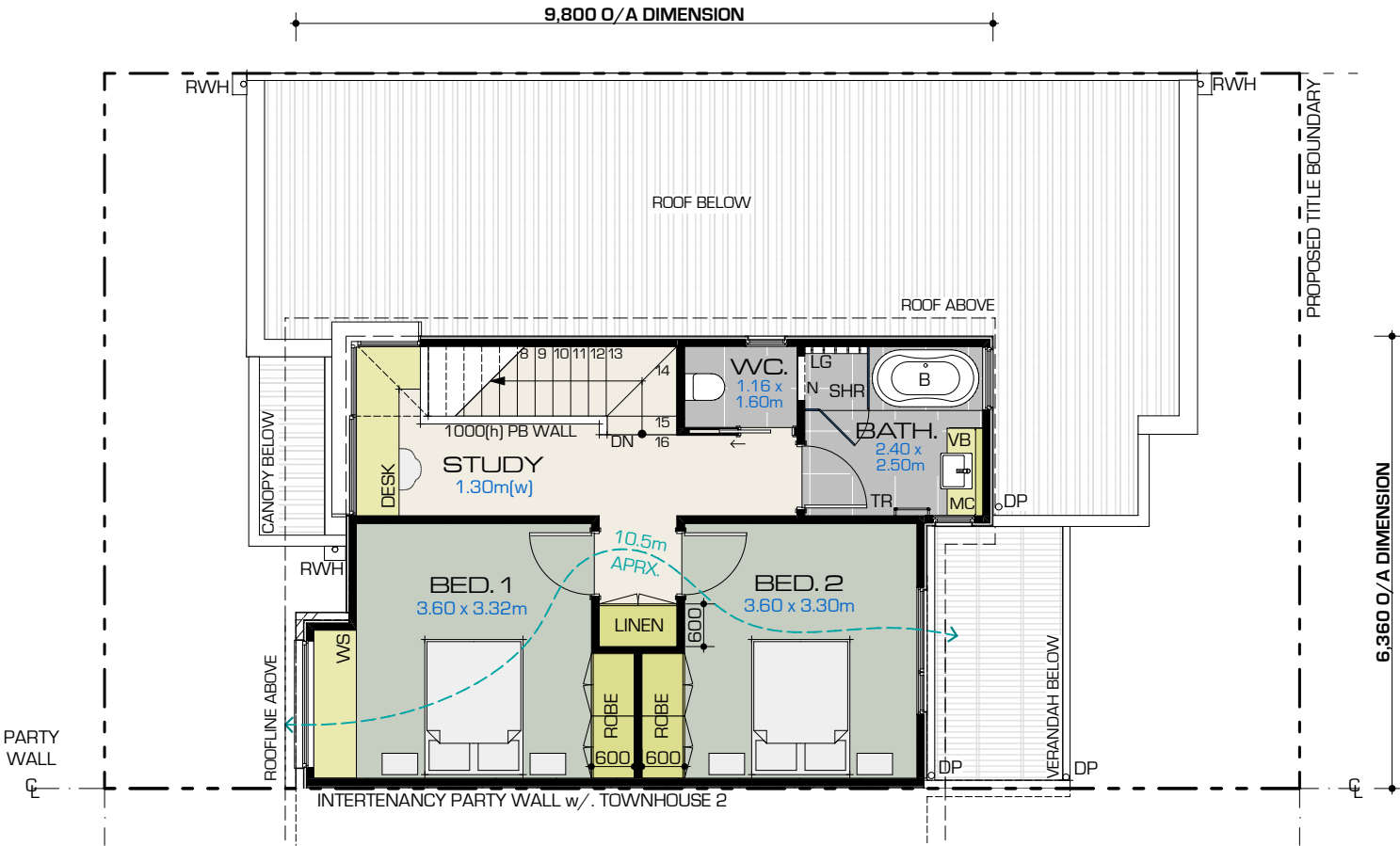
FLOOR COVERING TYPE	APPROX. SQM.
TIMBER FLOORBOARDS (TFB)	50
CARPET	35
TILES	20
PAVING	19
CONCRETE - PATH & DRIVEWAY	10



TH1 - GROUND FLOOR PLAN

1:100

TP



TH1 - FIRST FLOOR PLAN

1:100

TP



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project:
**PROPOSED 3 LOT SUBDIVISION & TOWNHOUSES
AT 59 HARRIS STREET WARRNAMBOOL VIC. 3280**

client:
[REDACTED]

drawing title:
TOWNHOUSE 1 - GROUND & FIRST FLOOR PLANS

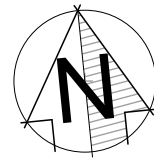
date:
JUNE 2026

scale:
AS SHOWN **A3**

designed by: MZ/MD

drawn by: MZ/MD

project no.: **26-1655** rev.: /



dwg no: **TP5** of TP10

LEGEND

- ACU

Air conditioner outdoor unit
- B

Built-in bath
- CL

Collapsible clothesline
- CT

Cooktop
- DP

Downpipe
- DRY

Dryer
- DW

Dishwasher
- HWU

Hot water system unit
- LB

Letterbox
- LG

Linear drainage grate
- MB

Electrical meterbox
- MC

Mirror cabinet
- N

Recessed shower niche
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Overhead cupboards
- P

Pantry cupboard
- REF

Refrigerator provision min. 1000mm
- RW

Proposed masonry retaining wall
- RWH

Rainwater head
- S

Stainless steel sink
- SD

Sliding door
- SHR

Shower
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Laundry trough
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Towel rail
- UBO

Under bench oven
- VB

Vanity basin
- WC

Toilet pan
- WM

Washing machine
- WS

Window seat with storage below
- DENOTES SPOS BOUNDARY
- DENOTES CROSS-VENTILATION PATHWAY
- DENOTES BIN STORAGE
- SNS. CH

DENOTES MOUNTED SENSOR LIGHT



SCALE BAR IN METRES - 1:100

ADVERTISED

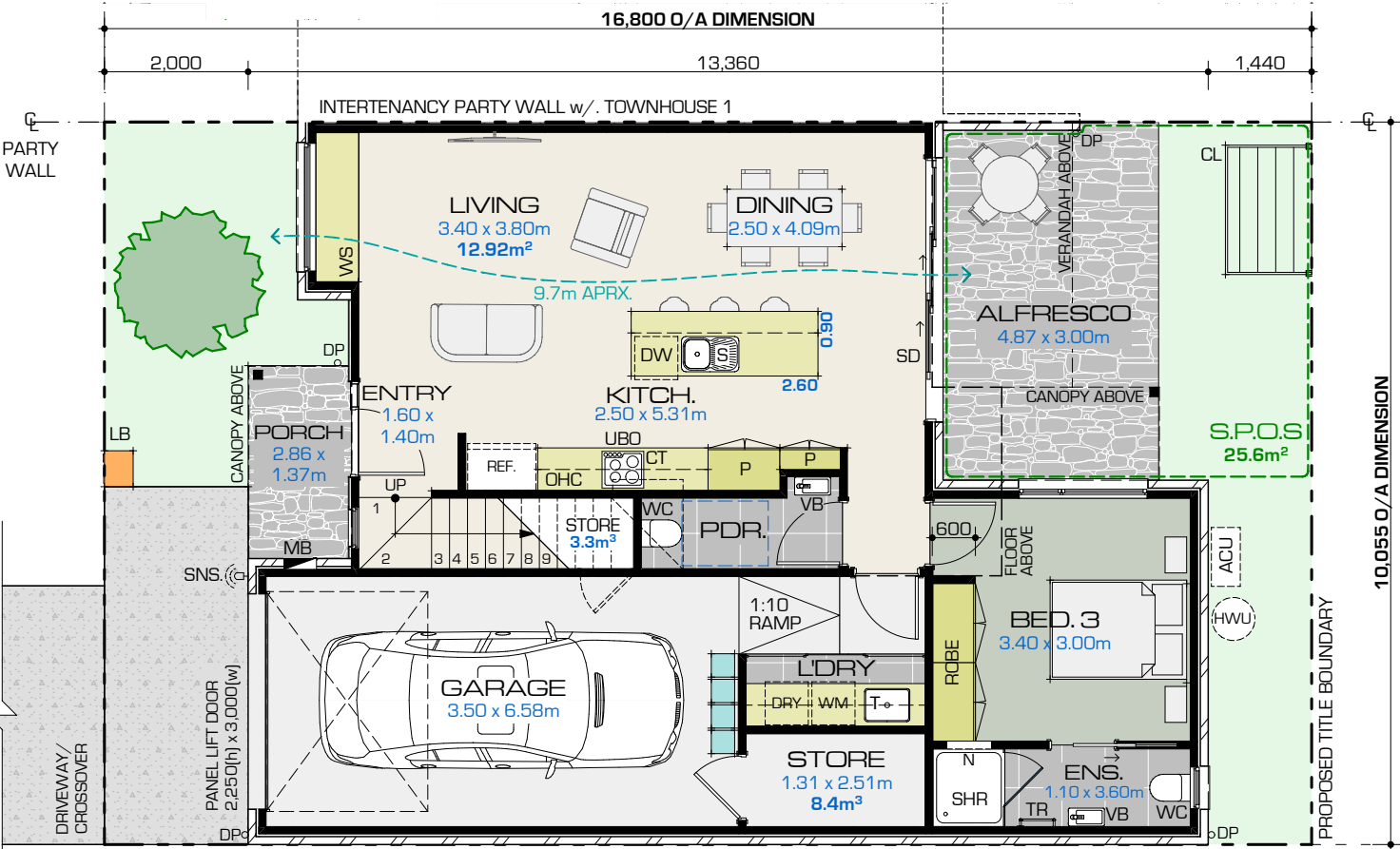
TYPICAL BUILDING AREAS

AREA	SQM.	SGs
GROUND FLOOR	78.24	8.42
FIRST FLOOR	56.17	6.04
GARAGE	30.98	3.33
SUB-TOTAL BUILDING AREA	165.39	17.80
PORCH	3.75	0.40
ALFRESCO	14.95	1.61
TOTAL BUILDING AREA	184.09	19.81

FLOOR COVERING AREAS

PER TOWNHOUSE

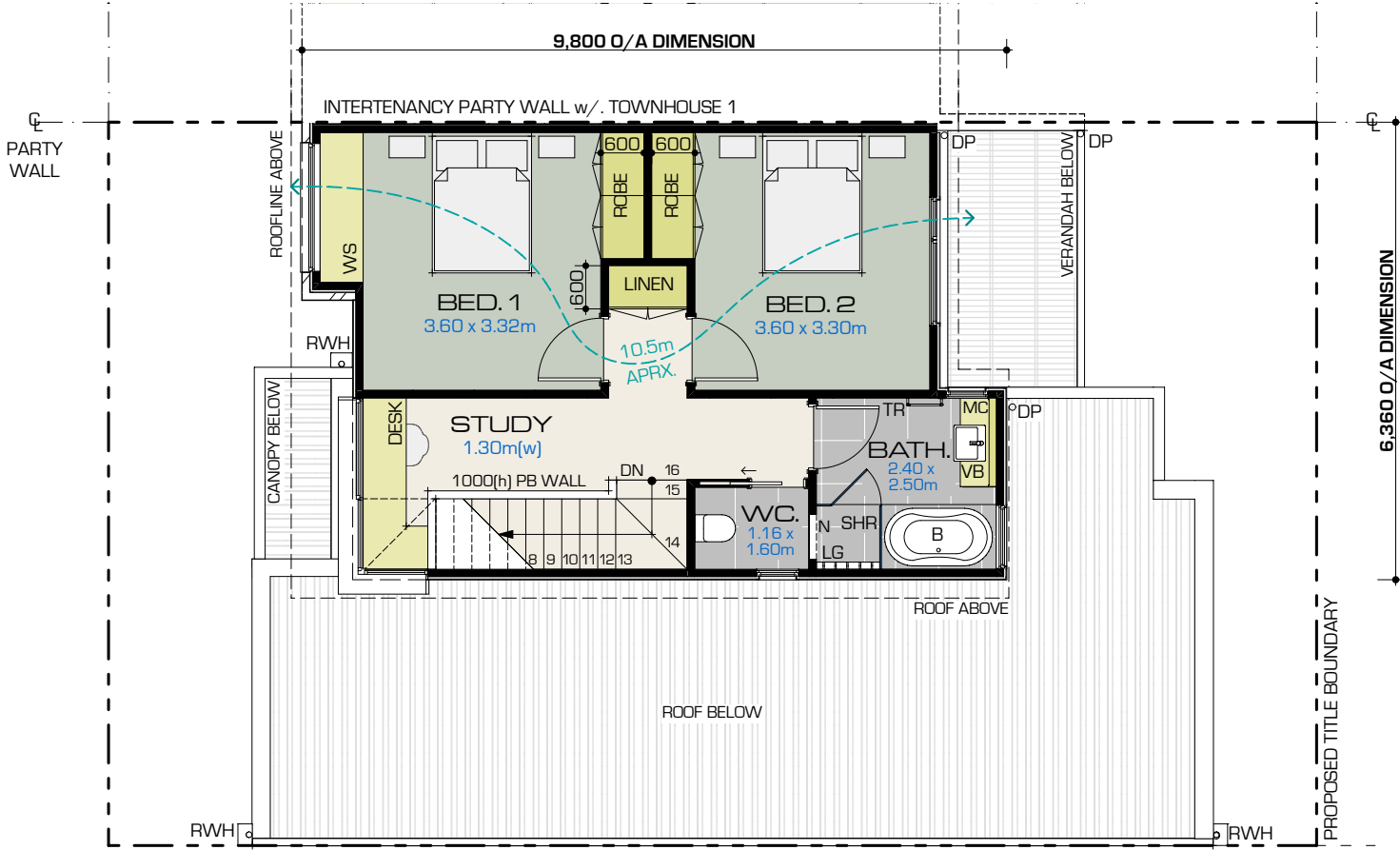
FLOOR COVERING TYPE	APPROX. SQM.
TIMBER FLOORBOARDS (TFB)	50
CARPET	35
TILES	20
PAVING	19
CONCRETE - PATH & DRIVEWAY	10



TH2 - GROUND FLOOR PLAN

1:100

TP



TH2 - FIRST FLOOR PLAN

1:100

TP



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revision: description:

date:

project:

PROPOSED 3 LOT SUBDIVISION & TOWNHOUSES
AT 59 HARRIS STREET WARRNAMBOOL VIC. 3280

client:

drawing title:

TOWNHOUSE 2 - GROUND & FIRST FLOOR PLANS

date:

JUNE 2026

scale:

AS SHOWN

A3

designed by: MZ/MD

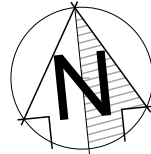
drawn by: MZ/MD

project no.:

26-1655

rev.:

dwg no: TP6 of TP10



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EXTERNAL FINISHES SCHEDULE:

TAG No.	DESCRIPTION
01	CORRUGATED COLORBOND ULTRA TRIMDEK ROOF SHEETS GARAGE 2° PITCH / ROOF 3.5° - NIGHT SKY FINISH
02	COLORBOND FLASHINGS & EAVES GUTTER ON COLORBOND METAL FASCIA - NIGHT SKY FINISH
03	SELECTED RECYCLED BRICK VENEER WALL - RED COLOURED, LAID IN STRETCHER BOND PATTERN w/. STANDARD MORTAR
04	SELECTED PRE-OILED TIMBER SHIPLAP CLADDING w/. CONCEALED FIXINGS
05	DANPALON 'GREY OPAQUE HONEYCOMB' POLYCARBONATE ROOF SHEETING (OR SIMILAR) ON TIMBER FRAMING - PAINT FINISH, DOVER WHITE
06	ALUMINIUM FRAMED WINDOWS AND DOORS - NIGHT SKY FINISHES
07	OVERSIZED SOLID TIMBER FEATURE ENTRY DOOR & SIDELIGHT
08	2,250(h) x 3,000(w) COLORBOND PANEL LIFT DOOR - DOVER WHITE FINISH
09	NOM. 120 x 120mm HARDWOOD POSTS TO ENGs SPECs.
10	CONCRETE SLEEPER RETAINING WALL WITH STEEL POST UPRIGHTS TO ENGs SPECs.
11	HARDIE 'FINE TEXTURE' FIBRE CEMENT SHEET CLADDING (OR SIMILAR) - PAINT FINISH, DOVER WHITE
12	ALUMINIUM WINDOW SHROUD - NIGHT SKY FINISH
13	RECESSED BANDING FEATURE IN BRICK COURSING
14	NOM. 320mm(thk) CORE-FILLED BRICK RETAINING WING WALLS TO ENGs SPECs

- DENOTES MINIMUM SIDE SETBACKS FROM BOUNDARY
- DENOTES PARTY WALL CENTRE/SHARED BOUNDARY



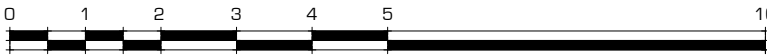
WEST ELEVATION

1:100



EAST ELEVATION

1:100



SCALE BAR IN METRES - 1:100



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PROPOSED 3 LOT SUBDIVISION & TOWNHOUSES
AT 59 HARRIS STREET WARRNAMBOOL VIC. 3280

client:

drawing title:

EAST & WEST ELEVATIONS

date:

JUNE 2026

scale:

AS SHOWN

A3

designed by: MZ/MD

drawn by: MZ/MD

project no.:

26-1655

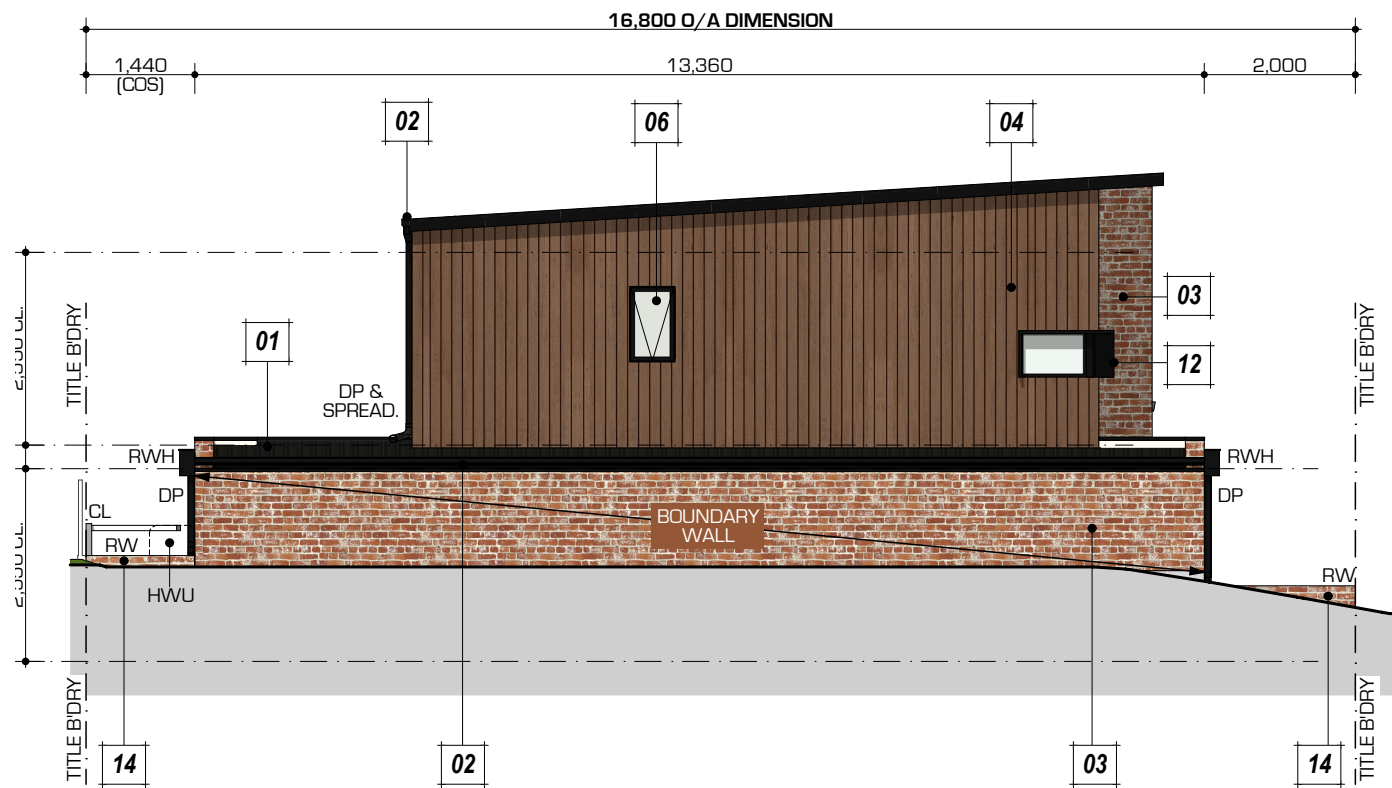
rev.:

dwg no: TP7 of TP10

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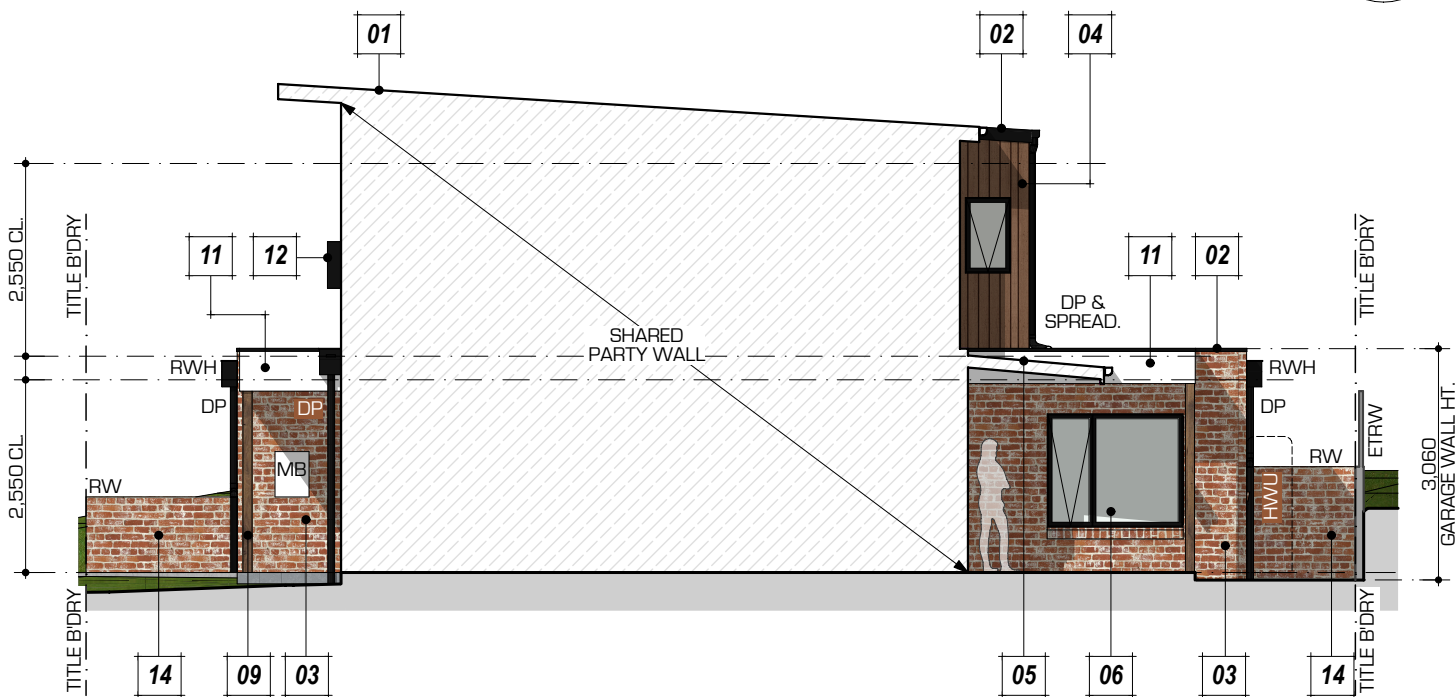
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TH1 - NORTH BOUNDARY ELEVATION

E-03

1:100



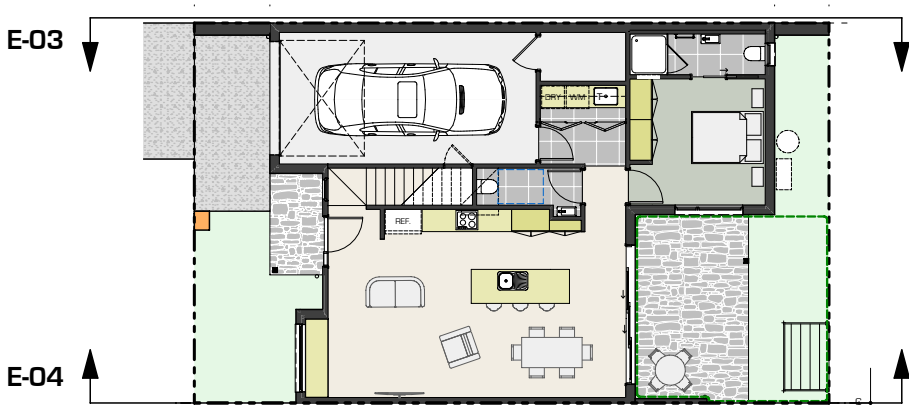
TH1 - PARTY WALL ELEVATION

E-04

1:100

ADVERTISED

EXTERNAL FINISHES SCHEDULE:	
TAG No.	DESCRIPTION
01	CORRUGATED COLORBOND ULTRA TRIMDEK ROOF SHEETS GARAGE 2° PITCH / ROOF 3.5° - NIGHT SKY FINISH
02	COLORBOND FLASHINGS & EAVES GUTTER ON COLORBOND METAL FASCIA - NIGHT SKY FINISH
03	SELECTED RECYCLED BRICK VENEER WALL - RED COLOURED, LAID IN STRETCHER BOND PATTERN w/. STANDARD MORTAR
04	SELECTED PRE-OILED TIMBER SHIPLAP CLADDING w/. CONCEALED FIXINGS
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10	CONCRETE SLEEPER RETAINING WALL WITH STEEL POST UPRIGHTS TO ENG's SPECs.
11	HARDIE 'FINE TEXTURE' FIBRE CEMENT SHEET CLADDING (OR SIMILAR) - PAINT FINISH, DOVER WHITE
12	ALUMINIUM WINDOW SHROUD - NIGHT SKY FINISH
13	RECESSED BANDING FEATURE IN BRICK COURSING
14	NOM. 320mm(thk) CORE-FILLED BRICK RETAINING WING WALLS TO ENG's SPECs



TH1 - KEY PLAN

1:200



SCALE BAR IN METRES - 1:100

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revision: description:

date:

project:

PROPOSED 3 LOT SUBDIVISION & TOWNHOUSES
AT 59 HARRIS STREET WARRNAMBOOL VIC. 3280

client:

drawing title:

TOWNHOUSE 1 - BOUNDARY ELEVATIONS

date:

JUNE 2026

scale:

AS SHOWN

A3

designed by: MZ/MD

drawn by: MZ/MD

project no.:

26-1655

rev.:

/

dwg no: TP8 of TP10



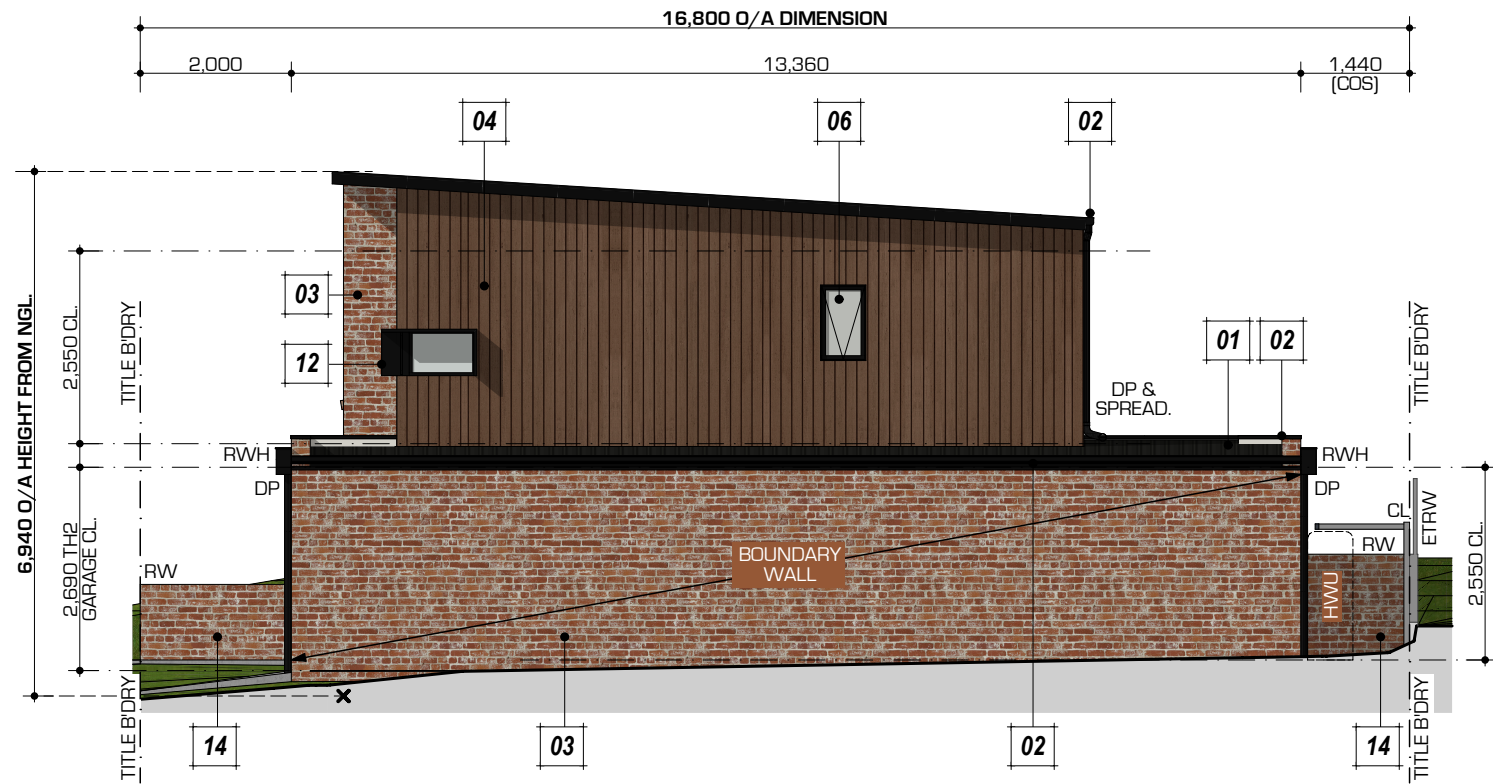
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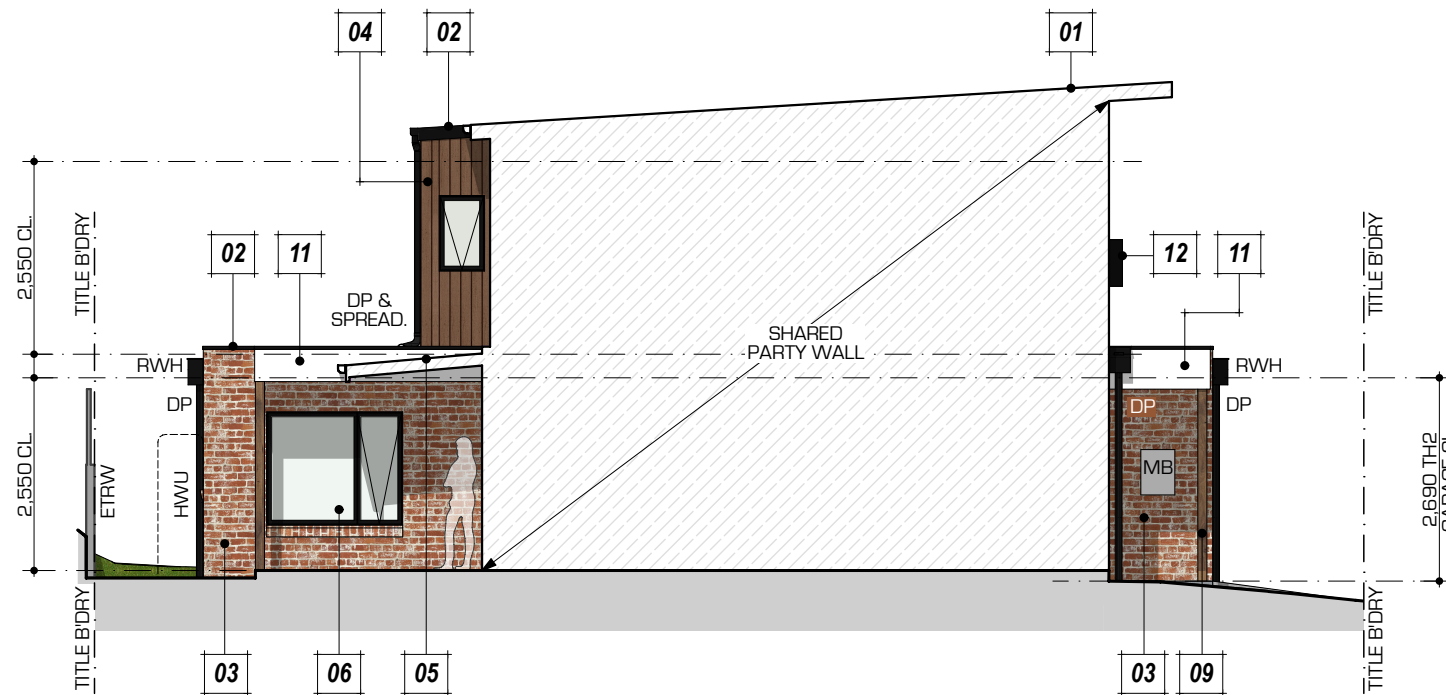
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TH2 - BOUNDARY WALL ELEVATION

1:100

E-05



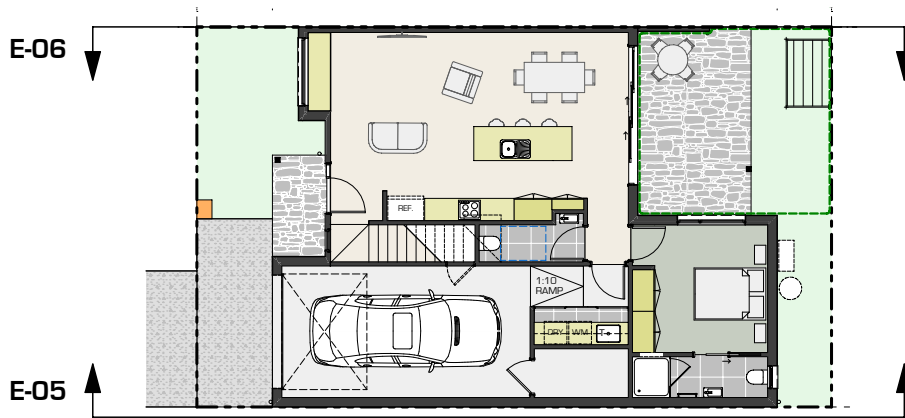
TH2 - PARTY WALL ELEVATION

1:100

E-06

ADVERTISED

EXTERNAL FINISHES SCHEDULE:	
TAG No.	DESCRIPTION
01	CORRUGATED COLORBOND ULTRA TRIMDEK ROOF SHEETS GARAGE 2° PITCH / ROOF 3.5° - NIGHT SKY FINISH
02	COLORBOND FLASHINGS & EAVES GUTTER ON COLORBOND METAL FASCIA - NIGHT SKY FINISH
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13	RECESSED BANDING FEATURE IN BRICK COURSING
14	NOM. 320mm(thk) CORE-FILLED BRICK RETAINING WING WALLS TO ENG's SPECs



TH2 - KEY PLAN

1:200



SCALE BAR IN METRES - 1:100



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revision: description:

date:

project:

PROPOSED 3 LOT SUBDIVISION & TOWNHOUSES
AT 59 HARRIS STREET WARRNAMBOOL VIC. 3280

client:

drawing title:

TOWNHOUSE 2 - BOUNDARY ELEVATIONS

date:

JUNE 2026

scale:

AS SHOWN

A3

designed by: MZ/MD

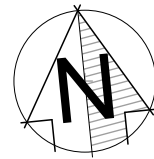
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project no.:

26-1655

rev.:

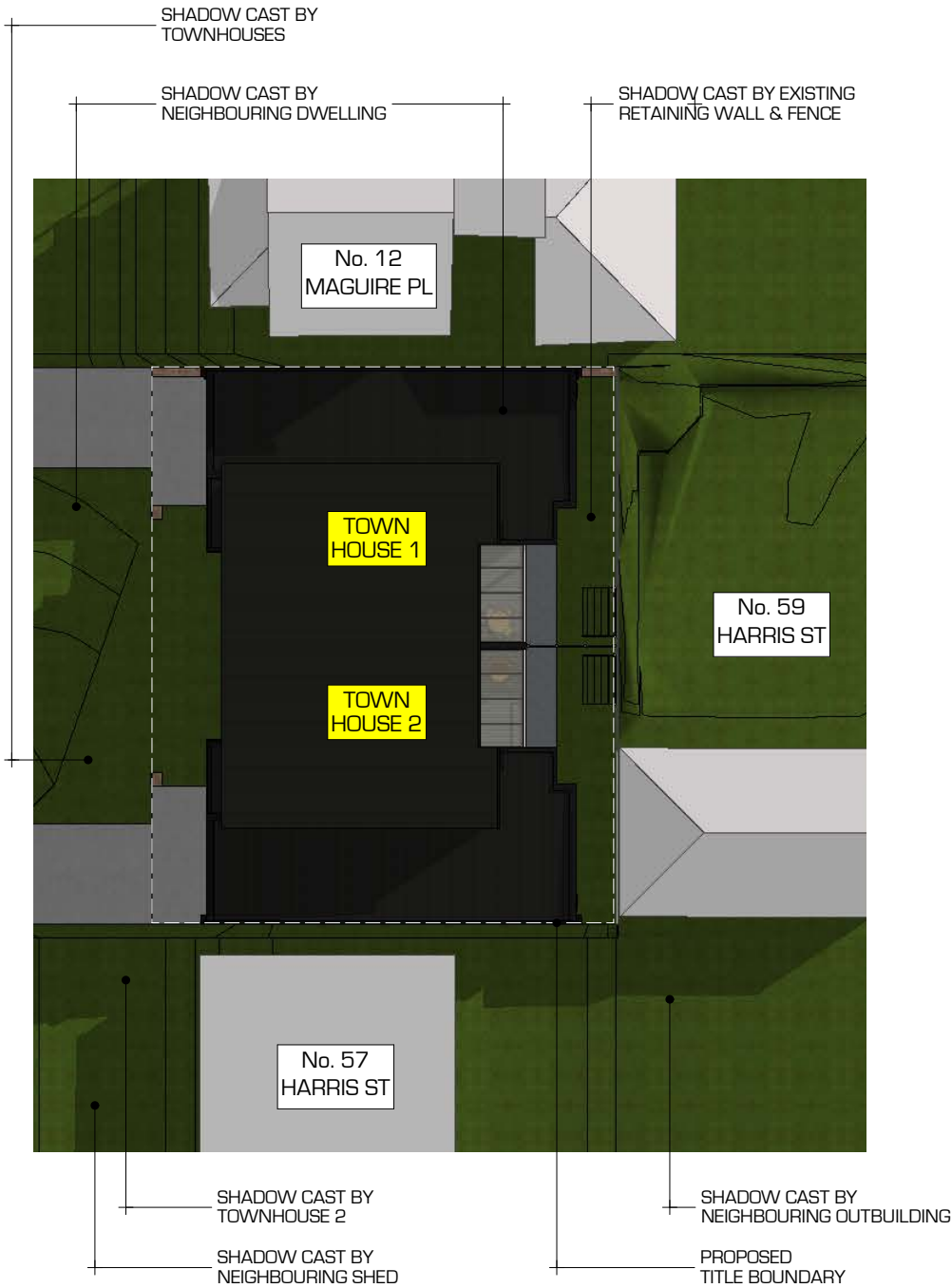
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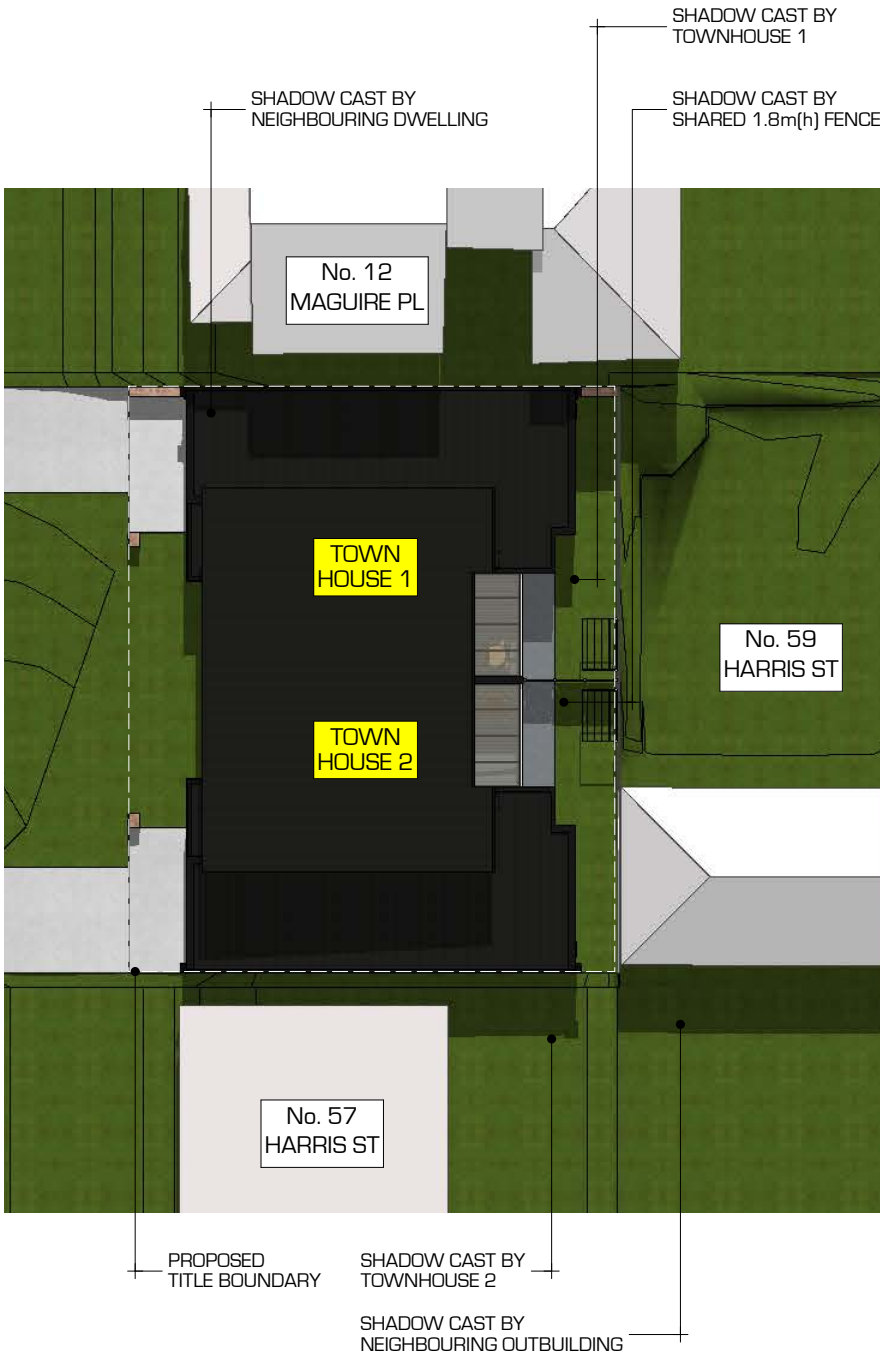
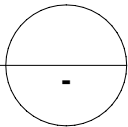
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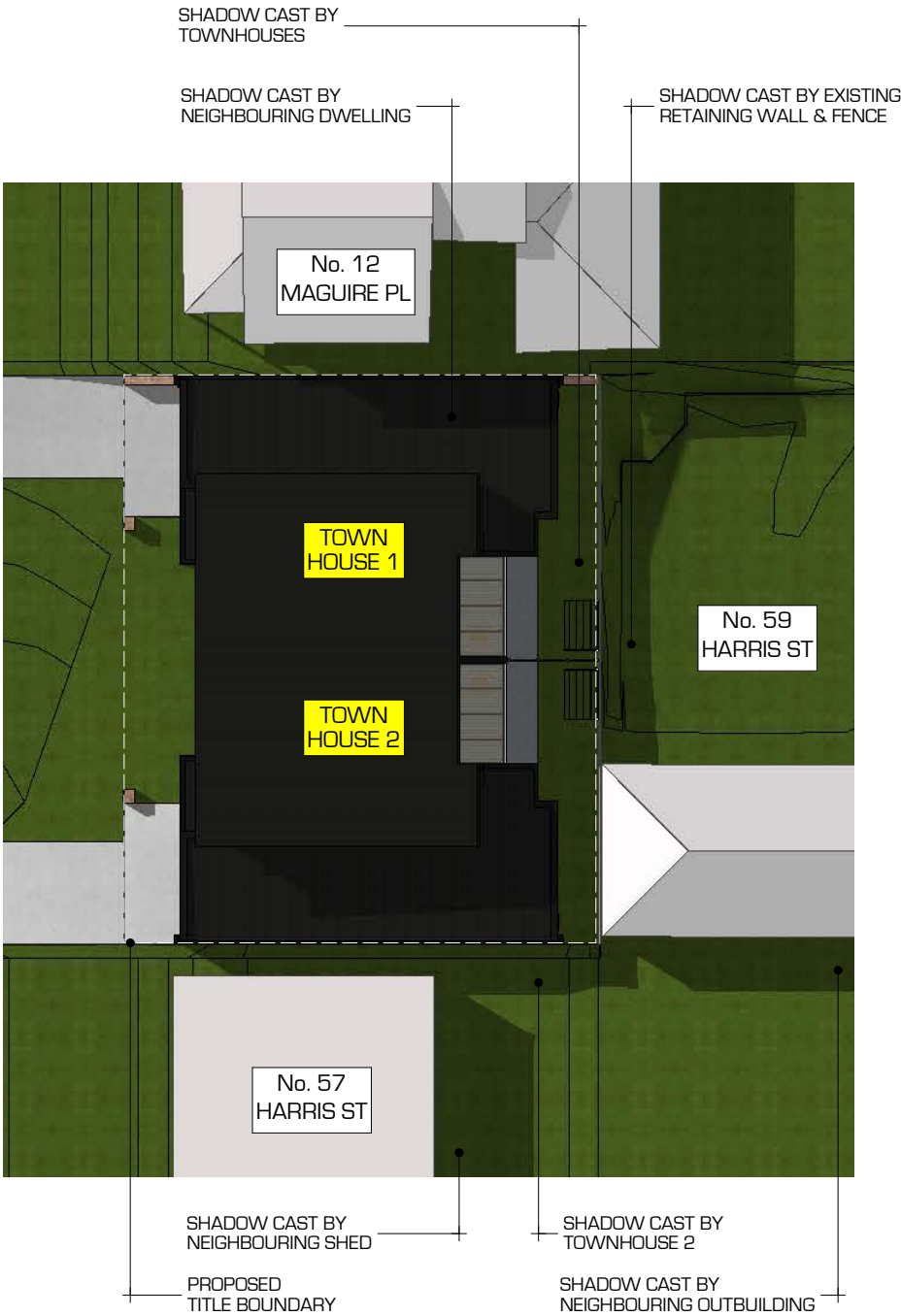
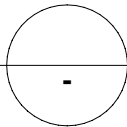
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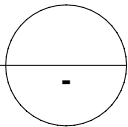
SEPT. 22nd - 9am
SHADOW DIAGRAM



SEPT. 22nd - 12pm
SHADOW DIAGRAM



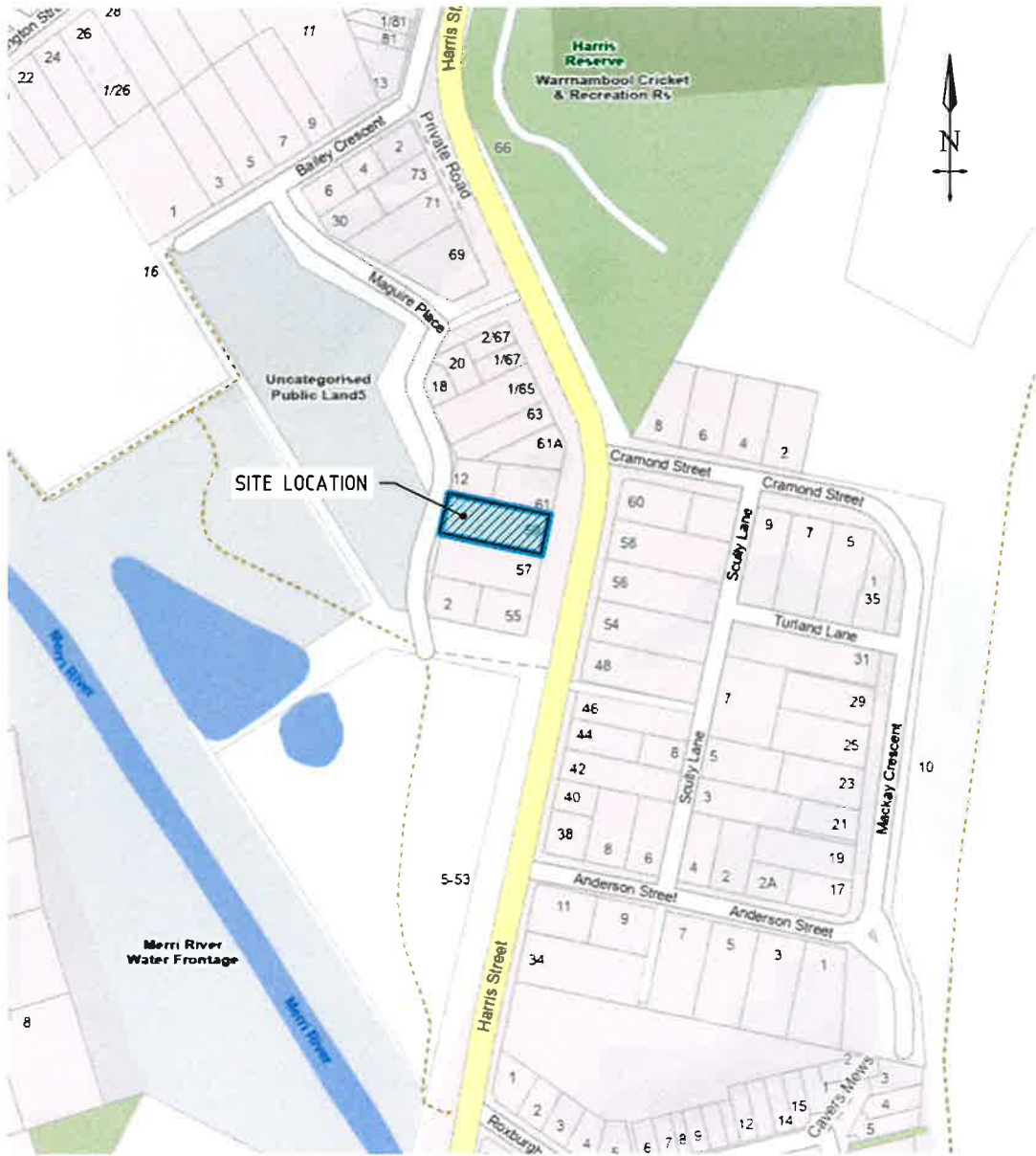
SEPT. 22nd - 3pm
SHADOW DIAGRAM



PROPOSED SUBDIVISION
AT 59 HARRIS ST, WARRNAMBOOL
FOR HR BUILD

DESIGNED BY	GEORGE MCLEOD B.E. MIE Aust, NER, PE0001841, RPEQ 34363
DRAWN BY	M COOK
CHECKED BY	MARY HOLMES B.E. FIE Aust, PE0002195, RPEQ 3786
REF #	V26-082
DATE	JUNE 2026

DRAWING INDEX	
V26-082 : ENGINEERING	
STRUCTURAL	
S01	TITLE SHEET, DRAWING INDEX & GENERAL NOTES
S02	STORMWATER MANAGEMENT PLAN
S03	STORMWATER DETENTION DETAILS



SITE LOCATION MAP
N.T.S

FOR CONSTRUCTION			
REV.	DESCRIPTION	BY	DATE



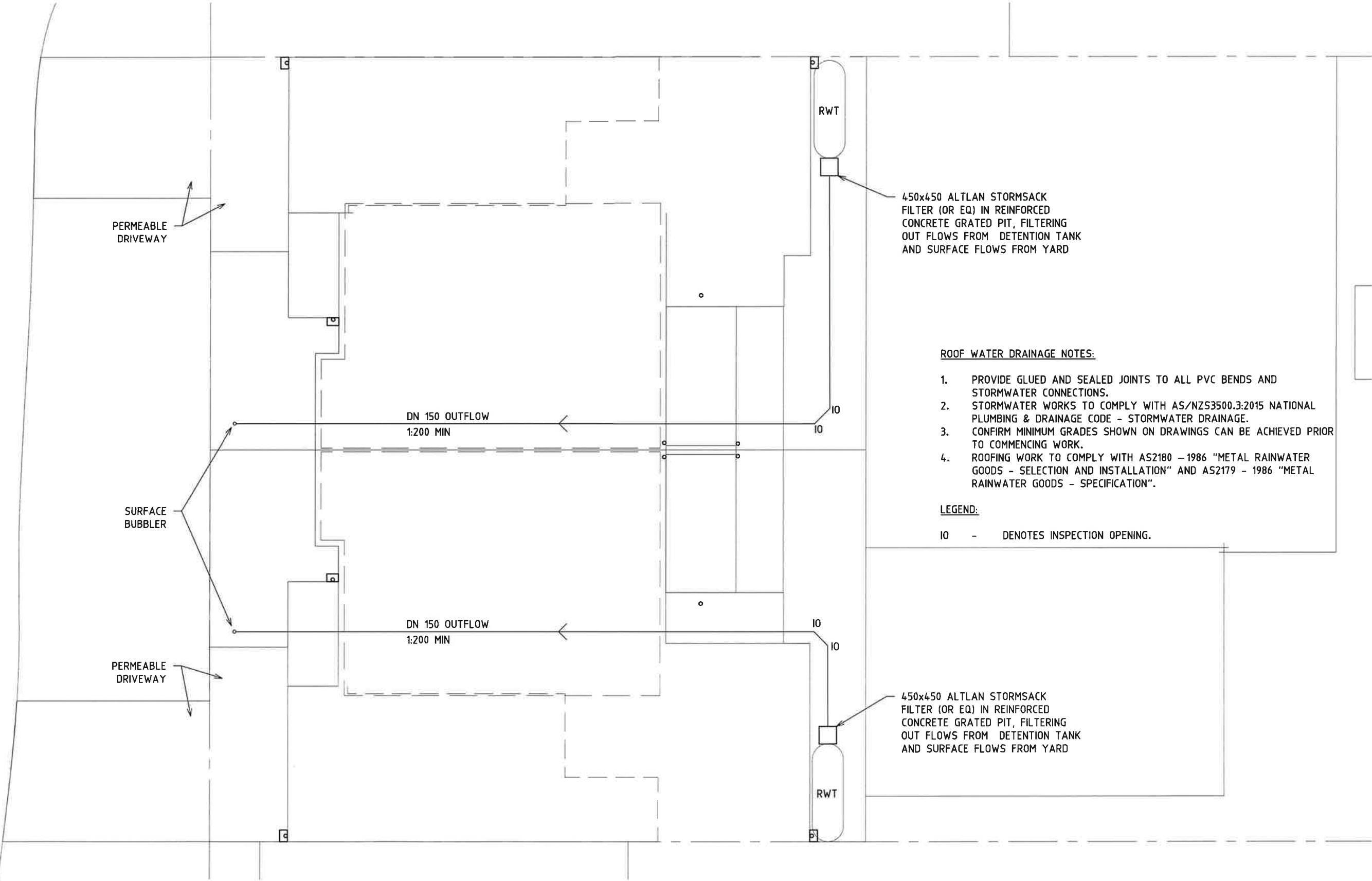
HOLMES McLEOD
CONSULTING ENGINEERS PTY LTD
A.C.N 053 696 272
451 RAGLAN PDE, WARRNAMBOOL, VIC 3280
PH: (03) 55629990
EMAIL vicoffice@holmesmcleod.com.au

DESIGN	GM
DRAWN	MC
CHECK	WPC
SCALE	N.T.S.
DATE	JUNE 2026

PROJECT	PROPOSED SUBDIVISION AT 59 HARRIS ST, WARRNAMBOOL
TITLE	TITLE SHEET, DRAWING INDEX & GENERAL NOTES

JOB No.	V26-082
DRAWING No.	S01
SHT. SIZE	A3

MAGUIRE PLACE



450x450 ATLAN STORMSACK
FILTER (OR EQ) IN REINFORCED
CONCRETE GRATED PIT, FILTERING
OUT FLOWS FROM DETENTION TANK
AND SURFACE FLOWS FROM YARD

ROOF WATER DRAINAGE NOTES:

- 1. PROVIDE GLUED AND SEALED JOINTS TO ALL PVC BENDS AND STORMWATER CONNECTIONS.
- 2. STORMWATER WORKS TO COMPLY WITH AS/NZS3500.3:2015 NATIONAL PLUMBING & DRAINAGE CODE - STORMWATER DRAINAGE.
- 3. CONFIRM MINIMUM GRADES SHOWN ON DRAWINGS CAN BE ACHIEVED PRIOR TO COMMENCING WORK.
- 4. ROOFING WORK TO COMPLY WITH AS2180 - 1986 "METAL RAINWATER GOODS - SELECTION AND INSTALLATION" AND AS2179 - 1986 "METAL RAINWATER GOODS - SPECIFICATION".

LEGEND:

IO - DENOTES INSPECTION OPENING.

450x450 ATLAN STORMSACK
FILTER (OR EQ) IN REINFORCED
CONCRETE GRATED PIT, FILTERING
OUT FLOWS FROM DETENTION TANK
AND SURFACE FLOWS FROM YARD

FOR CONSTRUCTION

REV.	DESCRIPTION	BY	DATE

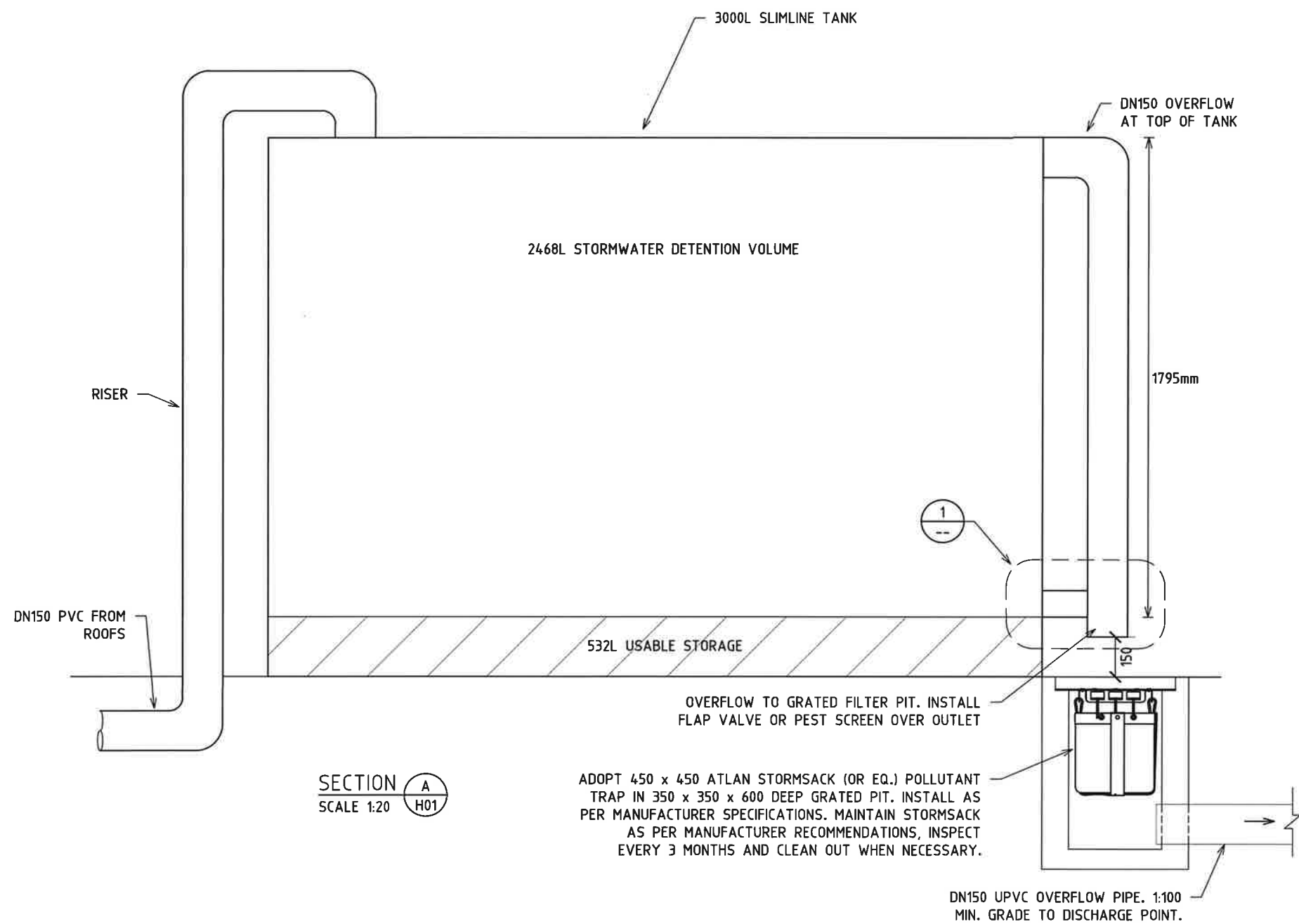


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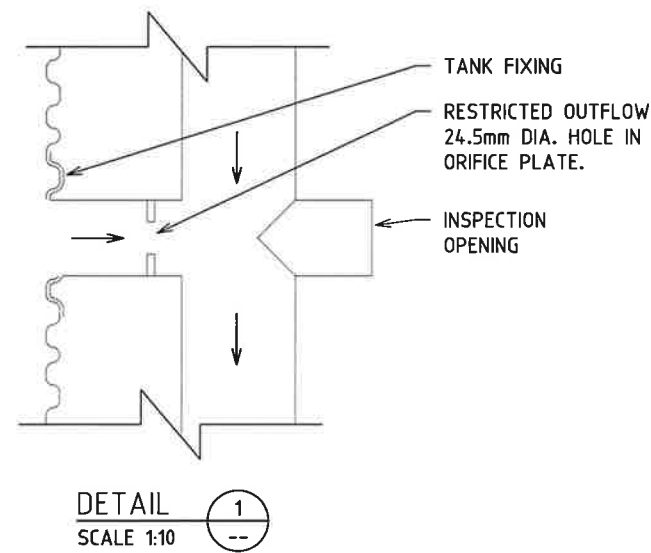
DESIGN	GM
DRAWN	MC
CHECK	WJ
SCALE	1:100
DATE	JUNE 2026

PROJECT
PROPOSED SUBDIVISION
AT 59 HARRIS ST, WARRNAMBOOL
TITLE
STORMWATER MANAGEMENT PLAN

JOB No.	V26-082
DRAWING No.	S02
SHT. SIZE	A3



SECTION A
SCALE 1:20



DETAIL 1
SCALE 1:10

FOR CONSTRUCTION			
REV.	DESCRIPTION	BY	DATE

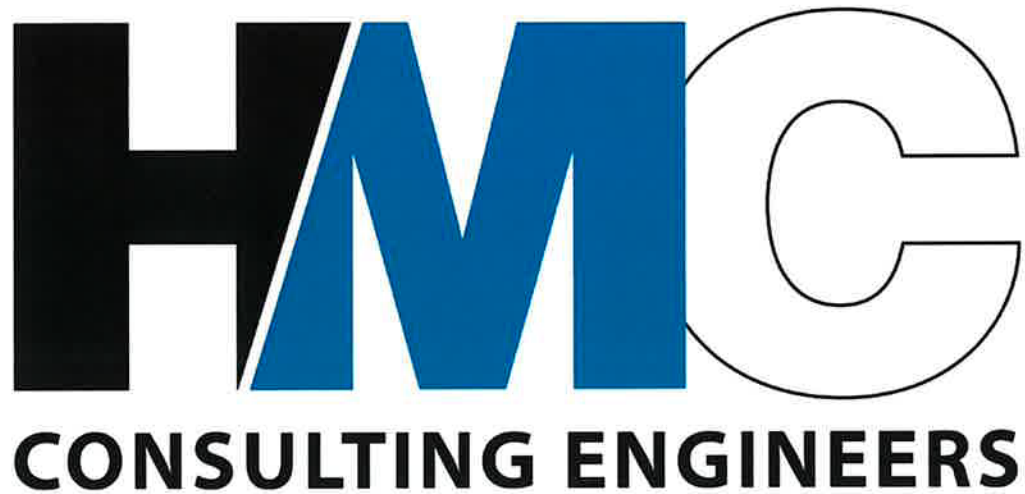


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CONSULTING ENGINEERS PTY LTD
A.C.N 053 696 272
451 RAGLAN PDE, WARRNAMBOOL, VIC 3280
PH: (03) 55629990
EMAIL vicoffice@holmesmcleod.com.au

DESIGN GM
DRAWN MC
CHECK *MC*
SCALE 1:20 1:10
DATE JUNE 2026

PROJECT
PROPOSED SUBDIVISION
AT 59 HARRIS ST, WARRNAMBOOL
TITLE
STORMWATER DETENTION DETAILS

JOB No.
V26-082
DRAWING No.
S03
SHT. SIZE
A3



Stormwater Management Report

59 Harris Street, Warrnambool

For



Project Number: V26-082

Prepared By: George McLeod BE PE0001841

Checked By: Mary Holmes BE PE0002195

A handwritten signature in blue ink that reads 'Mary Holmes'.

Date: 23rd June 2026

Holmes McLeod Consulting Engineers Pty Ltd

451 Raglan Parade, Warrnambool, VIC 3280

Contents

Introduction:	1
The Subject Site:	1
Land Use:	2
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Existing Overlays:	2
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Introduction:

This Stormwater Management Report has been prepared by Holmes McLeod Consulting Engineers to prepare a Stormwater Management Plan for the proposed subdivision at 59 Harris Street, Warrnambool.

The Subject Site:

The subject site is located within the Warrnambool Council/Township area. The total site area is 1012m². The site slopes towards the South West. Figure 1 below is a map depicting the location of the site and surroundings, while Figure 2 shows an Aerial photo of the subject site (Sourced from MapshareVIC). The site contains an existing residence and shed and the proposed development is for a subdivision and two new residences constructed on the Western lots.



Figure 1: Site Locality Plan

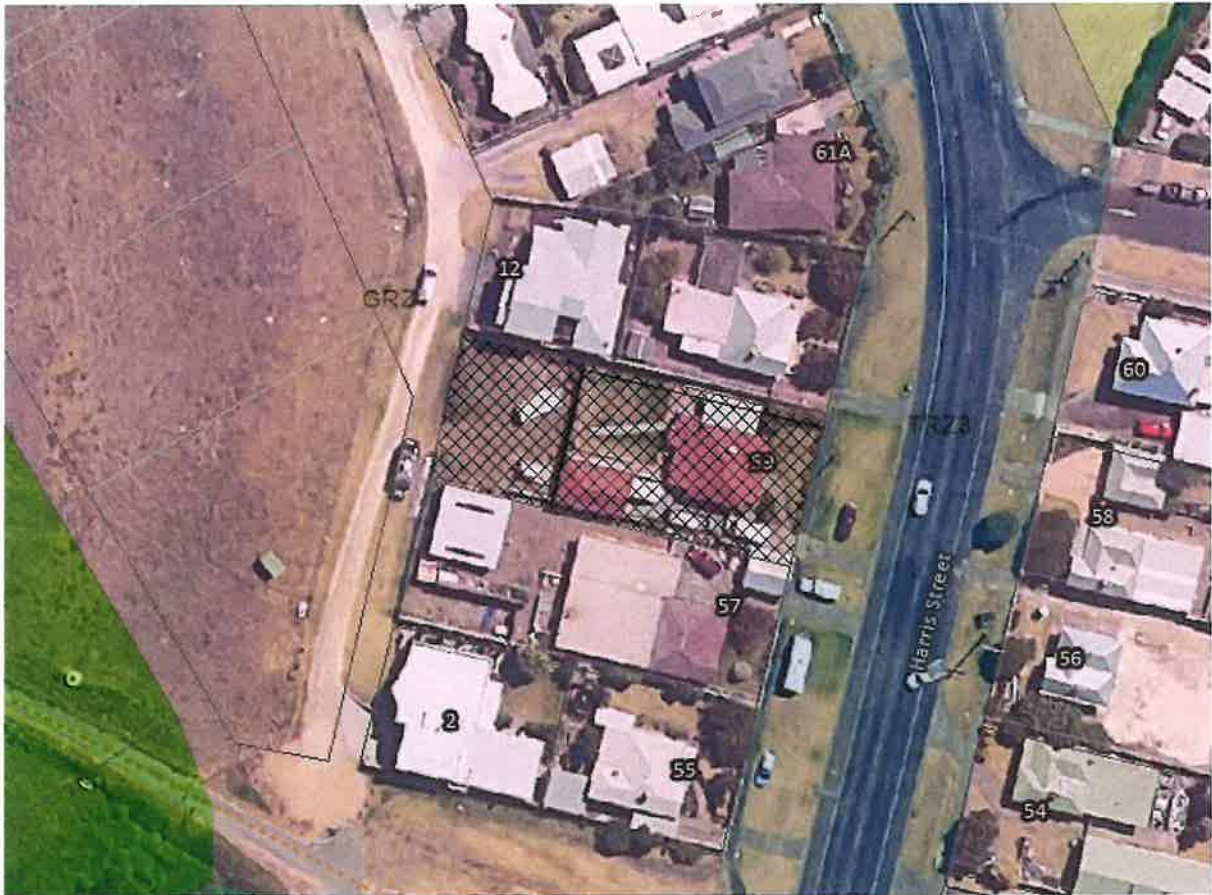


Figure 2: Aerial Photo of Subject Site

Land Use:

The subject site contains an existing residence, garage and miscellaneous paved areas and is in the General Residential Zone in Warrnambool. A fence has been erected in anticipation of the proposed subdivision.

Topography of Site:

The land surface across the site generally slopes to the South West at between 4% and 10% grade.

Existing Overlays:

The site is not subject to any planning overlays.

Proposed Development:

It is proposed to subdivide the site and enable construction of two new residences in the new lots at the rear of the site.

As per the planning scheme adopted by Warrnambool Council, the proposed development should retard stormwater to pre-development levels a 20% AEP and 1% AEP storm event and overflows from a 1% AEP storm must be able to pass through the site. Water quality should also be improved prior to discharge as per standard Water Sensitive Urban Design (WSUD) principles.

We propose that rainwater detention tanks shall be installed on the proposed residences, detaining all stormwater off the roof, and outflowing with a restricted outflow pipe. The outflows from the detention tanks shall drop into a filter pit, capturing surface flows from the rear yards also, and outflowing to the surface at the front of each lot.

All other catchments are hard pavements that discharge to the land surface and are buffered by the grassy lawns. Overflows shall have flow paths towards Maguire Place to prevent flooding.

For the purposes of this assessment, all three of the proposed lots shall be assessed together.

Percolation:

A percolation test was completed. The sites soils are dominated by silty sands or sandy loams, generally suitable to soak pits for stormwater management. A design standard percolation rate of 93.75mm/hr was measured during a site visit on 9th June 2026. However, preliminary designs showed it did not seem feasible to fit sufficiently sized soak pits on the proposed lots within the small lawn areas. As such the stormwater design went back to utilizing slimline detention tanks.

Adjusted Design Rainfall Intensity:

The Bureau of Meteorology (BOM) Intensity-Frequency-Duration (IFD) 2016 data can be adjusted as per the Australian Rainfall & Runoff (ARR) 2019 guidelines to adopt design rainfall rates suitable for current and future climates.

The recommended adjustment to the IFD data is by Equation 1.6.1:

$$I_p = I \times \left(1 + \frac{\alpha}{100}\right)^{\Delta T}$$

Where I_p is the projected design rainfall intensity, α is the adopted rate of change, and ΔT is the latest estimate for global temperature projection for the design period of interest.

For the purposes of this report, a 20% AEP storm of 5 minute duration has $I = 80.6\text{mm/hr}$ rainfall intensity, and $I_p = 95.2\text{mm/hr}$ to account for a current/near future warmer climate.

A 1% AEP storm of 5 minute duration has $I = 171\text{mm/hr}$ rainfall intensity, and $I_p = 202.1\text{mm/hr}$.

Pre-development Flow:

The pre-development Flowrate for the entire lot will be calculated using the Rational Method. The equation is given as follows;

$$Q_{\text{Predevelopment}} = \frac{CI_pA}{360}$$

Where:

C = Runoff Coefficient for an average recurrence interval of y years. For well-manicured grass the runoff coefficient is 0.25

I_p = Average rainfall intensity, in mm/hr for a 5minute duration storm of 20% or 1% Annual Exceedance Probability.

A = Effective site area in Ha, which is the actual land area multiplied by the runoff coefficient (0.25 for grass).

Pre-Development Areas	Area (m ²)	Area (Ha) (A/10,000)	C (coefficient of runoff per IDM Ver5.3 Section 16.7, Table 10)	Effective Areas (Ha) (A _{effective} = C x A)
Total Site Area	1011.38	0.101138	0.25	0.0252845
Ex. House	150.85	0.015085	1	0.015085
Ex. Shed	58.42	0.005842	1	0.005842
Driveway+Paths	220.06	0.022006	0.95	0.0209057
Container	15	0.0015	1	0.0015
Landscape	567.05	0.056705	0.25	0.01417625
Total A _{effective}				0.05750895

PREDEVELOPMENT FLOW - Total Site					
Rational Formula Q = A _{effective} /360	AEP %	A _{effective} (Ha)	I _p (mm/hr)	Q (m ³ /s)	Q (L/s)
	20%	0.05750895	95.2	0.01521	15.21
	1%	0.05750895	202.1	0.03228	32.28

Post development Flow:

Based on area analysis for the post development site the following effective areas have been determined;

Post Development Areas	Area (m ²)	Area (Ha) (A/10,000)	C (coefficient of runoff per IDM Ver5.3 Section 16.7, Table 10)	Effective Areas (Ha) (A _{effective} = C x A)
Total Site Area	1011.38	0.101138	0.25	0.0252845
Ex. House	150.85	0.015085	1	0.015085
Ex. Shed	58.42	0.005842	1	0.005842
Driveway+Paths	220.06	0.022006	0.95	0.0209057
Container	0	0	1	0
New House 1	123.46	0.012346	1	0.012346
New Paving	8.86	0.000886	0.95	0.0008417
New House 2	123.46	0.012346	1	0.012346
New Permeable Driveways	19.92	0.001992	0.25	0.000498
Landscape	326.27	0.032627	0.25	0.00815675
Total A _{effective}				0.07602115
A _{effective} (not retained)				0.05132915

The calculated Post Development flow for areas that shall not be managed by the proposed stormwater detention system is given as;

POST DEVELOPMENT					
Rational Formula $Q = A_{\text{effective}}I/360$	AEP %	$A_{\text{effective}}$ (Ha)	I (mm/hr)	Q (m ³ /s)	Q (L/s)
	20%	0.05132915	95.2	0.013580	13.580
	1%	0.051329	202.1	0.028810	28.810

Restricted Outflow:

Based on the newly calculated information the restricted outflow for the subject site is calculated as;

Total Restricted Pre-development Flow				
AEP %	Q_{pre} (m ³ /s)	Q_{post} (m ³ /s)	$Q_{\text{Restricted}}$ (m ³ /s)	$Q_{\text{Restricted}}$ (L/s)
20%	0.01521	0.013580	0.00163	1.635
1%	0.03228	0.028810	0.00347	3.469

This means that with the proposed stormwater detention volume in the 3000L tanks shall be limited to 1.635L/s maximum outflow.

Stormwater Detention Design:

By Calculating Boyd's Formula, the Maximum Volume of Temporary Storage can be determined.

Boyd's Formula is given by the following;

$$S_{\text{Max}} = V_1 \left(1 - \frac{Q_P}{I_P} \right)$$

Where:

S_{Max} = Maximum Volume of Temporary Storage (m³)

V_1 = Volume of inflow flood (m³).

Q_P = Peak discharge of outflow Hydrograph (m³/sec). This is given as 0.00163m³/sec from the maximum restricted outflow rate.

I_P = Peak discharge of inflow Hydrograph (m³/sec). The value is calculated using the Rational Method as given by;

$$Q_{\text{Inflow}} = \frac{C_y I_{tc,y} A}{360}$$

Storm Duration (min)	Rainfall Intensity (20% AEP)	I _p (ARR Adjusted)	Inflow I _p (m ³ /s)	Restricted Outflow Q _p (m ³ /s)	Inflow Volume V1 (m ³)	Max Volume of Temp Storage S _{max} (m ³)
5	80.6	95	0.0033	0.00163	0.980	0.489
10	59.4	70	0.0024	0.00163	1.444	0.463
15	47.8	56	0.0019	0.00163	1.743	0.272
20	40.4	48	0.0016	0.00163	1.965	0.003
25	35.2	42	0.0014	0.00163	2.140	-0.313
30	31.3	37	0.0013	0.00163	2.283	-0.660
45	24	28	0.0010	0.00163	2.626	-1.788
60	19.8	23	0.0008	0.00163	2.889	-2.997
Storm Duration (min)	Rainfall Intensity (1% AEP)	I _p (ARR Adjusted)	Inflow I _p (m ³ /s)	Restricted Outflow Q _p (m ³ /s)	Inflow Volume V1 (m ³)	Max Volume of Temp Storage S _{max} (m ³)
5	171	202	0.0069	0.00163	2.079	1.588
10	132	156	0.0053	0.00163	3.210	2.229
15	108	128	0.0044	0.00163	3.939	2.468
20	90.5	107	0.0037	0.00163	4.401	2.439
25	78.3	93	0.0032	0.00163	4.760	2.307
30	69.2	82	0.0028	0.00163	5.048	2.105
45	51.8	61	0.0021	0.00163	5.668	1.253
60	41.9	50	0.0017	0.00163	6.113	0.227
90	31.1	37	0.0013	0.00163	6.806	-2.023

The above calculations show that the 1% AEP storm event causes the volume of detained stormwater in the tanks to peak at 2468L during a 15-minute duration storm. We can therefore adopt 3000L of stormwater detention volume in our proposed water tanks, with a restricted outflow limited to 1.63L/s.

The calculation for finding the internal diameter of the restricted outflow pipe is a re-arrangement of the Bernoulli Free Jet equation:

$$Internal\ Diameter = \sqrt{\frac{4 * Q_{restricted}}{\pi}} * C_d * \sqrt{2 * g * \Delta z}$$

Where C_d = 0.61 for the roughness of PVC pipes, and Δz estimated as 1.645m for the height of water above the restricted outflow pipe, given by the size and shape of the proposed rainwater tanks. The required internal diameter of the restricted outflow pipe is therefore 24.5mm maximum, which can be achieved using an orifice plate in the outflow pipe with a 24.5mm diameter hole.

Overflows:

The maximum flows through the stormwater system for a 1% AEP storm are calculated as 13.868L/s for a 250m² roof catchment. Using Figure 5.4.11.2 from AS/NZS 3500.3:2018 we find that a DN150 PVC overflow pipe has sufficient capacity to pass outflows to and from the rainwater tanks.

The mainline pipes transferring water to the tanks and the overflow pipe out of the tanks shall all be DN150 to ensure that roof water from the proposed houses can pass through the site during a 1% AEP storm. The minimum hydraulic grade for all the pipes shall be 1 in 200.

Water Quality:

The stormwater treatment for the entire site were modelled using MUSICX 1.50.1 software by eWater. The model simulates annual rainfall inflows from the various catchments on the site, such as the roof water draining into the rainwater tanks, with overflows through a pollutant trap/filter pit. The below image shows the nodes and links used in the model:

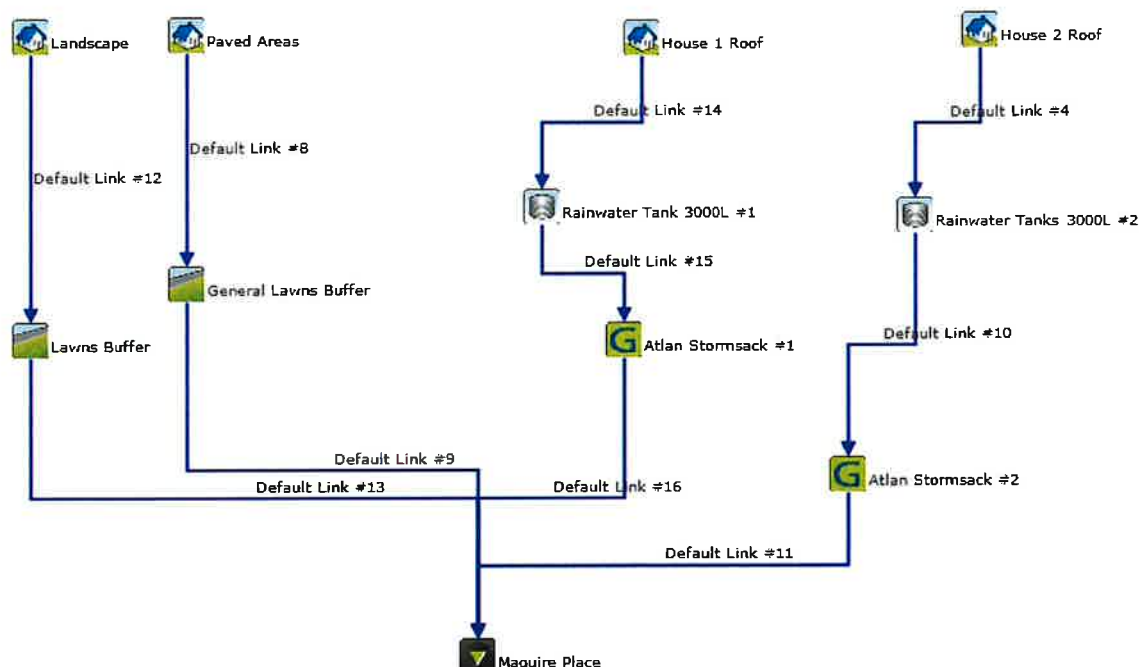


Figure 3: MUSICX Model Nodes and Links layout

All catchments for this site should be linked to some form of treatment to adequately filter out Total Suspended Solids and Gross Pollutants (Litter) before discharging to Maguire Place. The paved and landscape areas can be treated by buffer zones, which are simply lawn areas which provide infiltration and disposal of stormwater as well as filtration of suspended solids. The model assumes that at least 10% of the catchment area is provided as a lawn buffer zone.

Outflows from the stormwater detention tanks shall pass through filter pits before outflowing to Maguire Place. All other paved and land surface areas shall naturally drain surface water to grassy areas. The new driveways for the proposed residences shall use permeable materials.

The resulting water quality improvements from the treatment train are shown below:

Latest Run : Treatment Train Effectiveness : Maguire Place

	Sources	Residual Load	% Reduction
Flow (ML/yr)	0.2021	0.1691	16.34
Total Suspended Solids (kg/yr)	9.762	1.195	87.76
Total Phosphorus (kg/yr)	0.03443	0.01179	65.76
Total Nitrogen (kg/yr)	0.4419	0.2156	51.2
Gross Pollutants (kg/yr)	8.584	0	100

The generally accepted targets for water quality improvement are:

TSS: 80% reduction,

TP: 45% reduction,

TN: 45% reduction, and

GP: 70% reduction.

As can be seen from the results, the proposed system achieves all of the reduction targets.

Conclusion:

It is proposed that the site at 59 Harris Street, Warrnambool be subdivided and developed.

Stormwater generated by the whole site shall be managed and restricted to pre-development levels for 20% and 1% AEP Rainfall events.

The proposed residences shall each capture and retard stormwater in a 3000L slimline rainwater tanks. For each residence, we calculate the Maximum Volume of Temporary Storage for the roof catchments is 2468L. The restricted outflow rate for the stormwater detention volume was determined to be 1.63L/s and can be achieved using an outflow pipe with an orifice plate with a 24.5mm diameter hole.

Flows from a 1% AEP storm event can overflow via DN150 PVC pipes, discharging to the land surface and run out to Maguire Place via overland flow.

Treatment of the outflows on both lots can be suitably achieved with surface buffers and filter pits.

Appendix A: Warrnambool BOM Rainfall IFD Data:

IFD Design Rainfall Intensity (mm/h)

Issued: 09 June 2026

Rainfall intensity for Durations, Exceedance per Year (EY), and Annual Exceedance Probabilities (AEP).

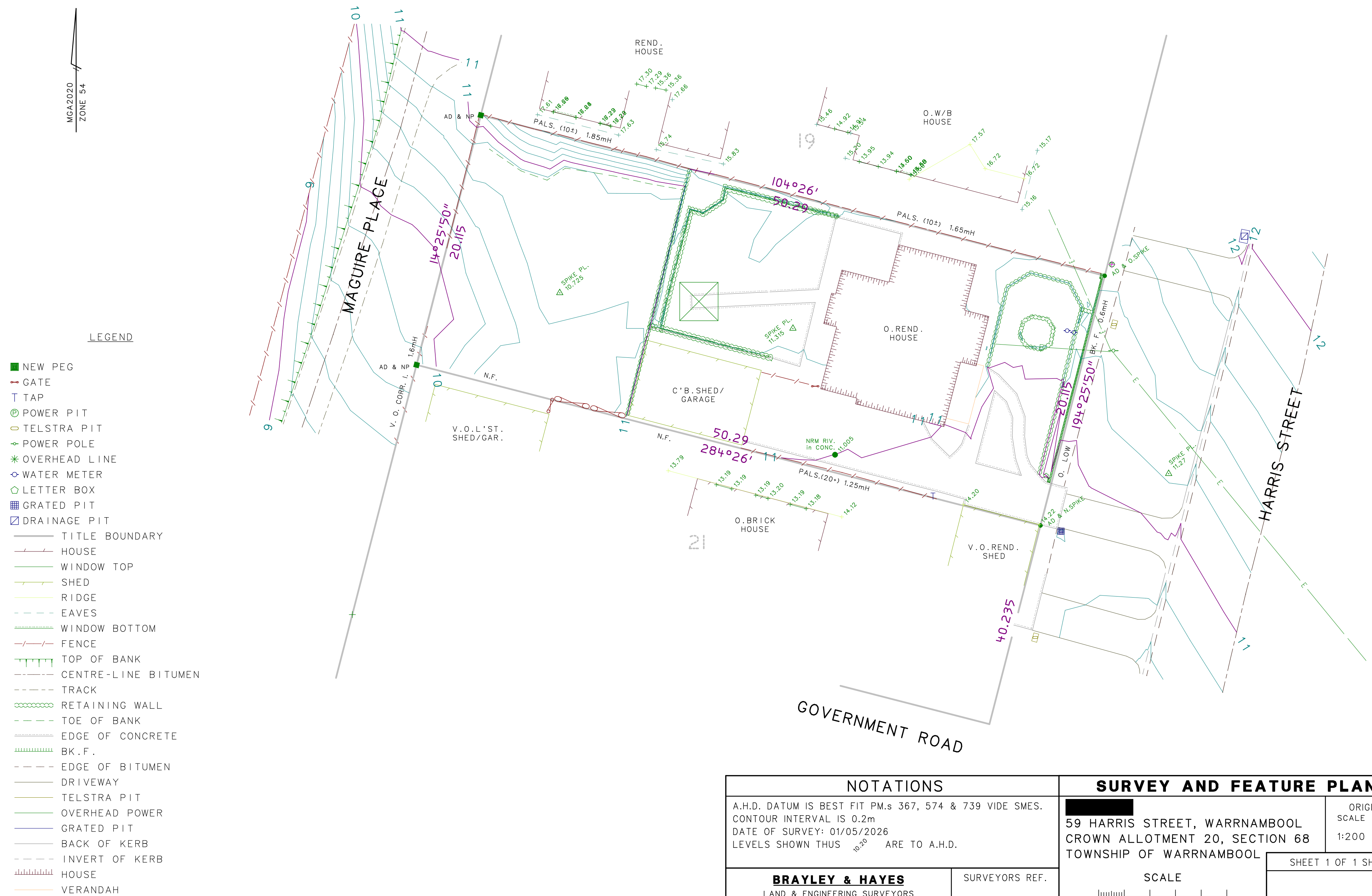
[FAQ for New ARR probability terminology](#)

Table

Chart

Unit: **mm/h** ▼

Duration	Annual Exceedance Probability (AEP)						
	63.2%	50%#	20%*	10%	5%	2%	1%
1 min	72.5	85.2	128	160	193	241	280
2 min	61.9	72.2	106	131	156	187	210
3 min	55.1	64.4	95.3	118	141	170	193
4 min	50.0	58.6	87.2	108	129	158	181
5 min	45.9	53.9	80.6	100	120	148	171
10 min	33.4	39.4	59.4	74.4	90.1	113	132
15 min	26.9	31.6	47.8	59.9	72.7	91.6	108
20 min	22.8	26.8	40.4	50.6	61.4	77.2	90.5
25 min	19.9	23.4	35.2	44.0	53.4	67.0	78.3
30 min	17.8	20.9	31.3	39.1	47.4	59.3	69.2
45 min	13.8	16.1	24.0	29.8	36.0	44.7	51.8
1 hour	11.4	13.3	19.8	24.5	29.5	36.3	41.9
1.5 hour	8.79	10.2	15.0	18.5	22.1	27.1	31.1
2 hour	7.29	8.46	12.3	15.2	18.1	22.1	25.3
3 hour	5.61	6.49	9.39	11.5	13.7	16.6	19.1
4.5 hour	4.32	4.98	7.17	8.75	10.4	12.7	14.6
6 hour	3.59	4.13	5.92	7.22	8.56	10.5	12.1
9 hour	2.76	3.17	4.53	5.52	6.56	8.10	9.41
12 hour	2.30	2.63	3.73	4.56	5.43	6.75	7.88
18 hour	1.76	2.00	2.83	3.46	4.15	5.19	6.10
24 hour	1.45	1.64	2.31	2.83	3.41	4.27	5.04
30 hour	1.25	1.41	1.97	2.41	2.91	3.65	4.31
36 hour	1.10	1.24	1.72	2.11	2.55	3.20	3.77
48 hour	0.906	1.01	1.39	1.70	2.06	2.57	3.02
72 hour	0.682	0.753	1.02	1.24	1.49	1.84	2.14
96 hour	0.558	0.612	0.813	0.981	1.17	1.43	1.65
120 hour	0.479	0.524	0.687	0.819	0.968	1.17	1.33



ADVERTISED

Two or More Dwellings on a Lot and Residential Buildings

Clause 55 Assessment

59 Harris Street, Warrnambool

Application Requirements	
Site Description	Provided overleaf. Please also refer to detailed town planning drawings and the town planning report.
Design Response	Provided overleaf. Please also refer to detailed town planning drawings and the town planning report.
A written statement outlining which standards are met and which are not met. If a standard is not met, the written statement must include an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines.	Summary of Standards provided below. Standards which are not met, include a written statement in the right-hand column on how the development meets the corresponding objective.

Summary of Standards	Neighbourhood Character	Liveability	External Amenity	Sustainability
Standards that are met, or not applicable	B2-1 B2-2 B2-3 B2-5 B2-6 B2-7	B3-2 B3-3 B3-4 B3-5 B3-8 B3-9 B3-10 B3-11	B4-1 B4-2 B4-3 B4-4 B4-5	B5-1 B5-3 B5-4 B5-5 B5-6
Standards that are not met – please refer to objective and decision guideline assessment	B2-4	B3-6 B3-7		
Not applicable	B2-8	B3-12 B3-1		B5-2 B5-7



Standard	Is standard fully met?
Clause 55.01-1 Site Description The neighbourhood and site description may use a site plan, photographs or other techniques and must accurately describe: - The built form, scale and character of surrounding development including front fencing - Site shape, size, orientation and easements - Levels of the site and the difference in levels between the site and surrounding properties - The location of existing buildings on the site and on surrounding properties, including the location and height of walls built to the boundary of the site - The use of surrounding buildings - The location of secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres - Solar access to the site and to surrounding properties - Location of existing trees 5 metres in height or greater, with a trunk circumference of 0.5 metres or greater at 1.4 metres above ground level, on the site - Any cut and filled areas of soil, where known - Street frontage features such as poles, services, street trees and kerb crossovers - The location of any existing domestic solar energy system on the roof of a dwelling, apartment development or residential building on surrounding properties. If in the opinion of the responsible authority a requirement of the site description is not relevant to the evaluation of an application, the responsible authority may waive or reduce the requirement.	Provided A site and context plan, feature and level survey (prepared by Brayley and Hayes), and photographic montage have been provided to support this description. The surrounding area is established and predominantly residential in nature, characterised by single-storey detached dwellings set within conventional suburban allotments. Built form typically comprises brick dwellings with pitched tiled roof forms reflective of post-war development patterns, although more contemporary architectural styles have begun to emerge in recent years. Front fencing within the street is generally low in scale or absent, contributing to an open and consistent streetscape character. To the west, the land interfaces with the Merri River environs (Crown land), which provides a significant landscape buffer and visual relief from built form and contributes positively to the amenity of the area. The subject land is rectangular in shape with an area of approximately 1,012 square metres, a frontage of approximately 20.12 metres to Harris Street, and a depth of approximately 50.18 metres, resulting in an overall east-west orientation. The land currently contains an existing detached dwelling located toward the eastern portion of the site with a front setback of approximately 6.8 metres. A double garage is located to the rear of the dwelling and is accessed via a driveway along the southern side boundary. An internal fence divides the site into two portions, with the rear section (fronting Maguire Place) currently vacant and historically used for informal storage purposes. The site has a gentle fall from north to south. The northern and eastern boundaries incorporate small retaining walls, which assist in managing level changes between the subject land and adjoining properties. Detailed levels are shown on the feature and level survey prepared by Brayley and Hayes. There is no evidence of significant cut or fill across the site beyond minor level changes managed through these retaining walls. Adjoining development comprises detached dwellings. There are existing walls constructed on or near boundaries, including a garage associated with 59 Harris Street and an outbuilding associated with 57 Harris Street. These built-to-boundary elements influence the immediate interface conditions along the side boundaries. Surrounding land is used exclusively for residential purposes, with no non-residential uses in the immediate vicinity. Surrounding properties contain conventional secluded private open space areas and habitable room windows oriented toward side and rear boundaries, which have an outlook toward the subject site within typical suburban interface distances. The site's orientation and relatively open setting, particularly due to the absence of significant vegetation and the presence of the Merri River corridor to the west, provide good solar access to the site. Solar access to adjoining properties is typical of suburban conditions and is not constrained by unusual built form or topography. No existing domestic solar energy systems have been identified on the subject land or adjoining properties that would be affected by the proposal. The site contains minimal vegetation, comprising primarily grassed areas and scattered shrubs within the front setback and along the driveway. No trees exceeding 5 metres in height with a trunk circumference greater than 0.5 metres (measured at 1.4 metres above ground level) are present on the site or within proximity that would be impacted by the proposal. Harris Street is a local residential street functioning as a north-south connector between Merrivale Drive and South Warrnambool. A footpath is provided along the eastern side of the street, with no footpath on the western side adjoining the subject site. The street contains typical residential infrastructure including kerb and channel, vehicle crossovers, and standard utility services, with no unusual constraints identified.

Clause 55.01-2 Design response	Provided
The design response must explain how the proposed design derives from and responds to the site description. The design response must include correctly proportioned street elevations or photographs showing the development in the context of adjacent buildings. The design response must include a landscape plan that details the proposed: - Retention and planting of canopy trees, - Planting of other vegetation including location, species, number and size at maturity of vegetation, - Where required, areas of deep soil and root barriers, - Irrigation system to support existing and planted vegetation including details of any alternative water supply sources, - Selection of vegetation that responds to the site's environment and geographic factors, - A plan showing the location of site services, clothes drying and storage If in the opinion of the responsible authority a design response requirement is not relevant to the evaluation of an application, it may waive or reduce the requirement.	The design response has been directly informed by the physical and strategic context of the site, as outlined in the site and neighbourhood description, and is supported by detailed architectural drawings prepared by MPAA Studio, a streetscape elevation, and a landscape concept plan. The proposal comprises two double-storey townhouses to the rear of the existing dwelling, each presenting an individual façade and identity to the street. This approach reflects the evolving character of the area, where traditional detached dwellings are increasingly complemented by more contemporary built form outcomes. The scale and form of the development respond to the established residential setting, while also aligning with strategic policy directions that support incremental infill development and increased housing diversity within Inner Warrnambool. The siting of the dwellings has been carefully derived from the site's physical characteristics. The relatively large and regular lot configuration enables an efficient layout that maintains the existing dwelling to Harris Street while introducing additional dwellings with frontage to Maguire Place. This dual frontage condition has been leveraged to ensure that each dwelling has a clear address and functional access, consistent with orderly planning outcomes. The design responds to the site's topography, which falls from north to south, by locating built form and boundary treatments in a manner that minimises additional earthworks and utilises existing retaining conditions. In particular, the northern boundary interface has been used efficiently through built-to-boundary elements, which both respond to the established pattern of boundary walls in the locality and assist in managing level differences across the site. The proposal also responds to the surrounding built form and open space context. The presence of the Merri River corridor to the west provides a high level of visual amenity and reduced built form sensitivity in that direction. This allows the development to adopt a more compact and efficient built form without resulting in adverse amenity outcomes, consistent with contemporary infill development practices in locations adjoining significant open space assets. Appropriate consideration has been given to solar access and internal amenity. The orientation of the site and the spacing of built form allow for reasonable solar access to habitable rooms and private open space areas. Opportunities for windows to both eastern and western elevations further enhance internal amenity while remaining capable of managing overlooking through detailed design responses. A streetscape elevation has been prepared and demonstrates that the scale, height and presentation of the proposed dwellings are compatible with the adjoining development. The development remains within the preferred height limits and integrates appropriately within the existing neighbourhood context. The landscape response supports the overall design outcome and demonstrates that the site is capable of achieving a suitable landscaped setting. Existing vegetation of value is retained where appropriate, with supplementary planting proposed to enhance canopy cover and soften built form. The landscape plan nominates suitable species, including native planting that responds to the local environment and the proximity of the Merri River corridor. Adequate space is available across the site to support planting, including opportunities for canopy trees and deep soil areas. The plan also demonstrates that the development can accommodate functional elements such as clothes drying areas, storage and site services without compromising amenity or landscape outcomes. Given the scale of the development, formal irrigation systems are not considered necessary, with planting capable of being sustained through conventional residential water supply.

Requirement	Is standard fully met?
Clause 55.02 Neighbourhood Character	
Clause 55.02-1 Street setback objectives To ensure that the setbacks of buildings from a street respond to the existing or preferred neighbourhood character and make efficient use of the site. Standard B2-1 Walls of buildings are set back from streets: - At least the distance specified in a schedule to the zone if the distance specified in the schedule is less than the distance specified in Table B2-1; or - If no distance is specified in a schedule to the zone, the distance specified in Table B2-1. Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setback of this standard.	Yes, standard is met. Existing dwelling Complies. Existing condition. No change. Proposed dwellings The dwellings face Maguire Place and are not constructed forward of existing structures that set the setback character for this street. The street setback is consistent with, and appropriate to the Maquire Place context, due to the outlook to the Merri River environs and its sense of spaciousness, where development is only on one side of the street.
Clause 55.02-2 Building Height Objective To ensure that the height of buildings respond to the existing or preferred neighbourhood character. Standard B2-2 The maximum building height does not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land. If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height does not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height does not exceed 10 metres.	Yes, standard is met. Existing dwelling Complies. Existing condition. No change. Proposed dwellings The development is two storey, and less than 11 metres and 3-storeys, allowable under the GRZ. The new dwelling has an approximate overall height of 6.9 metres.
Clause 55.02-3 Side and rear setback objective To ensure that the height and setback of a building from a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings or small second dwellings. Standard B2-3 A new building not on or within 200mm of a boundary is set back from side or rear boundaries in accordance with either B2-3.1 or B2-3.2. Standard B2-3 is met if the building is setback in accordance with either B2-3.1 or B2-3.2, rather than needing to comply with both of these provisions: B2-3.1: The building is setback at least 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. Sunblinds, verandahs, porches, eaves, facias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the side and rear setbacks. Landings that have an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the side and rear setbacks.	Yes, standard is met. Existing dwelling Complies. Existing condition. No real change. Proposed dwellings N/A – there are no side/rear setbacks relevant for assessment for the new dwellings as they include walls on boundaries to both the north and south – refer to B2-4 below.
Clause 55.02-4 Walls on boundaries objective Standard B2-4 A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot does not abut the boundary for a length that exceeds the greater of the following distances: 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or	Variation required Existing dwelling Complies. Existing condition. No change. Proposed dwellings Each new dwelling nominates a garage and bedroom that contains a wall on boundary. This will be for a length of 13.36 metres.

Requirement	Is standard fully met?
- The length of existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot. A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary. A building on a boundary includes a building set back up to 200mm from a boundary. The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary does not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.	The new boundary to be created for each townhouse, is approximately 16.8 metres in length, meaning that there would be a 11.7 metre calculation for the maximum length to achieve the standard. If this were the case the exceedance is 1.6 metres. The context is acceptable because there is an existing wall for the southern dwelling that already takes up a large portion of this dimension, and to the north, whilst setback, the double storey dwelling is quite sheer, and the wall on boundary here would not cause detriment to character.
Clause 55.02-5 Site coverage objective To ensure that the site coverage responds to the existing or preferred neighbourhood character and responds to the features of the site. Standard B2-5 The site area covered by buildings does not exceed: - The maximum site coverage specified in a schedule to the zone; or - If no maximum site coverage is specified in a schedule to the zone, the percentage specified in Table B2-5. If the maximum site coverage is specified in a schedule to a zone, it must be greater than the percentage specified in Table B2-5. Decision guidelines - Any relevant neighbourhood character objective, policy or statement set out in this scheme. - The design response. - The existing site coverage and any constraints imposed by existing development or the features of the site. - The site coverage of adjacent properties. - The effect of the visual bulk of the building and whether this is acceptable in the neighbourhood. - Whether a different area of site coverage affects the ability to retain or plant canopy trees.	Yes, standard is met. Site coverage is approximately 46 per cent overall across the property.
Clause 55.02-6 Access objective To ensure the number and design of vehicle crossovers responds to the neighbourhood character. Standard B2-6 The width of accessways or car spaces (other than to a rear lane) does not exceed: - 33 per cent of the street frontage; or - 40 per cent of the street frontage if the width of the street frontage is less than 20 metres. The number of access points to a road in a Transport Zone 2 or a Transport Zone 3 is not increased. The location of a vehicle crossover or accessway does not encroach the tree protection zone of an existing tree, that is proposed to be retained in a road by more than 10 per cent.	Yes, standard is met. The existing crossover is to be retained for the existing dwelling. Each new dwelling will be provided with a single crossover (approx. 3.3 metres), commensurate with a single garage. The width of the site is 20.11 metres. A total of 6.6 metres which equates to 33 per cent.
Clause 55.02-7 Tree canopy objectives To provide tree canopy that responds to the neighbourhood character of the area and reduces the visual impact of buildings on the streetscape. To preserve existing canopy cover and support the provision of new canopy cover.	Standard met <u>PROPOSED TREES</u> TYPE A (x2) = 25.2sqm TYPE B (x4) 201.2sqm Due to location of Type B trees, and upon maturity there is a chance that the canopy may partially overlap. To take this into account now

Requirement	Is standard fully met?
To ensure new canopy trees are climate responsive, support biodiversity, wellbeing and amenity, and help reduce urban heat. Standard B2-7 Provide a minimum canopy cover as specified in Table B2-7.1. Decision guidelines - Any relevant neighbourhood character objective, policy or statement set out in this scheme. - The site context and design response. - The extent to which the existing and proposed canopy trees contribute to a greener environment and reduce urban heat. - Whether the growth characteristics of existing trees and proposed canopy trees will provide the required canopy cover. - The suitability of the planting location, deep soil areas and planter soil volume for proposed canopy trees. - Whether the species of canopy tree is suited to the soil conditions of the site.	we have discounted this from the total canopy area as required. Where there is an allowance for up to 10sqm of overlap for each set of Type B trees. Meaning that the total expected canopy area is reduced from 226 down to 206sqm, still exceeding the 202sqm required to achieve 20% of the site (1,011sqm). TOTAL CANOPY COVER 206 sqm (20.3%)
Clause 55.02-8 Front fences objective	Not Applicable: No change to existing fencing. No new front fencing proposed.

Clause 55.03 Liveability	
Clause 55.03-1 Dwelling diversity objective	Not applicable.
Clause 55.03-2 Parking location objectives To minimise the impact of vehicular noise within developments on residents. Standard B3-2 Habitable room windows with sill heights of less than 3 metres above ground level are setback from accessways and car parks by at least: - 1.5 metres; or - If there is a solid fence with a height of at least 1.5 metres between the accessway or car park and the window, 1 metre; or - 1 metre where windowsills are at least 1.5 metres above ground level. This standard is met if an accessway or relevant car parking space is used exclusively by the resident of the building with the habitable room.	Yes, standard is met. Each dwelling will provide its own accessway, which do not go near habitable room windows of other dwellings.
Clause 55.03-3 Street integration objective To integrate the layout of development with the street to support the safety and amenity of residents. Standard B3-3 Where a development fronts a street, a vehicle accessway or abuts public open space: - Passive surveillance is provided by a direct view from a balcony or a habitable room window to each street, vehicle accessway and public open space - The total cumulative width of all site services to be located within 3 metres of a street, do not take up more than 20 per cent of the width of the frontage and are screened from view from the street or located behind a fence. Screens or fences are to provide no more than 25 per cent transparency. Lighting is provided to all external accessways and paths. Mailboxes are provided for each dwelling and can be communally located.	Existing dwelling Existing condition. No change. Proposed dwellings Yes, standard is met. Each new dwelling faces Maguire Place. Each dwelling comprises habitable room windows that face the street. As the development is only for two dwellings, large amounts of servicing will not be required. It is anticipated that water metres and the like will be relatively small and not take up more than 20 percent of the frontage. Security/sensor lighting is noted on the plan above each new garage which is logical. Mailbox locations are shown for both dwellings.
Clause 55.03-4 Entry objectives To provide each dwelling, apartment development or residential building with its own sense of identity.	Existing dwelling Existing condition. No change. Proposed dwellings

Requirement	Is standard fully met?
To provide entries with weather protection, safe design, natural light and ventilation. Standard B3-4 Dwellings (other than a dwelling in or forming part of an apartment development) and residential buildings Each dwelling and each residential building has a ground level entry door that: - Has a direct line of sight from a street, accessway or shared walkway - Is not accessed through a garage - Has an external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door.	Standard is met The dwelling entry has a direct line of sight from the accessway and is not through a garage. Each dwelling provides for a small portico area which will assist with providing a safe entry with a small amount of weather protection as required. Maguire Place is a public road. There are other dwellings that front onto Maguire Place.
Clause 55.03-5 Private open space objectives To provide adequate private open space for the reasonable recreation and service needs of residents. Standard B3-5 A dwelling or residential building has private open space of an area and dimensions specified in a schedule to the zone. If no area or dimension is specified in a schedule to the zone, a dwelling or residential building has private open space with direct access from a living area, dining area or kitchen consisting of: - An area of 25 square metres of secluded private open space, with a minimum dimension of 3 metres width; or - A balcony with at least the area and dimensions specified in Table B3-5; or - An area on a podium or similar of at least 15 square metres, with a minimum dimension of 3 metres width; or - An area on a roof of at least 10 square metres, with a minimum dimension of 2 metres width.. If the area and dimensions of the private open space or secluded private open space is specified in a schedule to the zone; - The area and dimensions specified in the schedule must be 25 square metres or less; and - The area and dimensions specified for a podium, balcony or an area on a roof must be less than the area and dimensions specified in this standard. If a cooling or heating unit is located in the secluded private open space or private open space the required area is increased by 1.5 square metres. Where ground level private open space is provided for an area for clothes drying is provided.	Standard is met Existing dwelling The existing dwelling still affords its rear yard to its west. These areas total approximately 142 square metres, exceeding the minimum dimension of 3x3m and well exceeding the requirement under the standard. Standard is met Proposed dwellings Each new dwelling provides for an area of SPOS with access from a living room. It is located on the eastern side of the dwellings and has minimum dimensions of 3x3m and measures approximately 25.6 square metres.
Clause 55.03-6 Solar access to open space objective To allow solar access into the secluded private open space of new dwellings and residential buildings. Standard B3-6 The southern boundary of secluded private open space is set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.	Variation required Existing dwelling Existing conditions apply to rear yard, and is not worsened on account of this proposal. Proposed dwellings There is a single storey portion of the neighbouring dwelling to the north that is located approximately. The southern boundary of the SPOS for the proposed dwelling complies as it is approximately 12 metres away. Townhouse 1 features SPOS to the south of a northern wall. Southern boundary of SPOS is 4.87m away from the northern wall. The northern wall height is 3.0m.

Requirement	Is standard fully met?
	(2+0.9x3) = 4.7m
Clause 55.03-7 Functional layout objective To ensure dwellings provide functional areas that meet the needs of residents. Standard B3-7 Bedrooms: – Meet the minimum internal room dimensions specified in Table B3-7.1; and – Provide an additional area of at least 0.8 square metres to accommodate a wardrobe Living areas (excluding dining and kitchen areas) meet the minimum internal room dimensions specified in Table B3-7.2.	Variation required Existing dwelling Existing condition. No change. Proposed dwellings Bedrooms and living areas meet the minimum dimension and areas. Plans are to scale and fully dimensioned. <u>Bedrooms</u> Bedroom 1 – 3.6 x 3m Bedroom 2 – 3.6 x 3.3m Bedroom 3 - 3.3 x 3m Robes to each bedroom exceed 0.8sqm in area due to depth of 600mm and their width. <u>Living</u> Main living area total is 12.92sqm however minimum dimension on one side is 3.4m in lieu of 3.6m sought under the standard. The other dimension, at 3.8m helps get the total area to a sizeable space that can still provide for good amenity. This doesn't include the window seat area or the living area which can sometimes visually bleed into the kitchen and dining spaces. On balance the variation can be seen as acceptable.
Clause 55.03-8 Room depth objective To allow adequate daylight into single aspect habitable rooms. Standard B3-8 The depth of a single aspect habitable room does not exceed 2.5 times the ceiling height measured from the external surface of the habitable room window to the rear wall of the room. The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met: – The room combines the living area, dining area and kitchen; and – The kitchen is located furthest from the window; and – The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level, this excludes where services are provided above the kitchen; and – An overhang extends no more than 2m beyond the window of the single aspect habitable room.	Yes, standard is met. Existing dwelling Existing condition. No change. Proposed dwellings Kitchen, meals and living areas are generally open plan with multi-aspect windows. Bedrooms are single aspect but are shallow enough in depth to meet this standard.

Requirement	Is standard fully met?
In Clause 55.03-8 a single aspect habitable room is a habitable room with windows on only one wall.	
Clause 55.03-9 Daylight to new windows objective To allow adequate daylight into new habitable room windows. Standard B3-9 Dwelling (other than a dwelling in or forming part of an apartment development) A window in an external wall of the building is provided to all habitable rooms. Habitable rooms in a dwelling have a window that faces: – An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or – A verandah provided it is open for at least one third of its perimeter; or – A carport provided it has two or more open sides and is open for at least one third of its perimeter.	Yes, standard is met. Existing dwelling Existing condition. No change. Proposed dwellings Habitable rooms are provided with windows, and all windows are provided with appropriate daylight in accordance with the standard. There is 1-metre clear to the sky to all windows.
Clause 55.03-10 Natural ventilation objectives To encourage natural ventilation of dwellings. To allow occupants to effectively manage natural ventilation of dwellings. Standard B3-10 Dwelling (other than a dwelling in or forming part of an apartment development) Dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide: – A maximum breeze path through the dwelling of 18 metres – A minimum breeze path through the dwelling of 5 metres – Ventilation openings with approximately the same size. The breeze path is measured between the ventilation openings on different orientations of the dwelling.	Yes, standard is met. Existing dwelling Existing condition. No change. Proposed dwellings A breeze path is provided with a minimum distance of about 9.7 and 10.5 metres respectively between openable door and windows on different orientations of the dwelling at both ground and upper floor.
Clause 55.03-11 Storage objective To provide adequate storage facilities for each dwelling. Standard B3-11 Dwelling (other than a dwelling in or forming part of an apartment development) Each dwelling has exclusive access to at least 6 cubic metres of externally accessible storage space.	Yes, standard is met. Existing dwelling Existing condition. No change Proposed dwellings Storage is provided for the new dwelling within the rear portion of the garage as a storage area.
Clause 55.03-12 Accessibility for apartment development objective	Not applicable.
Clause 55.04 External Amenity	
Clause 55.04-1 Daylight to existing windows objective To allow adequate daylight into existing habitable room windows. Standard B4-1 Buildings opposite an existing habitable room window provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot. Walls or carports more than 3 metres in height opposite an existing habitable room window are set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing	Yes, standard is met. Existing dwelling Existing condition. No change. The new dwelling is located away from the existing dwelling and therefore existing habitable windows are not impacted. Proposed dwellings Appropriate daylight in accordance with the standard is provided to nearby windows, mainly the dwelling to the north.

Requirement	Is standard fully met?
window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window. Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.	
Clause 55.04-2 Existing north-facing windows objective	Not applicable
Clause 55.04-3 Overshadowing secluded open space objective To ensure buildings do not significantly overshadow existing secluded private open space. Standard B4-3 The area of secluded private open space that is not overshadowed by the new development is greater than: – 50 per cent, or – 25 square metres with a minimum dimension of 3 metres, whichever is the lesser area, for a minimum of five hours between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling or small second dwelling is less than the requirements of this standard, the amount of sunlight will not be further reduced.	Yes, standard is met. Existing dwelling Existing condition. No change. Proposed dwellings As shown on the Town Planning Drawings, by noon, the shadows cast by the proposed dwelling do not pose an unreasonable impact to any other property/dwelling window or SPOS.
Clause 55.04-4 Overlooking objective To limit views into existing secluded private open space and habitable room windows. Standard B4-4 In Clause 55.04-4 a habitable room does not include a bedroom. A habitable room window, balcony, podium, terrace, deck or patio is located and designed to avoid direct views into the secluded private open space of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views are measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level. A habitable room window, balcony, terrace, deck or patio that is located with a direct view into a habitable room window of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio: – Is offset a minimum of 1.5 metres from the edge of one window to the edge of the other; or – Has sill heights of at least 1.7 metres above floor level; or – Has fixed, obscure glazing in any part of the window below 1.7 metre above floor level; or – Has permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent; or – Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins. Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard. Screens used to obscure a view are: – Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels – Permanent, fixed and durable – Designed and coloured to blend in with the development. This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.	Yes, standard is met. Existing dwelling Existing condition. No change to adjoining dwellings/SPOS off-site from this dwelling. Proposed dwellings No direct overlooking occurs as a result of the proposal. There are no habitable room windows that face nearby dwellings. Ground floor windows looking out will be obscured by fencing. Upper floor rooms are bedrooms.

Requirement	Is standard fully met?
Clause 55.04-5 Internal views objective To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development. Standard B4-5 In Clause 55.04-5 a habitable room does not include a bedroom. Within the development, a habitable room window, balcony, terrace, deck or patio that is located with a direct view into the secluded private open space of another dwelling: – Is offset a minimum of 1.5 metres from the edge of the secluded private open space; or – Has a sill height of at least 1.7 metres above floor level; or – Has a fixed, visually obscure balustrade to at least 1.7 metre above floor level; or – Has permanently fixed external screens to at least 1.7 metres above floor level; or – Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins. Direct views are measured at a height of 1.7 metres above floor level and within: – A 45 degree horizontal angle from the edge of the new window or balcony – A 45 degree angle in the downward direction. Screens provided for overlooking are no more than 25 per cent transparent. Screens may be openable provided that this does not allow direct views as specified in this standard.	Yes, standard is met. No internal views occurs as a result of the proposal. The fencing proposed between the two dwellings is intended to be a 1.8m high paling fence.
Clause 55.05 Sustainability	
Clause 55.05-1 Permeability and stormwater management objective To reduce the impact of increased stormwater run-off on the drainage system and downstream waterways. To facilitate on-site stormwater infiltration. To encourage stormwater management that maximises the retention and reuse of stormwater. To contribute to urban cooling. Standard B5-1 The site area covered by the pervious surfaces is at least 20 percent of the site. The development includes a stormwater management system designed to: – Meet the best practice quantitative performance objectives for stormwater quality specified in the Urban stormwater management guidance (EPA Publication 1739.1, 2021) of: – Suspended solids 80% reduction in mean annual load – Total phosphorus and Total Nitrogen 45% reduction in mean annual load – Litter 70% reduction of mean annual load Note: A certificate generated from a stormwater assessment tool including Stormwater Treatment Objective - Relative Measurement (STORM), Model for Urban Stormwater Improvement Conceptualisation (MUSIC) or an equivalent product accepted by the responsible authority may be used to demonstrate the performance objectives for stormwater quality are met. – Direct flows of stormwater into treatment areas, garden areas, tree pits and permeable surfaces, with drainage of residual flows to the legal point of discharge. Decision guidelines	Yes, standard is met. Existing dwelling No change to existing dwelling roof or LPOD arrangement. Proposed dwellings Permeability of the site exceeds 20 per cent. A stormwater management plan has been provided which indicates how, functionally, the development is able to achieve an adequate stormwater system that meets best practice.

Requirement	Is standard fully met?
- The design response. - The capacity of the site to incorporate stormwater retention and reuse. - The existing site coverage and any constraints imposed by existing development. - The capacity of the drainage network to accommodate additional stormwater.	
Clause 55.05-2 Overshadowing domestic solar energy systems objective	Not applicable
Clause 55.05-3 Rooftop solar energy generation area objective (This objective does not apply to an apartment development or residential building). To support the future installation of appropriately sited rooftop solar energy systems for a dwelling. Standard B5-3 In Clause 55.05-3 rooftop solar energy area means an area provided on the roof of a dwelling to enable the future installation of a solar energy system. An area on the roof is capable of siting a rooftop solar energy area for each dwelling which: - Has a minimum dimension of 1.7 metres - Has a minimum area in accordance with Table B5-3 - Is oriented to the north, west or east - Is positioned on the top two thirds of a pitched roof. - Can be a contiguous area or multiple smaller areas - Is free of obstructions on the roof of the dwelling within twice the height of each obstruction (H), measured horizontally (D) from the centre point of the base of the obstruction to the nearest point of the rooftop solar energy area. Obstructions located south of all points of the rooftop solar energy area are not subject to the horizontal distance requirements.	Yes, standard is met. Existing dwelling Existing conditions no change. Proposed dwellings Refer as shown on the Town Planning Drawings, an area on the roof where possible for solar panels. This is acceptable and the roof design, particular for the southern townhouse has been angled to the east, which avoids the situation where this townhouse may have had a fully south facing roof.
Clause 55.05-4 Solar protection to new north-facing windows objective To encourage external shading of north facing windows to minimise summer heat gain. Standard B5-4 North facing windows are shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.25 times the window height. Decision Guidelines - The design response. - The size and orientation of the lot. - The type and useability of external solar shading devices, including alternative design responses.	Yes, standard is met. Existing dwelling Existing condition. No change Proposed dwellings Ground floor Bedroom 3 for Townhouse 2 is shaded by the roof. At the upper floor, the roof provides some shading for north facing windows; however it is noted that it is only a toilet window as well as the corner of the façade window at the study nook.
Clause 55.05-5 Waste and recycling objectives To ensure dwellings are designed to facilitate waste recycling. To ensure that waste and recycling facilities are accessible and are of sufficient size to manage organic and general waste, and mixed and glass recycling. To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity. Standard B5-5 Dwelling (other than a dwelling in or forming part of an apartment development)	Yes, standard is met. Existing dwelling Bin storage area is shown on the southern side of the dwelling and reflects existing conditions. Proposed dwellings Bin storage is nominated for the new dwellings within oversize garage areas.

Requirement	Is standard fully met?
The development includes an individual bin storage area for each dwelling, or a shared bin storage area for use by each dwelling, of at least the applicable area, depth and height specified in Table B5-5.1.	
Clause 55.05-6 Noise impacts objective To minimise the impact of mechanical plant noise located in the development. Standard B5-6 Mechanical plant, including mechanical car storage and lift facilities are not located immediately adjacent to bedrooms of new or existing dwellings or small second dwellings, unless a solid barrier is in place to provide a line of sight barrier to transmission of noise and the location of all relevant bedrooms. Decision guideline – The design response. – Whether the impact of potential noise sources within a development have been mitigated through design, location and siting. – Whether an alternative design meets the relevant objectives having regard to the amenity of the dwelling or small second dwelling and the site context.	Yes, standard is met. Existing dwelling Existing condition. No change Proposed dwellings No noisy equipment is located near bedrooms.
Clause 55.05-7 Energy efficiency for apartment development objectives	Not applicable

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Clause 56 - Residential subdivision

Clause 56 includes objectives and standards to encourage residential subdivision that:

- Creates liveable and sustainable neighbourhoods and urban places with character and identity.
- Achieves residential subdivision outcomes that appropriately respond to the site and its context for:
- Infill sites within established residential areas.
- Regional cities and towns.
- To ensure residential subdivision design appropriately provides for: Policy implementation, liveable and sustainable communities, residential lot design, urban landscape, access and mobility management, integrated water management, site management, utilities.

The following table provides an assessment against the relevant standards. Where the standard is met, the requirements of the objective are considered to be met.

Requirement	Response
Subdivision site and context description	Refer to town planning report
	The proposed 3-lot subdivision has been designed to respond directly to the built form outcome proposed on the site. The subdivision pattern reflects the party wall alignment between the two new townhouses on Lots 2 and 3, and the established curtilage of the existing dwelling on Lot 1. In this way, the lot boundaries are not arbitrary but are derived from and consistent with the physical development of the land, ensuring each allotment has a clear and logical relationship to its associated dwelling. The subdivision is to be carried out in two stages in order to not tie the release of the front house title to the development of the dwellings to the rear. Stage 1 creates a house lot of 673 square metres retaining the existing dwelling and a balance lot of 336 square metres fronting Maguire Place, allowing a title to be released early to assist in funding the construction of the townhouses. Stage 2 divides the balance lot equally to create Lots 2 and 3, each of 168 square metres, with Statement of Compliance anticipated to be tied to construction of the dwellings or secured by way of a Section 173 Agreement. This staged approach is considered appropriate and practical given the site configuration and funding requirements of the development. Each lot has been designed with a clear street address. Lot 1 retains its existing frontage to Harris Street, while Lots 2 and 3 front directly onto Maguire Place, ensuring each allotment has a defined and functional relationship to the public realm. Vehicle access for each townhouse is provided directly from Maguire Place via an individual single garage. The lots are regular in shape and of sufficient dimensions to accommodate the proposed dwellings with appropriate siting and amenity outcomes. Services including reticulated water, sewerage and electricity are available to the land and capable of being provided to each lot. Stormwater management has been addressed through a Stormwater Management Plan prepared by Holmes McLeod, and connections to the reticulated drainage network are available. The subdivision does not introduce any shared or common property, simplifying future ownership arrangements.
Subdivision design response	

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Requirement	Response
	The proposal does not require the creation of any easements for access, and there are no existing easements or covenants on the land that would be adversely affected by the subdivision. The subdivision pattern is consistent with the surrounding residential fabric and the established lot pattern along both Harris Street and Maguire Place, where a mix of allotment sizes and configurations is present. Overall, the proposed subdivision represents a logical, site-responsive outcome that satisfies the relevant objectives of Clause 56.
Clause 56.04-1 Lot diversity and distribution (Standard C7) A subdivision should implement any relevant housing strategy, plan or policy for the area set out in this scheme. Lot sizes and mix should achieve the average net residential density specified in any zone or overlay that applies to the land or in any relevant policy for the area set out in this scheme. A range and mix of lot sizes should be provided including lots suitable for the development of: – Single dwellings. – Two dwellings or more. – Higher density housing. – Residential buildings and Retirement villages. Lot distribution should provide for 95 per cent of dwellings to be located no more than 400 metre street walking distance from the nearest existing or proposed bus stop, 600 metres from the nearest existing or proposed tram stop and 800 metres street walking distance from the nearest existing or proposed railway station.	Requirement / Performance Standard met / not applicable The lot sizes proposed are supported by Clause 02.03-6 of the Warrnambool Planning Scheme, which seeks to support a diversity of lot sizes and housing. The lots are approximately 200 metres from a bus stop on Harris Street Bus Interchange, providing reasonable connectivity to the Warrnambool Bus Network. The lots are about 800 metres from the Warrnambool Train Station, and given the regional context and good bus connection, this is considered appropriate in this instance.
Clause 56.04-2 Lot area and building envelopes (Standard C8) An application to subdivide land that creates lots of less than 300 square metres should be accompanied by information that shows: – That the lots are consistent or contain building envelope that is consistent with a development approved under this scheme, or – That a dwelling may be constructed on each lot in accordance with the requirements of this scheme.	Requirement / Performance Standard met The lots are intended to be developed as per the approved dwellings, and no vacant lots are to be created, other than a staged approach in order to excise the existing dwelling.

Requirement	Response
Clause 56.04-3 Solar orientation of lots (Standard C9) Unless the site is constrained by topography or other site conditions, at least 70 percent of lots should have appropriate solar orientation. Lots have appropriate solar orientation when: – The long axis of lots are within the range north 20 degrees west to north 30 degrees east, or east 20 degrees north to east 30 degrees south. – Dimensions of lots are adequate to protect solar access to the lot, taking into account likely dwelling size and the relationship of each lot to the street.	Requirement / Performance Standard met The lots are appropriately orientated for solar access in compliance with the Standard – providing east-west lots usually provides reasonable opportunity for solar access depending on final development outcomes.
Clause 56.04-4 Street orientation (Standard C10) Subdivision should increase visibility and surveillance by: – Ensuring lots front all roads and streets and avoid the side or rear of lots being oriented to connector streets and arterial roads. – Ensuring streets and houses look onto public open space and avoiding sides and rears of lots along public open space boundaries. – Providing roads and streets along public open space boundaries.	Requirement / Performance Standard met The lots are arranged in a way that provides for good and regular road frontage. This increases surveillance to Maguire Place, and maintained surveillance to Harris Street.
Clause 56.04-5 Common area (Standard C11) An application to subdivide land that creates common land must be accompanied by a plan and a report in accordance with the criteria within the Standard.	Requirement / Performance Standard not applicable No common areas proposed.
Clause 56.05-1 Integrated urban landscape (Standard C12) An application for subdivision that creates streets or public open space should be accompanied by a landscape design, as outlined within the Standard.	Requirement / Performance Standard not applicable No streets or public open space proposed.
Clause 56.06-2 Walking and cycling network (Standard C15) The walking and cycling network should be designed in accordance with the Standard to provide safe and direct movement through and between neighbourhoods by pedestrians and cyclists.	Requirement / Performance Standard not applicable No new walking or cycling paths are proposed as part of this proposal. All lots have legal frontage to publicly registered roads maintained by the council. The previous planning permit flagged that in the future, Maguire Place may be upgraded subject to a contribution scheme. The Harris Street frontage allotment has good access to existing infrastructure in the Harris Street road reserve.
Clause 56.06-4 Neighbourhood street network (Standard C17) The neighbourhood street network must account for the existing mobility network and provide safe and efficient access in accordance with the Standard.	Requirement / Performance Standard not applicable No new streets are proposed as part of this proposal. All lots have legal frontage to publicly registered roads maintained by the council. The previous planning permit flagged that in the future, Maguire Place may be upgraded subject to a contribution scheme.

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Requirement	Response
Clause 56.06-5 Walking and cycling network detail (Standard C18) Footpaths, shared paths, cycle paths and cycle lanes should be designed in accordance with the criteria outlined within the Standard.	Requirement / Performance Standard not applicable No new walking or cycling paths are proposed as part of this proposal. All lots have legal frontage to publicly registered roads maintained by the council. The previous planning permit flagged that in the future, Maguire Place may be upgraded subject to a contribution scheme. The Harris Street frontage allotment has good access to existing infrastructure in the Harris Street road reserve.
Clause 56.06-7 Neighbourhood street network detail (Standard C20) The design of streets and roads should be designed in accordance with the criteria outlined within the Standard.	Requirement / Performance Standard not applicable No new streets are proposed as part of this proposal. All lots have legal frontage to publicly registered roads maintained by the council. The previous planning permit flagged that in the future, Maguire Place may be upgraded subject to a contribution scheme.
Clause 56.06-8 Lot access (Standard C21) Vehicle access to lots abutting arterial roads should be provided from service roads, side or rear access lanes, access places or access streets where appropriate and in accordance with the access management requirements of the relevant roads authority. The design and construction of a crossover should meet the requirements of the relevant road authority.	Requirement / Performance Standard met Vehicle access will be created for the new lots to the rear at Maguire Place. Given that the road is not fully upgraded yet, exact details of the crossovers will be subject to a road reserves works permit. However they are intended to be approximately 3.3 metres wide and all-weather.
Clause 56.07-1 Drinking water supply (Standard C22) The supply of drinking water must be designed and constructed in accordance with relevant water authority requirements, provided to the boundary of all lots within the subdivision.	Requirement / Performance Standard met Reticulated drinking water will be provided subject to the requirements of Wannon Water.
Clause 56.07-2 Reused and recycled water (Standard C23) Reused and recycled water supply systems must be design and constructed in accordance with the Environment Protection Authority and Department of Health and Human Services, and provided to the boundary of all lots within the subdivision by the relevant water authority.	Requirement / Performance Standard not applicable The use of recycled water is not proposed as part of this development.
Clause 56.07-3 Waste water management (Standard C24) Waste water systems must be designed, constructed and managed in accordance with the relevant water authority and Environment Protection Authority, and be consistent with any relevant approved domestic waste water management plan.	Requirement / Performance Standard met All lots will be connected to the existing reticulated wastewater system, as per requirements of Wannon Water.
Clause 56.07-4 Stormwater management (Standard C25) The urban stormwater management system must be designed and managed in accordance with the requirements of the relevant drainage authority, water authority and best practice guidelines, and should be integrated with street and public open space networks and landscape design.	Requirement / Performance Standard met Site drainage will be consistent with the requirements of Council and best practice guidelines. It is noted the existing permit requires a Stormwater Management Plan to be prepared to Council's satisfaction. Holmes McLeod have prepared an updated version that reflects the new subdivision and development layout.

Requirement	Response
Clause 56.08-1 Site management (Standard C26) Description of site management prior to and during the construction period, including erosion and sediment, dust, run-off, little, concrete and other construction wastes, chemical contamination, and vegetation and natural features planned for retention.	Requirement / Performance Standard met Appropriate measures will be undertaken during relevant construction works, including any trenches required, to ensure protection from degradation, sedimentation and contamination. A permit condition could require a construction and environmental management plan; however the scale of this project may not warrant this level of detail.
Clause 56.09-1 Shared trenching (Standard C27) Reticulated services for water, gas, electricity and telecommunications should be provided in shared trenching to minimise construction costs and land allocation for underground services.	Requirement / Performance Standard met Shared trenching will be utilised throughout the proposed subdivision where possible.
Clause 56.09-2 Electricity and telecommunications (Standard C28) The electricity supply system must be designed in accordance with the requirements of the relevant electricity supply agency and be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant electricity authority. Arrangements that support the generation or use of renewable energy at a lot or neighbourhood level are encouraged. The telecommunication system must be designed in accordance with the requirements of the relevant telecommunications servicing agency and should be consistent with any approved strategy, policy or plan for the provision of advanced telecommunications infrastructure, including fibre optic technology. The telecommunications system must be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant telecommunications servicing authority.	Requirement / Performance Standard met The lots will be connected to electricity and telecommunications in accordance with the requirements of the relevant servicing authorities. This will likely involve a new power connection extending along Maguire Place to the subject site.
Clause 56.09-3 Fire hydrants (Standard C29) Fire hydrants should be provided a maximum distance of 120 metres from the rear of each lot and no more than 200 metres apart.	Requirement / Performance Standard met There is a hydrant on the eastern side of Harris Street, slightly south of the site, which is less than 120-metres away from the rear of 59 Harris Street.
Clause 56.09-4 Public lighting (Standard C30) Public lighting should be designed in accordance with the relevant Australian Standards, and provided to streets, footpaths, public telephones, public transport stops and to major pedestrian and cycle paths, including public open spaces that are likely to be well used.	Requirement / Performance Standard not applicable. No public lighting is proposed. Public lighting may or may not be eventually included if Maguire Place is ever upgraded as part of a contribution scheme.

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STUDIO

TOWN PLANNING REPORT

CONSTRUCTION OF TWO OR MORE DWELLINGS ON A LOT
& 3-LOT SUBDIVISION

59 HARRIS STREET WARRNAMBOOL

ISSUED 10 AUGUST 2026

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Level 1, CoLab (above Allee Espresso)
Warrnambool VIC 3280

AMENDMENT OVERVIEW

Background

Address	59 Harris Street, Warrnambool
Lot Description	Crown Allotment 20 Section 68 Township of Warrnambool Parish of Wangoom.

Relevant Planning Controls

Municipal Planning Strategy	Clause 02.01 Context
	Clause 02.02 Vision
	Clause 02.03 Strategic directions
	Clause 02.04 Strategic framework plan
Planning Policy Framework	Clause 11 Settlement
	Clause 15 Built Environment and Heritage
	Clause 16 Housing
	Clause 19 Infrastructure
Zone	General Residential Zone
Overlays	None applicable
Particular Provisions	Clause 52.06 Car Parking
	Clause 53.03 Residential Reticulated Gas Service Connection
	Clause 55 Two or more dwellings on a lot
	Clase 56 Residential Subdivision

Permit Application Details

Description of Proposal	Construction of two or more dwellings on a lot
Permit requirement	Clause 32.08-3: General Residential Zone – Subdivision of land
	Clause 32.08-7: General Residential Zone - Construction of two or more dwellings on a lot.

QUALITY ASSURANCE

Town Planning Report	Project Number
Construction of two or more dwellings on a lot and a 3-lot subdivision	26-1655
59 Harris Street, Warrnambool	
	Revision
	03
	Prepared By
	CM
	Project Lead
	CM
	Issued
	10 August 2026

Revision	Date	Issue
01	8 May 2026	Draft report
02	10 June 2026	Final report
03	10 August 2026	RFI

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1. INTRODUCTION

This report has been prepared by MPAA Studio in support of a planning permit amendment application under Section 72 of the *Planning and Environment Act 1987* for the construction two dwellings to the rear of an existing dwelling, and a 3-lot subdivision at 59 Harris Street, Warrnambool.

The proposal provides a site responsive and efficient use of residential land that directly responds to the provisions of state and local planning policy and complies with the Warrnambool Planning Scheme.

Accordingly, the proposal triggers the following permit requirements:

- Clause 32.08-3: General Residential Zone – Subdivision of land.
- Clause 32.08-7: General Residential Zone - Construction of two or more dwellings on a lot.

Having considered the proposal with respect to the Warrnambool Planning Scheme, it is the conclusion of this report that the proposal is consistent with both state and local planning policy. As such, this report recommends, and requests Council issues a permit for the proposal.

The following documents should be read in conjunction with this report and are provided as part of the application:

- Certificate of title
- Town Planning Drawings
- Feature and level survey (prepared by Brayley and Hayes)
- Clause 55 Assessment.
- Clause 56 Assessment
- Stormwater Management Plan (prepared by Holmes McLeod)

1.1. Limitations

This report has considered the following documents:

- Warrnambool Planning Scheme (as at 10 June 2026).
- Certificate of Title

2. SITE AND SURROUNDS

2.1. Site description and title particulars

Site address	59 Harris Street, Warrnambool
Title details	Crown Allotment 20 Section 68 Township of Warrnambool Parish of Wangoom
Easements, restrictions or covenants	There are no easements or covenants on the subject site. There is a crown grant reservation with exceptions, conditions and powers as it relates to mining.

2.2. Site description

The subject land contains an existing detached dwelling that fronts Harris Street. The dwelling is positioned toward the eastern portion of the site (front setback approximately 6.8 metres) with a front garden setback that is generally open in character and landscaped with grass and scattered shrubs.

The property extends through to an established internal fence line which currently separates the land into two portions. The rear portion of the site has frontage to Maguire Place and is presently vacant, appearing to have been used informally for the storage of trailers, caravans and similar items associated with the former occupiers of the property.

A double garage is located behind the existing dwelling and is accessed via a driveway along the southern side boundary of the site. The driveway provides direct vehicle access from Harris Street to the rear garage area.

The site has relatively limited vegetation, with the majority of the land comprising grassed open space. Some established shrubs are present within the front setback and along the existing driveway; however, the overall vegetation coverage across the site is relatively sparse.

The subject land has an area of approximately 1,012 square metres and is generally rectangular in shape. The lot has a frontage to Harris Street of approximately 20.12 metres and a depth of approximately 50.18 metres, resulting in an overall east-west orientation.

Harris Street is a local residential street, but is a key north-south connector between Merrivale Drive and South Warrnambool. A footpath is provided along the eastern side of the street, however there is currently no footpath along the western side directly in front of the subject property.

Development along Harris Street is predominantly characterised by detached dwellings, most of which incorporate traditional pitched tiled roof forms typical of post-war residential development within the area. In more recent years, some dwellings have introduced more contemporary architectural forms and roof designs, contributing to a gradual diversification of built form within the streetscape.

At the time of writing, the existing dwelling as well as adjoining neighbouring dwellings do not comprise solar panels.

The site has a gentle slope from north to south.

2.3. Surrounding Context

The surrounding area comprises a predominantly low-density residential neighbourhood characterised by detached dwellings of varying eras.

To the north of the site are 61 Harris Street and 1/61 Harris Street, each developed with a dwelling. The dwelling at 1/61 Harris Street is a double-storey dwelling that addresses Maguire Place and incorporates a wall constructed along the northern boundary of the subject land.

To the south, 57 Harris Street contains a dwelling as well as another small building at its frontage, which historically operated as a local general store constructed circa the 1940s. The building now forms part of the residential use of the property.

To the east is Harris Street, beyond which are additional detached dwellings that front Harris Street and generally rear onto Scully Lane.

To the west, the land transitions to the Merri River corridor and associated wetland environments, which are largely Crown land and form part of the broader natural landscape that borders the western side of the Warrnambool township.

Setbacks to Harris Street are relatively similar with the exception of the former general store building. To Maguire Place, setbacks are mixed and are more tightly knit with the street.

The site is located approximately 150 metres from the Harris Street Reserve and approximately 600 metres from the Warrnambool Central Business District (CBD) as the crow flies. Due to the natural barrier created by Lake Pertobe, the actual travel distance via the surrounding road network is closer to approximately one kilometre.



Figure 1: Subject site aerial image (Nearmap December 2025)

3. AMENDMENT PROPOSAL

3.1. Overview

The proposal is for two double storey dwellings to the rear of an existing dwelling and a 3-lot subdivision of land.

This proposal seeks to amend planning permit PP2021-0364 which was issued 15 May 2023, and then subsequently extended.

Please note that the proposed dwellings are mirrored. Refer to town planning drawings enclosed for details.

Existing permit

The existing planning permit is for a 2-lot subdivision of land under PP2021-0364. Endorsed plans were not obtained, and the planning permit contained a number of planning permit conditions. It is submitted that the planning permit conditions be revisited and renumbered as required by Council to facilitate the amendment. There are some irrelevant planning permit conditions now that can be removed, such as the request to remove the easement on the plans through to Harris Street. Additionally, Condition 2 will also need to be updated to ensure updated Lot references within the condition to suit the current proposal. Further, other conditions may need to be altered or added, simply because for referral authorities there are additional requirements for 3-lot subdivisions, when compared to 2-lot subdivision.

It is proposed to remove Condition 3 from the planning permit (relating to road upgrade). Justification is submitted later in this report.

The development calculation for minimum garden area (being 35 per cent across the entire planning unit) applies. This also means that the original planning permit requirement relating to the provision of 25% of the vacant lots to be set aside as garden area is no longer required and can be deleted.

Siting and design

The two double storey dwellings have been designed by MPAA Studio to take advantage of the good location and views across the Merri River environs. The façade includes articulated roof lines and an upper floor that is recessed inwards from the ground floor footprint, whilst still providing for a party wall for fire rating purposes. A mix of materials have been provided to create a high-quality built form, and to be generally of a mid-to dark tone build for a modern look and with minimal maintenance.

Each dwelling has a minimum front setback of 2-metres from Maguire Place and are located 1.4 metres away from an internal fence line to the existing dwelling. The townhouses are built along both the northern and southern boundary with the upper floor recessed inwards approximately 3.5 metres.

Floor plan

Each floor plan provides for the following layout:

Ground floor

- Porch entry facing Maguire Place
- Single garage with access from Maguire Place
- Opens to an open plan living, kitchen and dining area
- Alfresco and POS areas with direct access from dining room
- One bedroom at ground floor, with ensuite
- Separate storage and laundry behind garage.

Upper floor

- Two bedrooms, each with built in robes.
- Study nook at the top of the stairwell.
- Shared bathroom.
- Separate toilet.

Landscaping

A concept landscape plan has been provided which generally shows native plantings across the site, with a primary focus on canopy trees.

Existing dwelling

There are no changes to the existing dwelling, outside of showing information on plans for compliance with Clause 55, and additional plantings (ie: canopy trees). The rear portion of the site, whilst not subdivided, is already sectioned off by way of fencing, creating a clear delineation between the existing dwelling curtilage and the rear of the property which faces Maguire Place.

Subdivision

Lot 1 – 673 square metres (and containing the existing dwelling). This allotment will be approximately 33.49 metres in length and retains its original width of approximately 20.11 metres.

Lot 2 – 168 square metres, with the internal boundary reflecting a shared boundary wall for the townhouses. This lot is about 10 metres wide and about 16.8 metres in length.

Lot 3 – 168 square metres, with the internal boundary reflecting a shared boundary wall for the townhouses. This lot is about 10 metres wide and about 16.8 metres in length.

Stage 1: will firstly conduct a 2-lot subdivision, including the house lot (673 square metres), and a balance lot (336 square metres) to be further subdivided in stage 2.

Stage 2: Focussing Soley on the Maguire Place fronting allotment, Stage 2 subdivides this in half to facilities each townhome on its own title for market purposes. Each lot created will be 168 square metres and regular in shape.

This way, a title can be released for the existing dwelling allotment to help fund the development of the townhomes. Stage 2 could require the construction of the proposed dwellings to frame stage for the release of Statement of Compliance, or the preparation of a Section 173 Agreement to lock in the design on the relatively small allotments.

3.2. Planning permit triggers

In accordance with the provisions of the Warrnambool Planning Scheme, the proposal triggers the following planning permit requirements:

- Clause 32.08-3: General Residential Zone – Subdivision of land.
- Clause 32.08-7: General Residential Zone -Construction of two or more dwellings on a lot.

4. PLANNING POLICIES AND CONTROLS

4.1. Municipal Planning Strategy

The Municipal Planning Strategy (MPS) sets out the municipal context, outlines the Council vision, and provides for strategic directions for planning with a focus on specific areas and issues within Warrnambool. The most relevant clauses within the MPS are set out below.

[Clause 02.01 Context](#)

Warrnambool is Victoria's largest coastal regional city and is the fastest growing economy and population centre in South West Victoria.

[Clause 02.02 Vision](#)

The Council Plan identifies four objectives relevant to land use planning. The following is relevant to this application:

Maintain and improve the physical places and visual appeal of the city.

Clause 02.03 Strategic directions

Relevant local strategic directions for this application are contained in:

[Clause 02.03-1 Settlement](#)

Urban Growth: Warrnambool is forecast to grow at 1.4 per cent per annum until 2040 requiring about 250 new dwellings per year to meet demands.

[Clause 02.03-5 Built environment and heritage](#)

Sustainable development: A compact urban environment that encourages increased public transport patronage as well as walking and cycling has substantial benefits in reducing reliance on motor vehicles with a consequent reduction in greenhouse gas emissions.

Neighbourhood character: Parts of Warrnambool are increasingly a focus for medium density redevelopment. Character considerations do not preclude infill development, rather they add to the range of design considerations that should be considered and responded to.

[Clause 02.03-6 Housing](#)

Housing diversity: Large sites within established urban areas have the potential to accommodate further residential development as infill.

Warrnambool has a range of dwelling sizes. Every five in ten dwellings contain three bedrooms. Two and four bedroom dwellings represent one in six of all dwellings. Over the next two decades, Warrnambool's population is projected to age and household sizes are expected to continue to get smaller. Dwelling sizes however, are anticipated to increase and by 2031, a quarter of the City's dwellings could have four or more bedrooms. More diversity in dwelling sizes is needed.

Council's strategic directions for housing diversity are:

- Providing infill opportunities to accommodate residential development.
- Ensuring future populations have access to a diverse range of housing options including increasing the supply of housing for smaller households.

[Clause 02.04 Strategic Framework Plan](#)

The site is located in the Inner Warrnambool area.

See **Section 5.2.1** for an assessment of the application against the Municipal Planning Strategy.

4.2. Planning Policy Framework (PPF)

To ensure the overarching objectives of planning in Victoria are met, policies contained within the Planning Policy Framework (PPF) must be considered. The PPF clauses of most relevance the Site and the proposal are set out below.

[Clause 11.01-1S Settlement](#)

To promote the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.

[Clause 11.01-1R Settlement: Great South Coast](#)

To attract more people to the region.

[Clause 11.03-6S Regional and local places](#)

To facilitate integrated place-based planning.

[Clause 15.01-2S Building Design](#)

To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

[Clause 15.01-3S Subdivision Design](#)

To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.

[Clause 15.01-4S Healthy Neighbourhoods](#)

To achieve neighbourhoods that foster healthy and active living and community wellbeing.

[Clause 15.01-5S Neighbourhood character](#)

To recognise, support and protect neighbourhood character, cultural identity and sense of place.

[Clause 16.01-1S Housing supply](#)

To facilitate well-located, integrated and diverse housing that meets community needs.

[Clause 16.01-2S Housing affordability](#)

To deliver more affordable housing closer to jobs, transport and services.

[Clause 19.03-3L Integrated water management](#)

Control urban run-off to protect and enhance waterways.

Reduce sediment and nutrients entering waterways.

See **Section 5.2.2** for an assessment of the application against the Planning Policy Framework.

4.3. General Residential Zone

The Site is located within the General Residential Zone (Schedule 1). The purpose of [Clause 32.08](#) is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that is responsive to the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Under Clause 32.08-3, a planning permit is required to subdivide land. Pursuant to Clause 32.08-7 a planning permit is required to construct two or more dwellings on a lot.

Mandatory provisions under the zone including providing for 35% of the total site area for lots greater than 650 square metres in size. There is also a maximum height limit, at either 11-metres or 3 storeys, whichever the lesser. Given that both subdivision and development is proposed. The development calculation for minimum garden area (being 35 per cent across the entire planning unit) applies. This also means that the original planning permit requirement relating to the provision of 25% of the vacant lots to be set aside as garden area is no longer required and can be deleted.

A planning assessment under the General Residential Zone is provided under Section 5.2.2 of this report, with a Clause 55 assessment enclosed.

4.4. Overlays

There are no Overlays which apply to the site.

4.5. Particular Provisions

4.5.1. [Clause 52.06 Car Parking](#)

The purposes of Clause 52.06 include:

- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

The table at Clause 52.06-5 states for each dwelling 1.2 car parking spaces must be provided. The proposal provides for at least one compliant car parking space for each dwelling. Pursuant to Clause 52.06-3, there is no requirement for a planning permit under the provisions of the clause.

4.5.2. [Clause 53.03 Residential Reticulated Gas Service Connection](#)

The purpose of this clause is to prohibit residential reticulated gas connections to new dwellings, new apartment developments and new residential subdivisions.

The proposed new dwellings can be connected to the reticulated electricity network, extending from Harris Street as required.

4.5.3. [Clause 55 Two or More Dwellings on a Lot](#)

Clause 55 is applicable to the application as two or more dwellings are proposed on one lot. The purpose of this particular provision is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage residential development that provides reasonable standards of amenity for existing and new residents.
- To encourage residential development that responds to the site and the surrounding area.

A Clause 55 Assessment has been provided as part of this application to demonstrate compliance with the objectives.

4.5.4. [Clause 56 Residential Subdivision](#)

These provisions apply to an application to subdivide land in the Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Housing Choice and Transport Zone, Mixed Use Zone or Township Zone and any Comprehensive Development Zone or Priority Development Zone that provides for residential development.

An application to subdivide land:

Must be accompanied by a site and context description and a design response.

Must meet all of the objectives included in the clauses specified in the zone.

Should meet all of the standards included in the clauses specified in the zone.

A Clause 56 assessment, appropriate for a 3-lot subdivision is attached to this report for review, in line with the requirements of Clause 32.08-3.

4.6. Other planning considerations

4.6.1. [Aboriginal Cultural Heritage Sensitivity](#)

The Site is identified as being an 'area of cultural heritage sensitivity' pursuant to the Aboriginal Heritage Regulations 2018. These areas relate to landforms and soil types where Aboriginal places are more likely to be located.

A Cultural Heritage Management Plan (CHMP) is required for an activity if the activity is a 'high impact activity' and falls in whole or part within an area of cultural heritage sensitivity. Division 2 of the Aboriginal Heritage Regulations 2018 set out various exempt activities for which a CHMP is not required. Division 1, Regulation 10 states that for proposals relating to three or more dwellings a CHMP is not required as lots less than 0.11 hectares are considered a small lot, and where the property is not within 200 metres of the coastal waters of Victoria, any sea within the limits of Victoria or the Murray River.

Regulation 11 stipulates the same exemptions but for smalls subdivision.

- The subject site is not located within 200-metres of Victoria's coastal waters (ie: coastal high water mark) and is not located within 200 metres of the Murray River.
- The subject site is less than 0.11 hectares in size.

It is submitted that the application benefits from Regulation 10 and 11.

5. PLANNING ASSESSMENT

5.1. Overview

The following chapter outlines the key planning considerations of the proposal in response to relevant policy and the provisions of the Warrnambool Scheme. In summary, the following key considerations are relevant to the assessment of the proposal:

- Is the proposal consistent with the Municipal Planning Strategy and the Planning Policy Framework?
- Does the proposal appropriately respond to the General Residential Zone?
- Are the amendments to existing permit conditions acceptable?

5.2. Key considerations

5.2.1. Is the proposal consistent with the Municipal Planning Strategy and the Planning Policy Framework?

The application seeks to respond to Warrnambool's projected population growth and evolving housing needs through the delivery of two additional dwellings within an established residential area. The subject site is located within the Inner Warrnambool area and represents a logical opportunity for modest infill development given its generous lot size, established urban context and proximity to the Warrnambool City Centre and surrounding services.

The Warrnambool Planning Scheme anticipates continued population growth within the municipality and recognises the need to accommodate this growth through a combination of growth area development and appropriately located infill development within established residential areas. Warrnambool's population is projected to continue increasing, with urban growth and housing supply expected to respond accordingly.

In this context, the proposal represents an efficient use of serviced residential land by facilitating two additional dwellings within an established neighbourhood where infrastructure, services and community facilities are already available. This approach aligns with settlement strategies that encourage development within existing urban areas and promote the consolidation of housing in locations with good access to employment, services and transport networks.

The proposal, comprising three-bedroom dwellings, contributes to a desired housing stock within Warrnambool. The Municipal Planning Strategy identifies the need for a broader range of dwelling sizes and typologies to accommodate changing household structures and smaller households. While the city currently contains a predominance of larger three- and four-bedroom dwellings, the planning scheme recognises that greater diversity in housing types will be required as household sizes reduce and the population ages. The typology of this proposal is different, being an attached dwelling rather than detached, and is a smaller footprint, and in a good location.

The proposal has also been designed to integrate appropriately within the established residential setting. The siting, scale and built form of the dwellings ensure that the development can be comfortably absorbed within the surrounding neighbourhood while maintaining acceptable amenity outcomes for both existing and future residents. Infill development of this scale is consistent with the strategic objective of integrating additional housing within established urban areas while respecting neighbourhood character and urban design considerations. Further, the dwellings will achieve good amenity due to their outlook to the Merri River environs to the west.

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The proposed subdivision ultimately reflects the intended built form of the proposed dwellings to the rear of the site, as well as respecting the existing dwelling curtilage, creating an acceptable subdivision pattern for both Harris Street and Maguire Place.

Overall, the proposal represents a modest and well-located form of residential intensification that contributes to Warrnambool's housing supply, increases the diversity of available dwelling types, and makes efficient use of existing urban land and infrastructure.

5.2.2. Does the proposal appropriately respond to the General Residential Zone?

The proposal is required to be assessed under the provisions of the General Residential Zone – Schedule 1 (GRZ1), including the minimum garden area requirements specified at Clause 32.08-4.

The application proposes the construction of two additional dwellings to the rear of the existing dwelling, resulting in a total of three dwellings on the lot. In accordance with Clause 32.08-4, where a lot exceeds 650 square metres in area, a minimum of 35 per cent garden area must be provided. The submitted plans contain a garden area plan which demonstrates that the development provides approximately 36 per cent garden area, thereby exceeding the minimum requirement.

The purpose of the General Residential Zone includes encouraging a diversity of housing types and facilitating incremental residential growth in locations that are well serviced by infrastructure, services and transport. The subject site is situated within an established residential neighbourhood in relatively close proximity to the Warrnambool city centre and surrounding services, making it an appropriate location for modest infill development of this nature.

The proposed dwellings comply with the maximum building height specified within the zone, being well below the 11-metre height limit.

In this regard, the proposal responds directly to the strategic direction of the planning scheme which seeks to facilitate greater housing diversity, particularly through the provision of dwellings suited to smaller households, downsizers and key workers seeking accommodation within established urban areas. The development therefore represents an appropriate form of incremental residential intensification that can be readily accommodated within the existing neighbourhood.

The proposed development and subdivision is considered to be consistent with the purpose and decision guidelines of the General Residential Zone, providing a well-designed infill outcome that maintains appropriate amenity while contributing to the diversity of housing within the municipality.

A detailed response to the decision guidelines of Clause 32.08-13 is provided below.

Decision Guideline	Response
General Issues	
The Municipal Planning Strategy and the Planning Policy Framework	Please refer to Section 5.2.1 of this report.
The purpose of this zone.	The proposal is consistent with residential outcomes sought by zone.
The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in the General Residential Zone.	No impacts identified, refer to shadow diagrams.
Subdivision	
The pattern of subdivision and its effect on the spacing of buildings.	The subdivision has been proposed to reflect a built form outcome, and follows proposed building party walls, as



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Decision Guideline	Response
	well as an existing dwelling curtilage. The subdivision itself will not have an impact upon the spacing of buildings in this case and this should be deferred to the development outcome consideration; however, it can be said that the proposal does not cause a detrimental impact upon the spacing on any buildings.
For subdivision of land for residential development, the objectives and standards of clause 56.	A Clause 56 assessment is provided for consideration, providing a good subdivision response overall subject to servicing detailed design.
Dwellings, small second dwellings and residential buildings	
For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55. This does not apply to an apartment development of five or more storeys, excluding a basement.	The proposal has considered Clause 55 objectives. A detailed Clause 55 assessment is provided as part of this application, and provides for an acceptable response on balance.

5.2.3. Are the amendments to existing permit conditions acceptable?

Minor amendments are requested to the existing planning permit conditions to reflect the revised proposal.

In particular, Conditions 2 should be amended to reference the correct proposed lot numbers so that the conditions accurately correspond with the current application. The substantive intent of these conditions remains unchanged, namely, to ensure that any existing buildings are appropriately fire-rated where they are located in proximity to proposed lot boundaries.

The proponent consents to Council renumbering and, where necessary, rewording the planning permit conditions to appropriately reflect the revised proposal, being a three-lot subdivision and the construction of two or more dwellings on a lot. This request recognises that the existing planning permit was originally prepared and issued in the context of a two-lot subdivision.

Removal of Condition 3

We respectfully request that Council consider removing the condition requiring the upgrade of the laneway. Given the limited scale and nature of the proposal, the proposed development does not, in our view, generate a need for the broader upgrade of the existing laneway such that the works are appropriately attributable to this development. The laneway is an existing public accessway serving the surrounding area, and the proposed works would therefore extend beyond infrastructure reasonably required to facilitate the development itself. This approach is consistent with the principles considered by VCAT in *Tarneit Consolidated Pty Ltd v Wyndham City Council* [2019] VCAT 1537, where the Tribunal considered that a condition requiring broader road infrastructure works was not appropriately attributable to the development and found the condition to be invalid. We acknowledge Council's legitimate interest in ensuring that access to the site is safe and appropriate; however, we consider that this can be appropriately addressed through the other conditions of the permit without requiring the applicant to undertake broader works to existing public infrastructure. On this basis, we consider removal of the condition to be a reasonable refinement of the permit conditions and one that does not compromise the orderly development or safe access to the site.



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The current application has been made as an amendment to the existing planning permit to avoid the creation of multiple planning permits applying to the same land and to provide a clear and consolidated planning approval for the proposal that is now intended to be pursued. The requested amendments to the permit conditions are therefore principally administrative in nature and are intended to ensure that the permit accurately reflects the current proposal without altering the substantive planning outcomes established by the existing conditions.



6. CONCLUSION

This report has outlined the amendment proposal for the construction of two new dwellings to the rear of the existing dwelling and a 3-lot subdivision at 59 Harris Street and has assessed the proposal against the relevant policy framework and planning controls of the Warrnambool Planning Scheme.

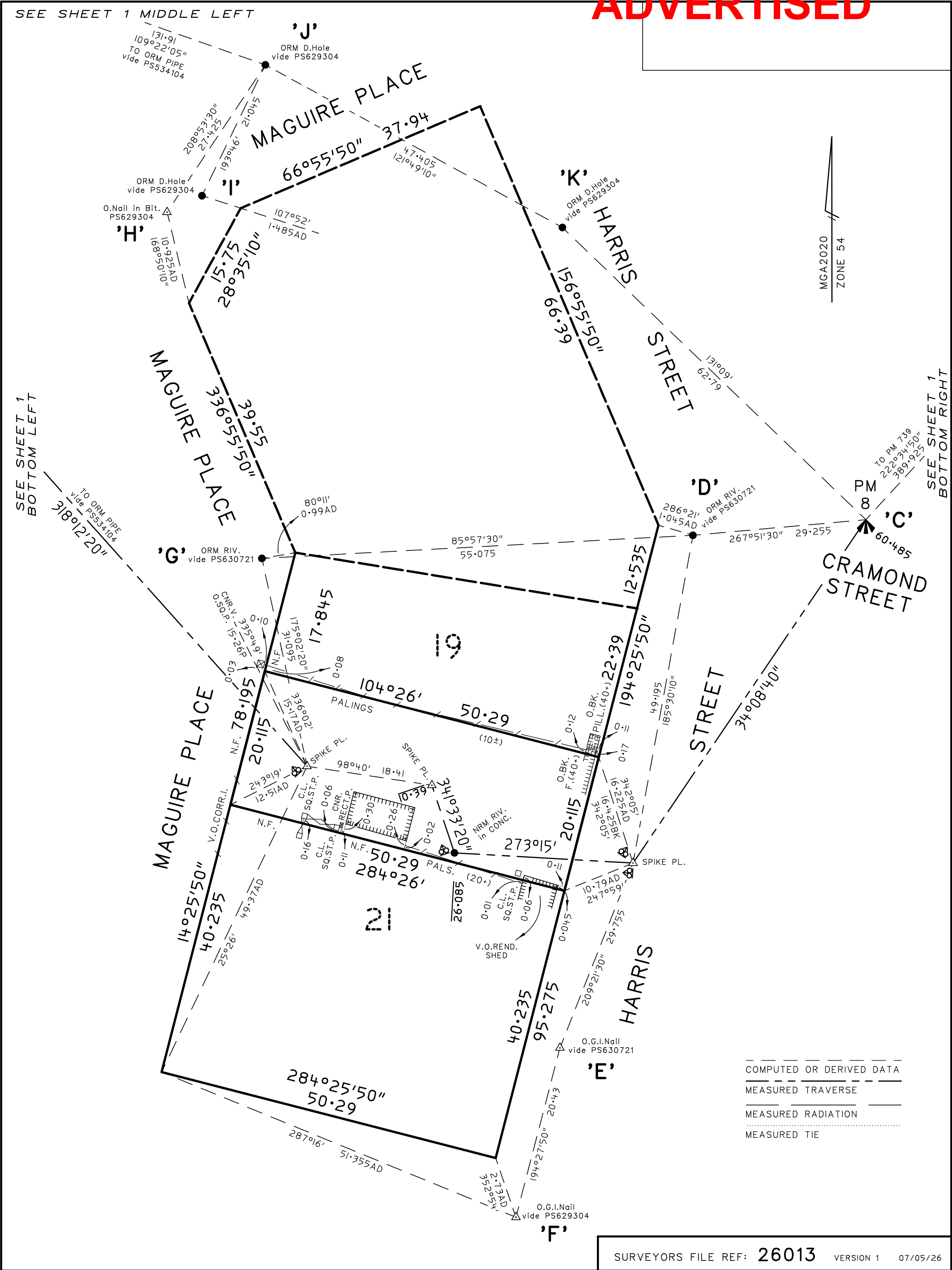
The subject land presents a logical opportunity for modest infill development given its size, configuration and proximity to the Warrnambool city centre. The proposal will facilitate additional housing within an established residential area where access to services, infrastructure and community facilities is readily available.

Having regard to the relevant planning provisions and decision guidelines, the proposal is considered to represent an appropriate planning outcome. It is therefore concluded that the application is consistent with the intent and objectives of the Warrnambool Planning Scheme.

Accordingly, it is respectfully requested that Council grant a planning permit for the proposed development. We look forward to continuing to work constructively with Council during the assessment of the application.

MPAA Studio

10 August 2026



BRAYLEY & HAYES

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SCALE
N/A

0
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 2

MARK G. DORE / VERSION 1

SURVEYORS FILE REF: 26013

VERSION 1 07/05/26

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

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VOLUME 08617 FOLIO 085

Security no : 124135618840V
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CROWN GRANT

LAND DESCRIPTION

Crown Allotment 20 Section 68 Township of Warrnambool Parish of Wangoom.

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

AZ982167S 29/12/2025

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AZ982168Q 29/12/2025
NATIONAL AUSTRALIA BANK LTD

Any crown grant reservations exceptions conditions limitations and powers
noted on the plan or imaged folio set out under DIAGRAM LOCATION below.
For details of any other encumbrances see the plan or imaged folio set out
under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP895293X FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 59 HARRIS STREET WARRNAMBOOL VIC 3280

ADMINISTRATIVE NOTICES

NIL

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TITLE PLAN		EDITION 1	TP 895293X
LOCATION OF LAND Parish: WANGOOM Township: WARRNAMBOOL Section: 68 Crown Allotment: 20 Crown Portion: - Last Plan Reference:- Derived From: VOL. 8617 FOL. 085 Depth Limitation: 50 FEET BELOW THE SURFACE		Notations SUBJECT TO THE RESERVATIONS, EXCEPTIONS, CONDITIONS AND POWERS CONTAINED IN CROWN GRANT VOL. 8617 FOL. 085 AND NOTED ON SHEET 2 OF THIS PLAN ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	
Description of Land/Easement Information			THIS PLAN HAS BEEN PREPARED BY LAND REGISTRY, LAND VICTORIA FOR TITLE DIAGRAM PURPOSES COMPILED: Date: 02/10/2007 VERIFIED: A. DALLAS <i>Assistant Registrar of Titles</i>
COLOUR CODE Y= YELLOW			
LENGTHS ARE IN LINKS	Metres = 0.3048 Feet Metres = 0.201168 x Links	Sheet 1 of 2 Sheets	

TITLE PLAN

TP 895293X

LAND DESCRIPTION INCLUDING RESERVATIONS, EXCEPTIONS,
CONDITIONS AND POWERS AS SHOWN ON THE CROWN GRANT

All THAT PIECE OF LAND in the said State containing one rood more or less being Allotment twenty of Section sixty-eight in the Township of Warrnambool Parish of Wangoom County of Victoria

delineated and colored yellow in the map in the margin hereof TOGETHER with the right to sink wells for water and to the use for all purposes of any wells and springs now or hereafter upon the said land as though this Grant had been made without any limitation as to depth PROVIDED that this Grant is made subject to—

- (a) the reservation to Us Our heirs and successors of—
- (i) all gold silver uranium thorium and minerals within the meaning of the *Mines Act* 1958 and petroleum within the meaning of the *Petroleum Act* 1958 (hereinafter called “the reserved minerals”);
 - (ii) rights of access for the purpose of searching for and obtaining the reserved minerals in any part of the said land;
 - (iii) rights for access and for pipe-lines works and other purposes necessary for obtaining and conveying on and from the said land any of the reserved minerals which is obtained in any part of the said land;
- (b) the right to resume the said land for mining purposes pursuant to section 205 of the *Land Act* 1958;
- (c) the right of any person being the holder of a miner’s right or of a mining lease or mineral lease under the *Mines Act* 1958 or any corresponding previous enactment to enter on the said land and to mine for gold or minerals within the meaning of that Act and to erect and occupy mining plant or machinery thereon in the same manner and under the same conditions and provisions as those under which such a person has now the right to mine for gold and silver in and upon Crown lands provided that compensation as prescribed by Part II. of that Act is paid for surface damage to be done to the said land by reason of mining thereon.

To hold unto the grantee in fee simple

LENGTHS ARE IN
LINKS

Metres = 0.3048 Feet
Metres = 0.201168 x Links

Sheet 2 of 2 Sheets