

Additional Council Meeting - 13 December 2022 Attachments

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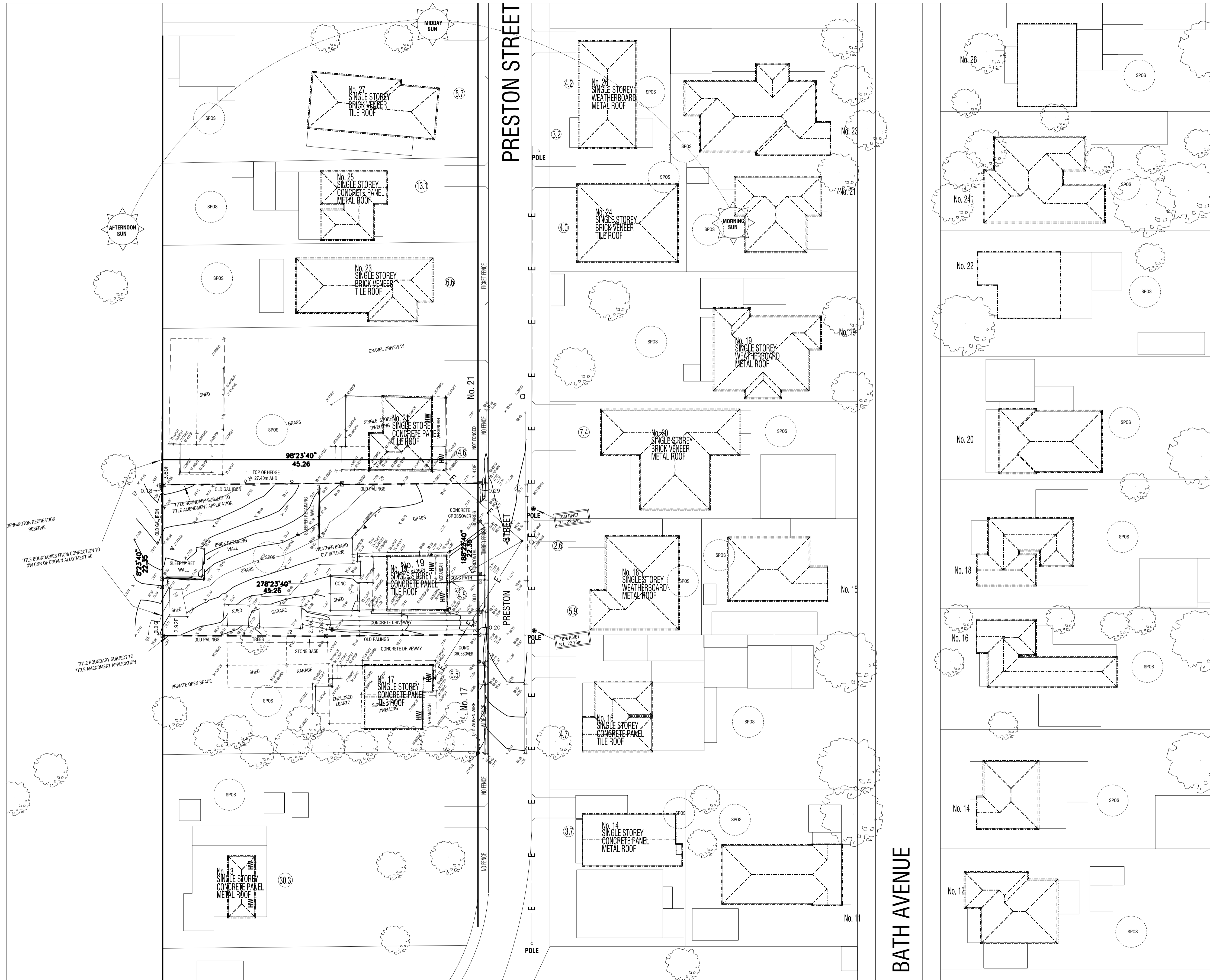
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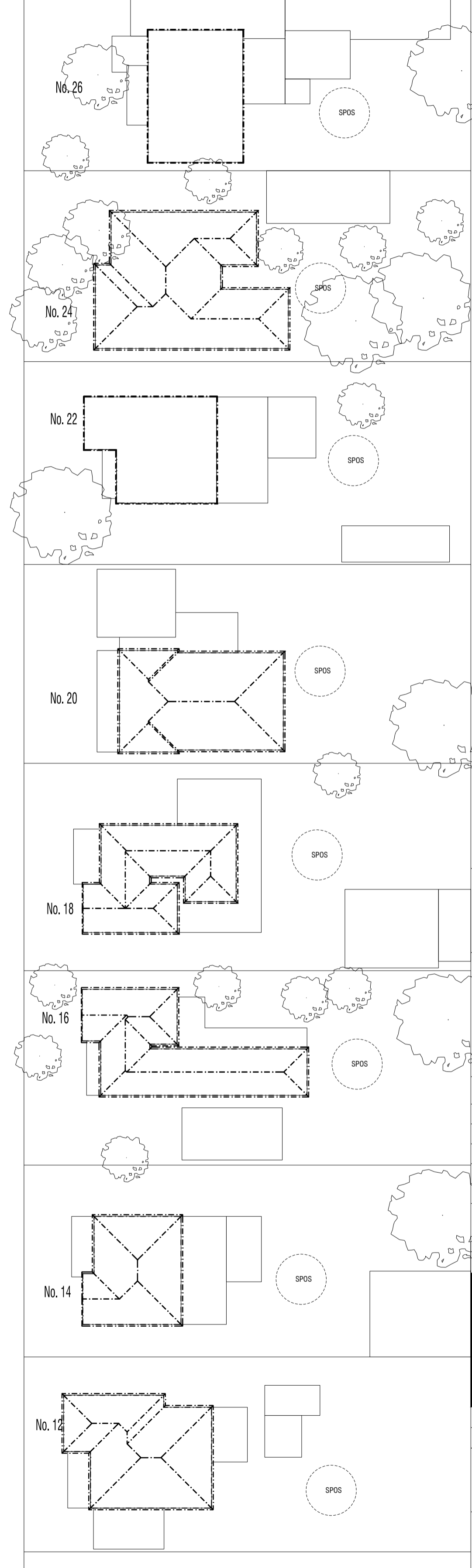
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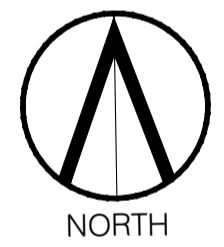
- KEY**
- P.O.S PRIVATE OPEN SPACE
 - S.P.O.S SECLUDED PRIVATE OPEN SPACE
 - HW HABITABLE WINDOWS
 - CANOPY TREES
 - 8.2 BUILDING SETBACKS TO BOUNDARY FENCE LINE
 - VI PHOTO VIEW ANGLE
 - POLE POWER POLE
 - PIT PHONE PIT



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NEIGHBOURHOOD AND SITE DESCRIPTION PLAN
UNIT DEVELOPMENT
19 PRESTON STREET, DENNINGTON



DESIGN RESPONSE

- 1 EXISTING CROSSOVER TO THE LEFT OF THE SITE TO BE MODIFIED TO SERVICE UNIT 2 & 3.
- 2 PROPOSED VEHICLE STORAGE FOR ALL UNITS ARE LOCATED BEHIND THE LINE OF THE FRONT DWELLING TO HIDE THE DOMINANCE OF CAR PARKING STRUCTURES FROM THE STREET-SCAPE.
- 3 NEW MAILBOXES FOR ALL UNITS.
- 4 PROPOSED FRONT STREET SETBACK TO DEVELOPMENT IS SYMPATHETIC TO THE ADJOINING NEIGHBOURS.
- 5 LARGE LAWN AREA PROVIDES SPACE FOR LANDSCAPING.
- 6 OPEN SPACES TO UNITS ARE ORIENTED TOWARDS NORTH PROVIDING FUTURE RESIDENCES WITH EXCELLENT SOLAR ACCESS AND NORTH LIGHT. OPEN SPACE ON SITE FOR EACH DWELLING IS DISTRIBUTED TO THE REAR AND THROUGHOUT THE SITE. THE DEVELOPMENT WILL PROVIDE SUFFICIENT PRIVATE OPEN SPACE FOR THE REASONABLE RECREATION, SERVICE AND STORAGE NEEDS OF RESIDENTS. THE PRIVATE OPEN SPACES FOR ALL DWELLINGS ARE LOCATED OFF LIVING AREAS.
- 7 LANDSCAPING LOCATION TO PROVIDE SOFT BUFFER AND SCREENING BETWEEN THE ADJOINING PROPERTIES.
- 8 SETBACKS BETWEEN UNITS AIMS TO RETAIN EXISTING SIGHT LINES WITHIN AND THROUGH THE SITE. THIS WILL ALSO REDUCE VISUAL BULK OF THE NEW DEVELOPMENT.
- 9 ANY PROPOSED WALLS TO BE BUILT TO THE BOUNDARY ARE LOCATED AWAY FROM EXISTING HABITABLE ROOM WINDOWS AND OPEN SPACES.
- 10 DRIVEWAYS HAVE BEEN DESIGNED WITH A TURNING CIRCLE TO ALLOW VEHICLES TO EXIT THE SITE IN A FORWARD DIRECTION.
- 11 EXISTING CROSSOVER TO THE RIGHT OF THE SITE TO BE MODIFIED TO PROVIDE VEHICLE ACCESS TO UNIT 1.

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DESIGN RESPONSE

UNIT DEVELOPMENT
19 PRESTON STREET, DENNINGTON

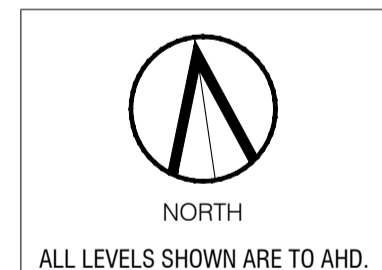


LEGEND

- 1M² RAINGARDEN
- 2000L WATERTANK TO TREAT SELECTED ROOF AREA. CONNECT WATER TANK TO ALL SANITARY FLUSHING
- ELECTRICITY METER
- LIGHTING SENSOR ABOVE
- TAP
- GAS AND WATER METER
- HOT WATER SYSTEM
- AIR-CONDITIONER
- CLOTH LINE
- 1.8m HIGH TIMBER PAILING FENCE
- R/W RETAINING WALL
- PROPOSE DOWN PIPE LOCATION
- DOWN PIPE WITH SPREADER

AREA SCHEDULE:

UNIT 1	
GROUND FLOOR AREA:	144.0 m ²
GARAGE:	26.4 m ²
PORCH:	2.5 m ²
TOTAL AREA:	18.6 SO 172.9 m²
TOTAL POS:	150.5 m ²
TOTAL SPOS:	47.1 m ²
UNIT 2	
GROUND FLOOR AREA:	99.3 m ²
GARAGE:	35.4 m ²
PORCH:	1.1 m ²
TOTAL AREA:	14.6 SO 135.8 m²
TOTAL POS:	59.5 m ²
TOTAL SPOS:	45.6 m ²
UNIT 3	
GROUND FLOOR AREA:	112.7 m ²
GARAGE:	35.3 m ²
PORCH:	2.6 m ²
TOTAL AREA:	16.2 SO 150.6 m²
TOTAL POS:	101.3 m ²
TOTAL SPOS:	51.0 m ²
SITE	
SITE AREA:	1011.6 m ²
SITE COVERAGE:	45.3% 458.4 m ²
SITE PERMEABILITY:	42.4% 429.7 m ²
GARDEN AREA REQ:	35.2% 356.5 m ²



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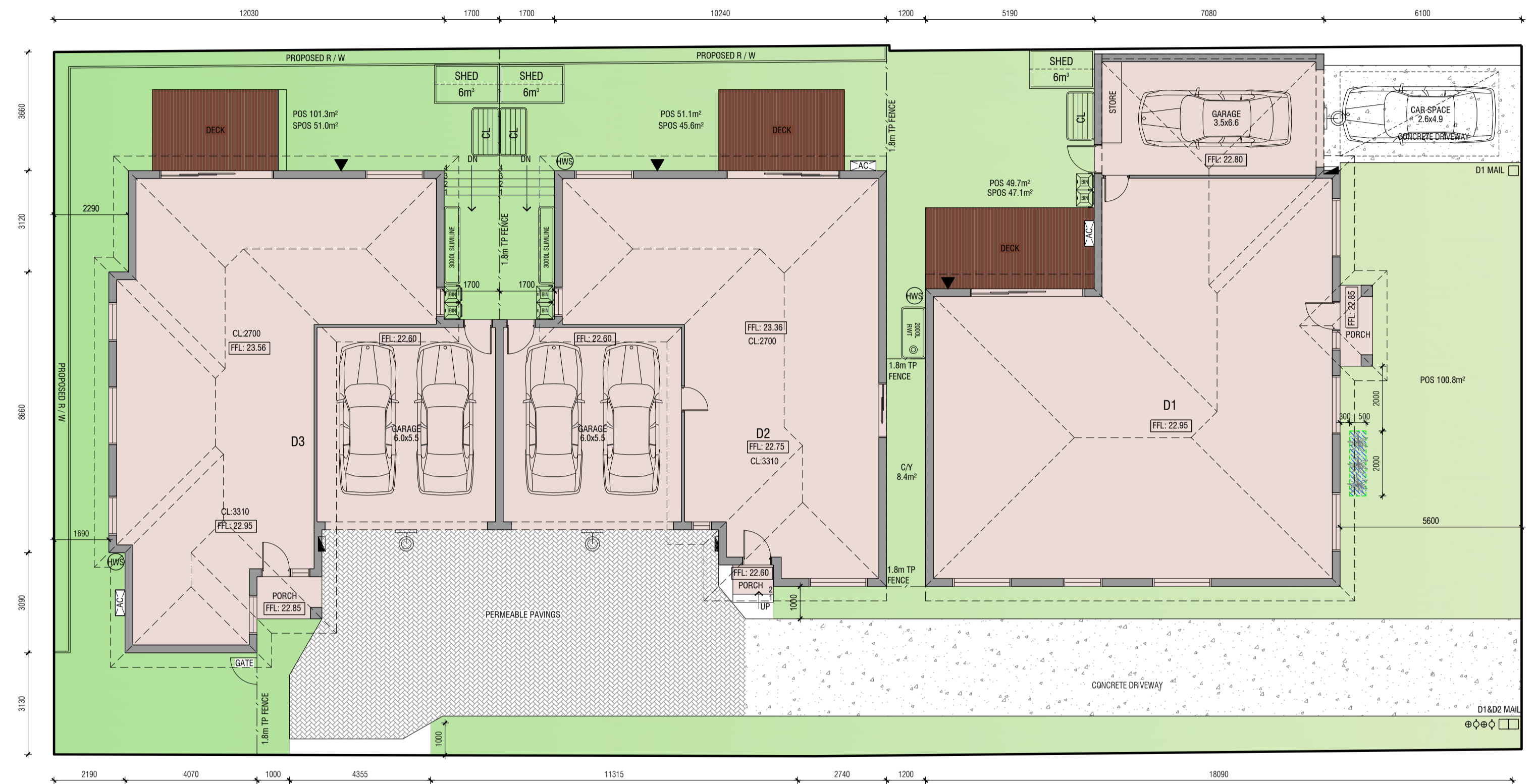
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GROUND FLOOR PLAN
UNIT DEVELOPMENT
19 PRESTON STREET,
DENNINGTON
TP01
REV_8

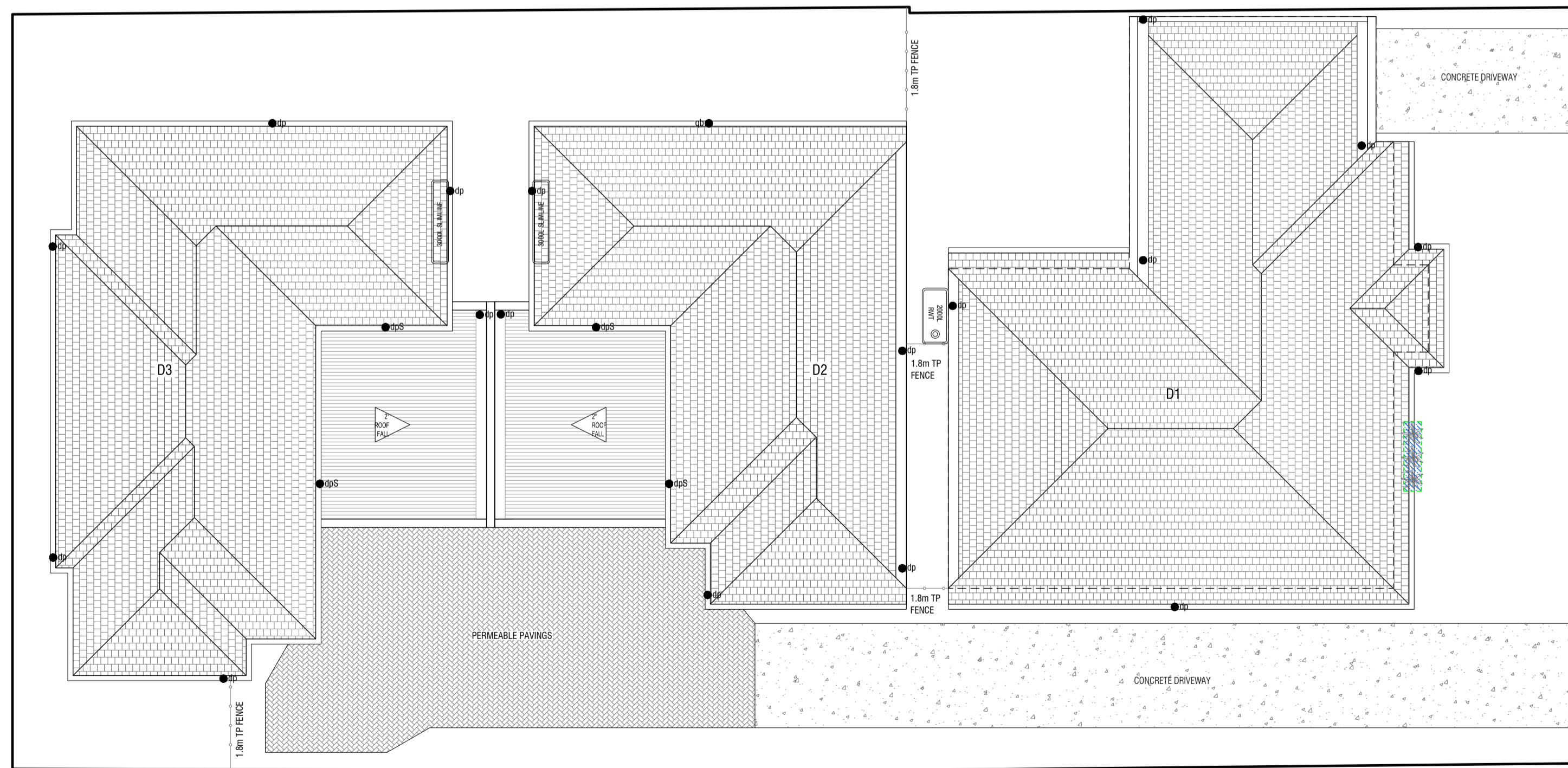


GARDEN PLAN

LEGEND

	1m² RAINGARDEN		HWS HOT WATER SYSTEM
	2000L WATERTANK TO TREAT SELECTED ROOF AREA. CONNECT WATER TANK TO ALL SANITARY FLUSHING		A/C AIR-CONDITIONER
	ELECTRICITY METER		CL CLOTH LINE
	LIGHTING SENSOR ABOVE		TP 1.8m HIGH TIMBER PAILING FENCE
	TAP		R/W RETAINING WALL
	GAS AND WATER METER		dp PROPOSE DOWN PIPE LOCATION
			dpS DOWN PIPE WITH SPREADER

GARDEN AREA
TOTAL GARDEN AREA: 356.5m²
GARDEN PERCENTAGE: 35.2%
SITE AREA: 1011.6m²



ROOF PLAN

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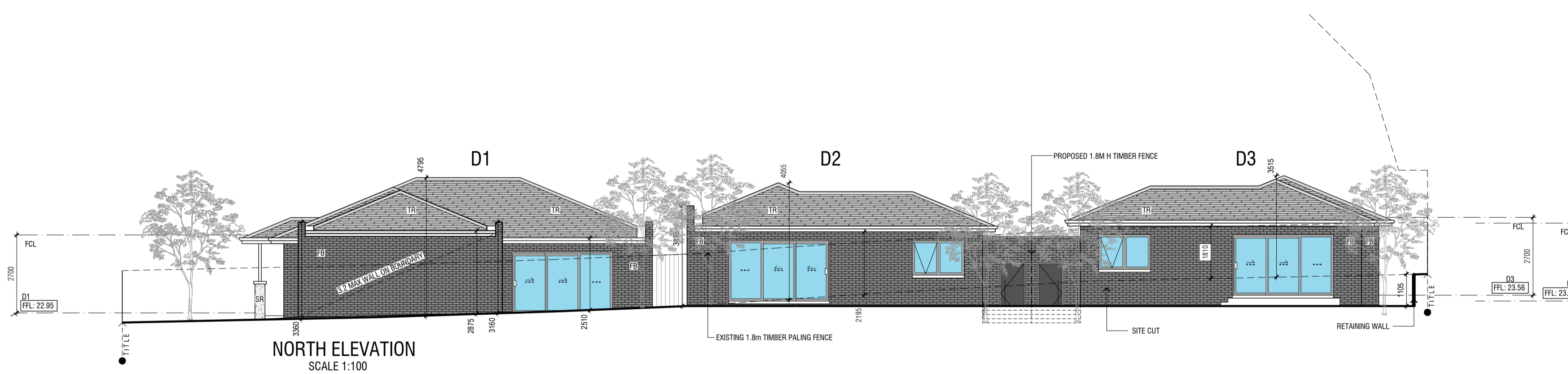
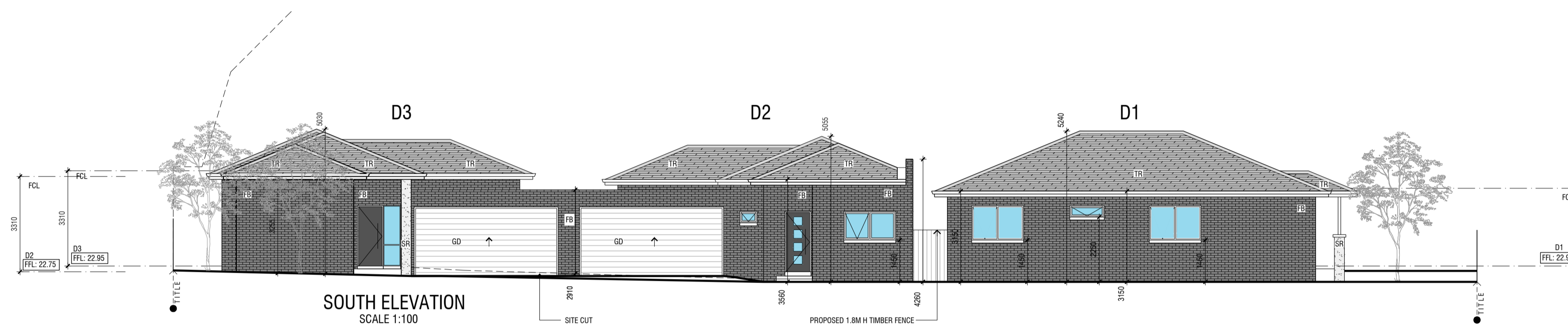
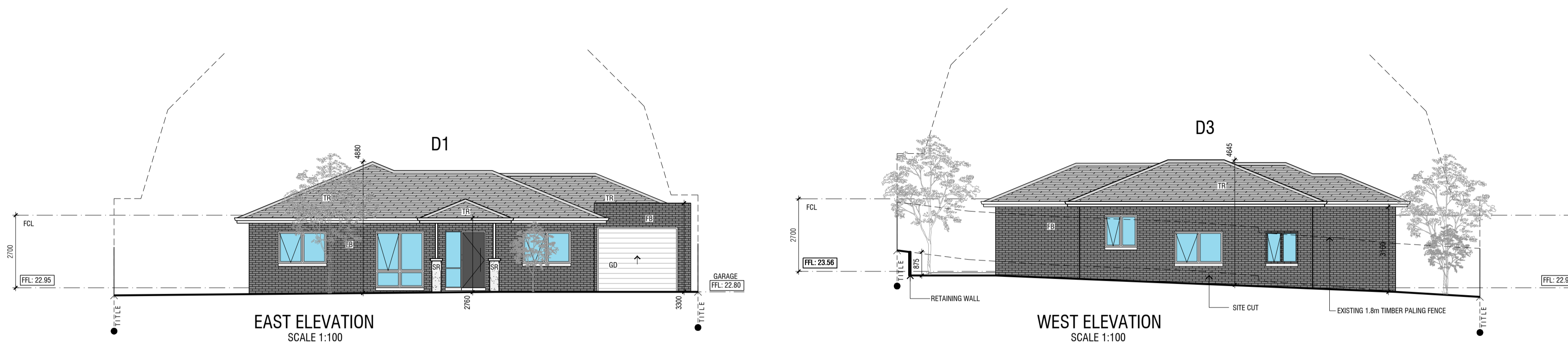
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GARDEN AREA & ROOF PLAN

UNIT DEVELOPMENT
19 PRESTON STREET,
DENNINGTON


TP02
REV. B

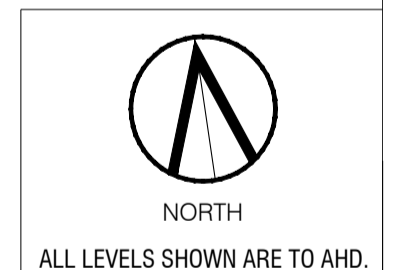


MATERIAL SCHEDULE:

- SR SMOOTH RENDER FINISH
- FB FACEBRICK WALL
- GD SELECTED GARAGE DOOR
- G1 OBS GLASS - 150mm
- G2 RESTRICTED AWNING
FIXED OBSCURE GLAZING (NOT FILM)
WITH A MAXIMUM TRANSPARENCY
OF 25% TO A MINIMUM HEIGHT OF
1.7m ABOVE FINISHED FLOOR LEVEL
- TP 1.8m HIGH TIMBER PALING FENCE
- TR SELECTED TILED ROOF AT 22.5
DEGREE PITCH
- TS 1.7m HIGH SELECTED TIMBER
SCREEN

- ALUMINIUM WINDOWS THROUGH-OUT
- COLORBOND GUTTERS, FASCIA AND
DOWNPIPES
- DG ALL HABITABLE WINDOWS TO BE
DOUBLE GLAZED

	
FACE BRICKWORK: (FB) CHARCOAL OR SIMILAR	WINDOWS: ALUMINIUM MONUMENT FRAME WITH CLEAR GLASS OR SIMILAR
	
GARAGE DOOR: (GD) SELECTED GARAGE DOOR OR SIMILAR	SMOOTH RENDER: (SR) DULUX COLOURBOND WALLABY OR SIMILAR
	
TIMBER PALING (TP): 1.8m HIGH TIMBER PALING FENCE	TILED ROOF: (TR) CHARCOAL TILE ROOF OR SIMILAR
	
DRIVEWAY: CHARCOAL COLOURED CONCRETE OR SIMILAR	FASCIA: ALUMINIUM MONUMENT GUTTER & DOWNPIPES OR SIMILAR



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ELEVATIONS

UNIT DEVELOPMENT
19 PRESTON STREET,
DENNINGTON

TP03
REV_8



D1 CAR ENTRY
SCALE 1:100



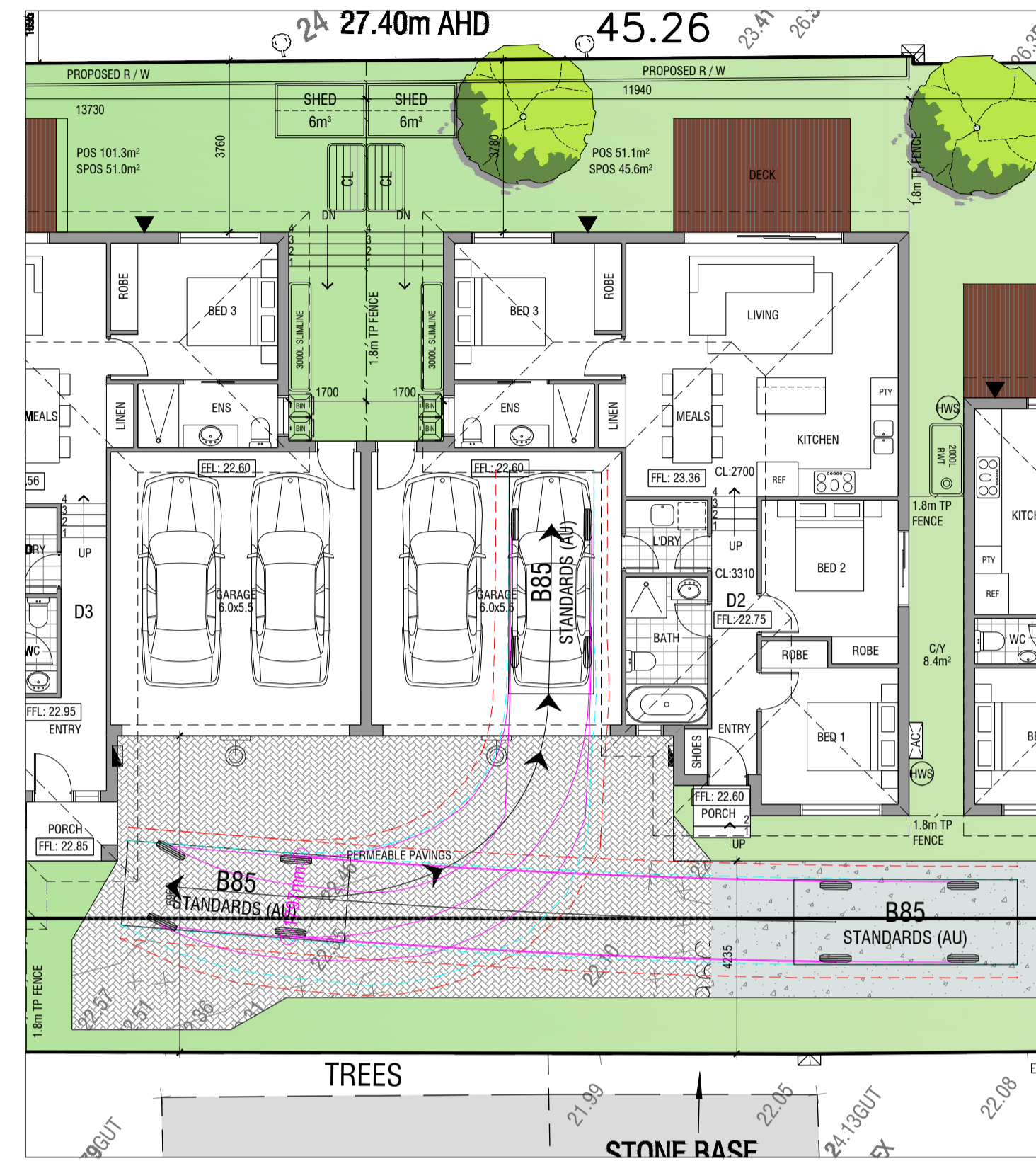
D1 CAR 2 ENTRY
SCALE 1:100



D1 CAR EXIT
SCALE 1:100



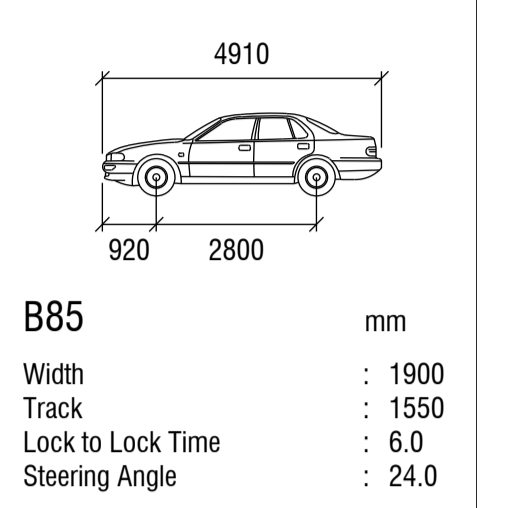
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SCALE 1:100



D2 CAR 1 ENTRY
SCALE 1:100



D2 CAR 1 EXIT
SCALE 1:100



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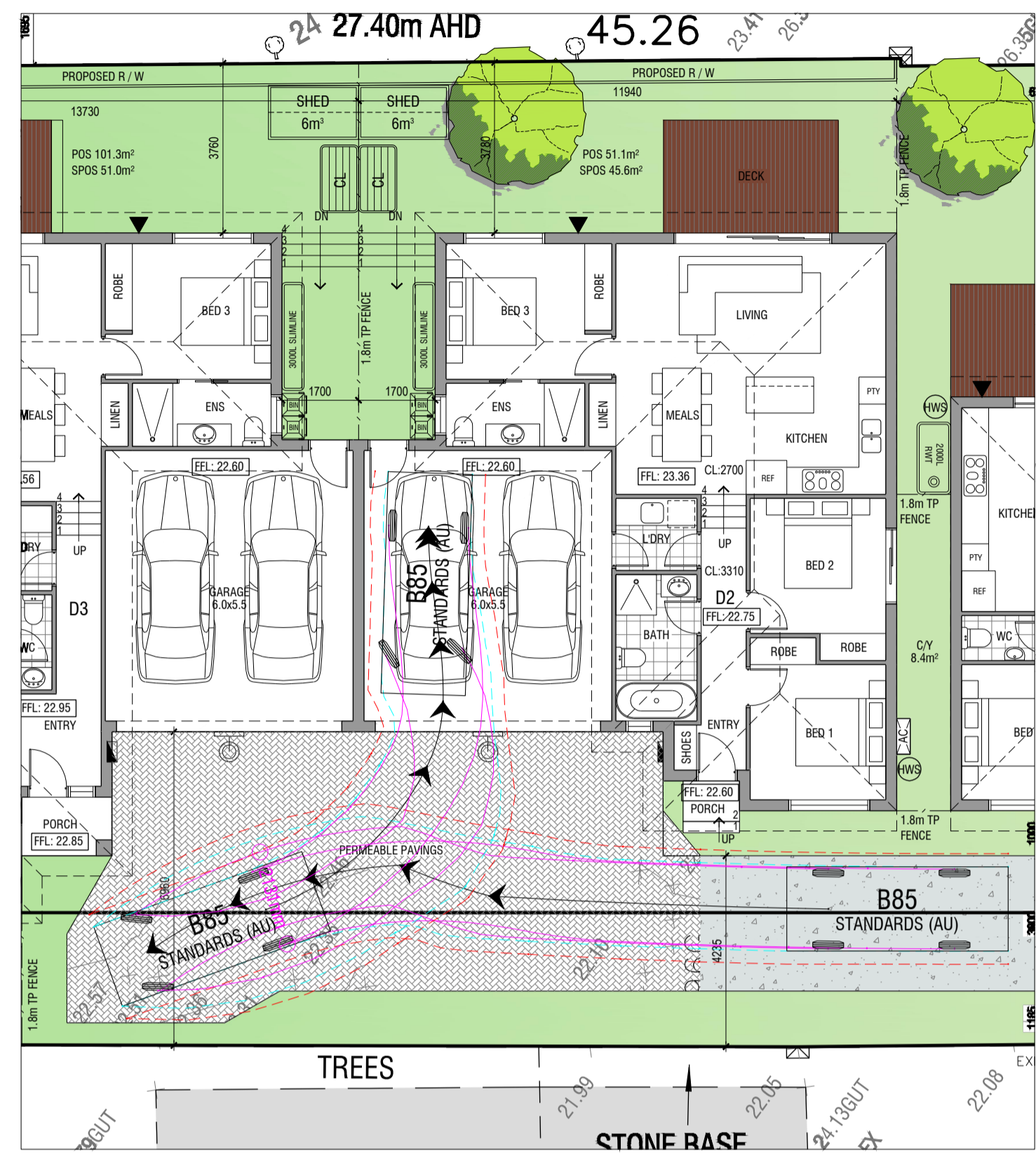
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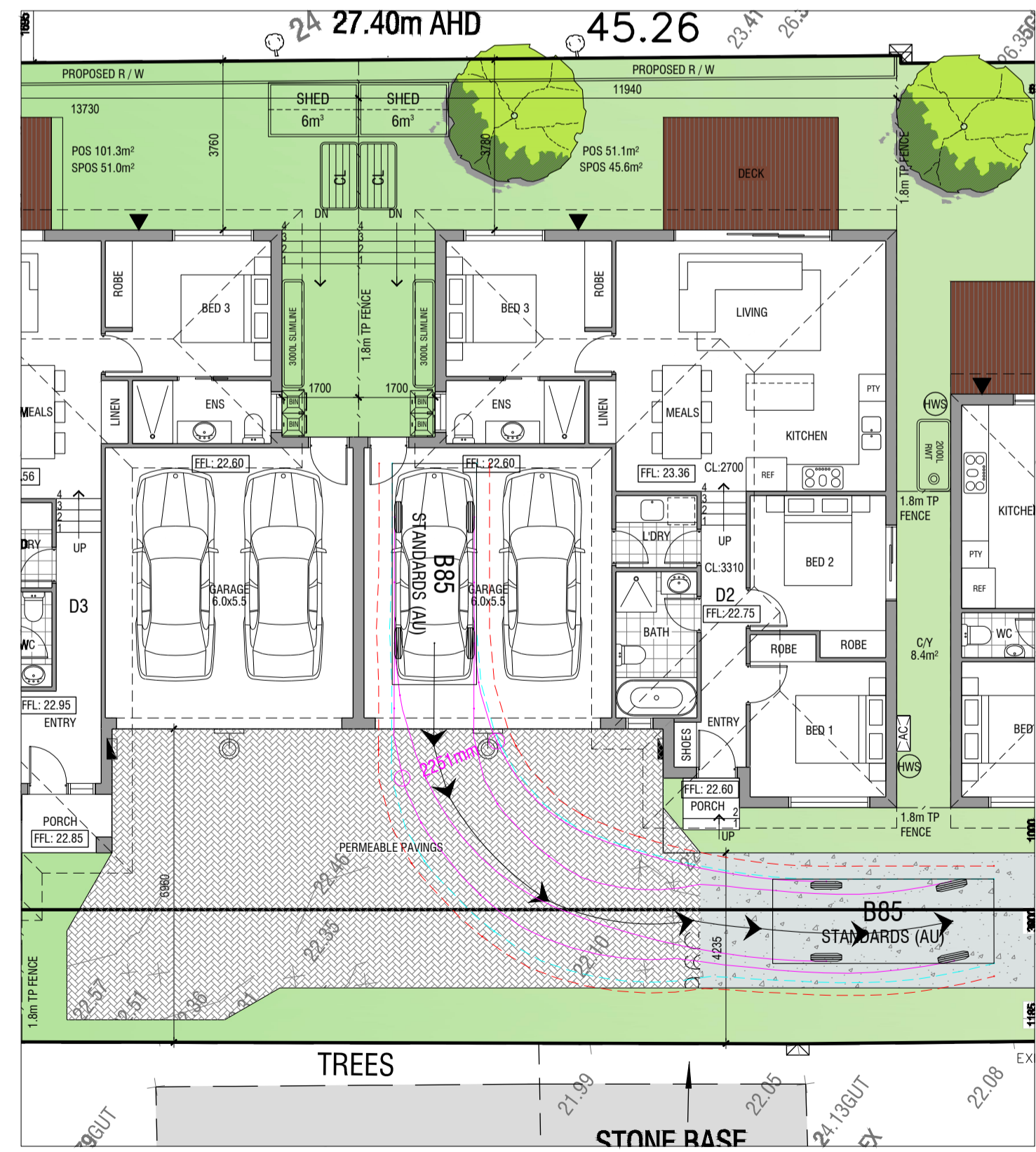
SWEPT PATH DIAGRAMS

UNIT DEVELOPMENT
19 PRESTON STREET,
DENNINGTON

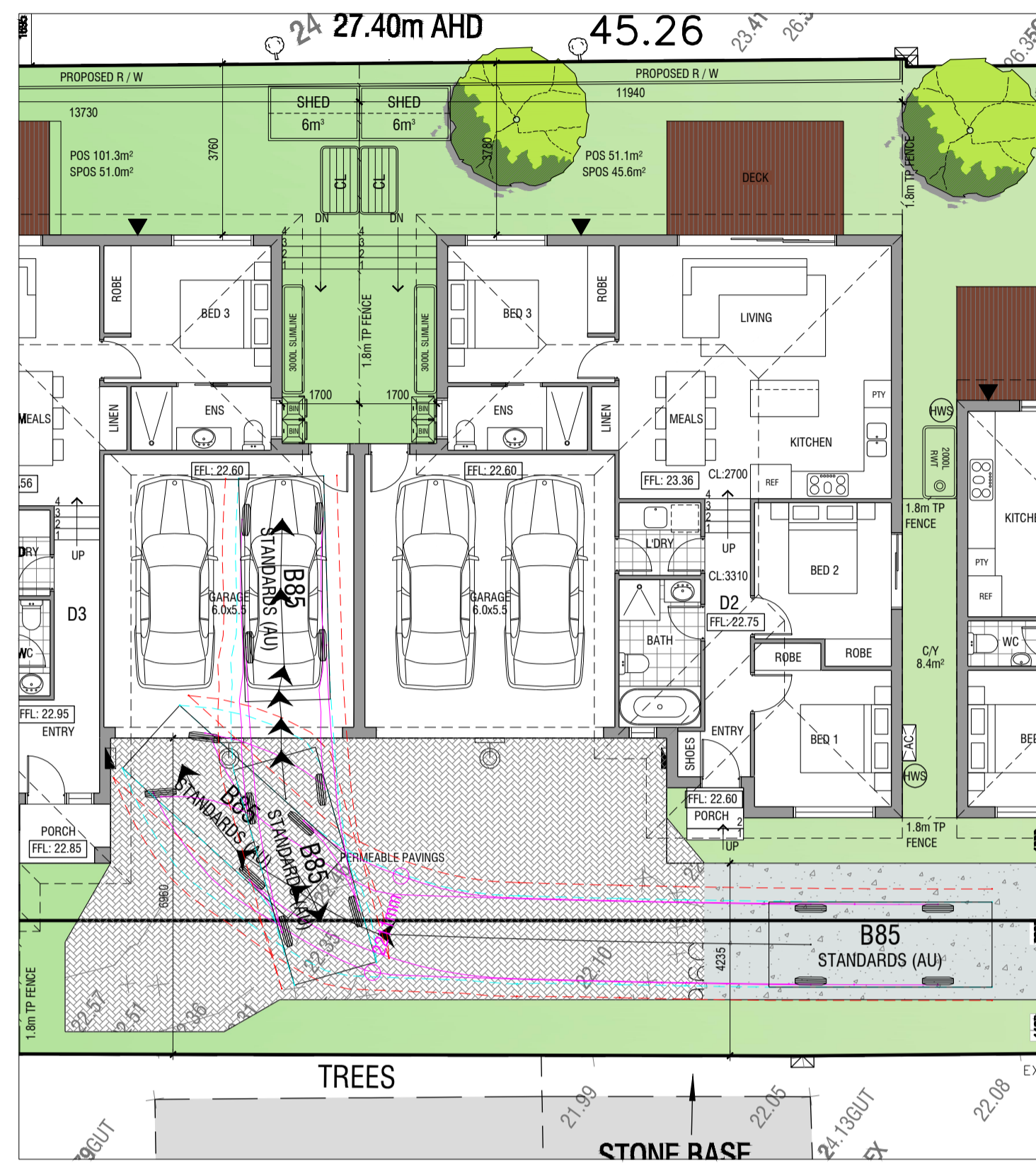
TP04
REV 8



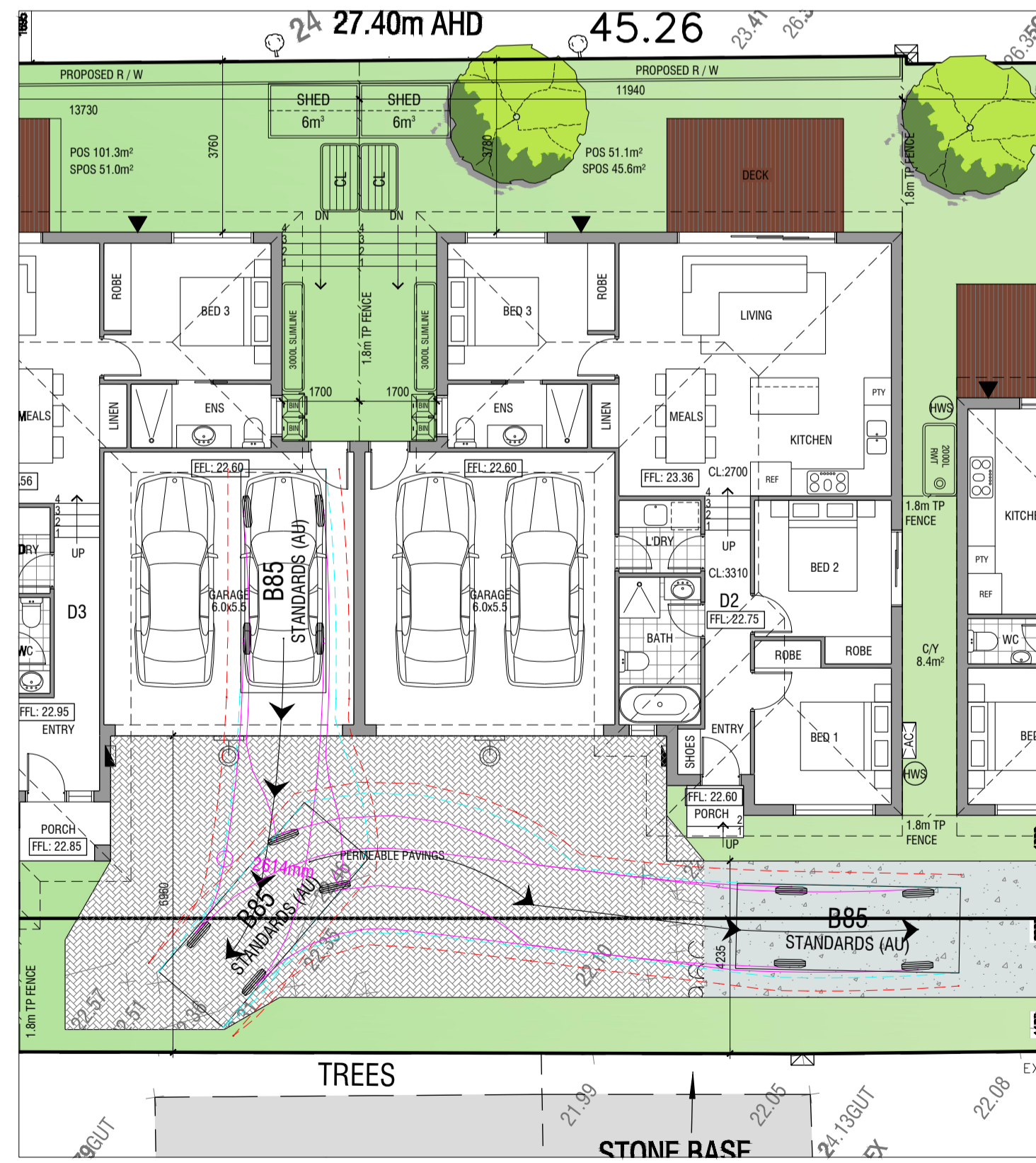
D2 CAR 2 ENTRY
SCALE 1:100



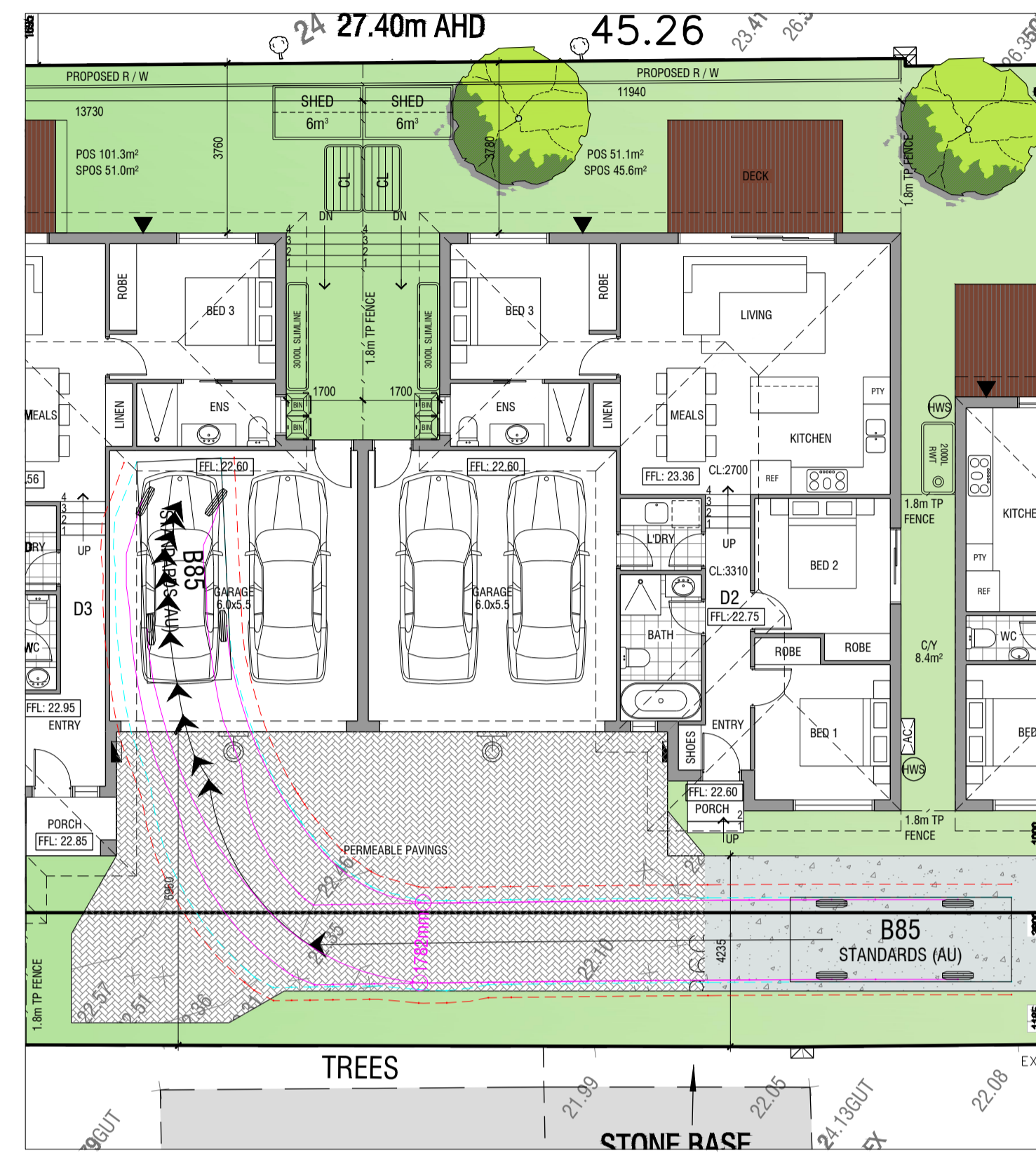
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SCALE 1:100



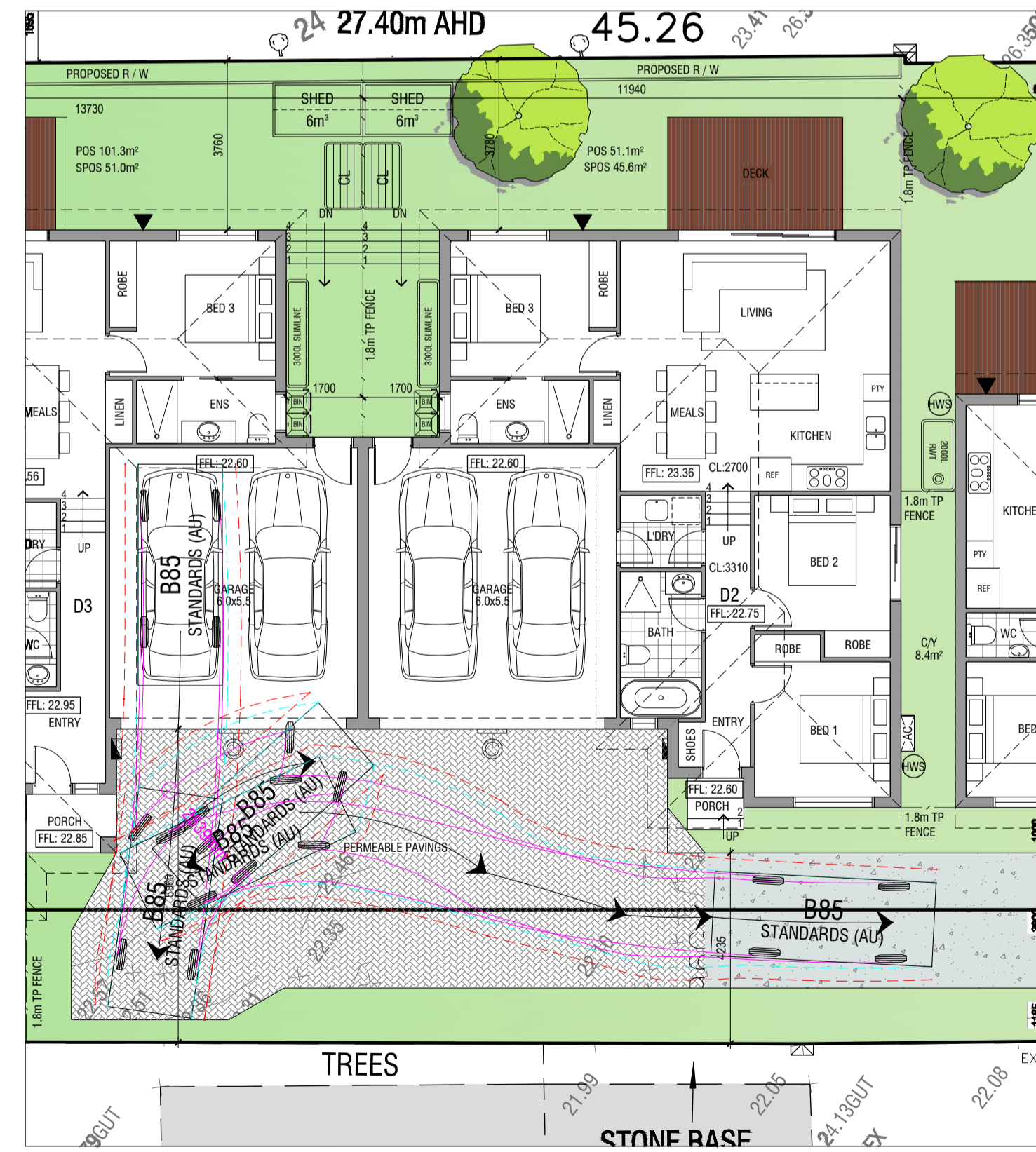
D3 CAR 1 ENTRY
SCALE 1:100



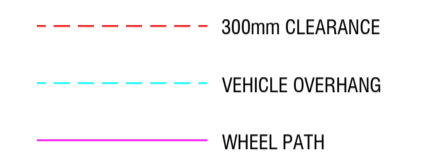
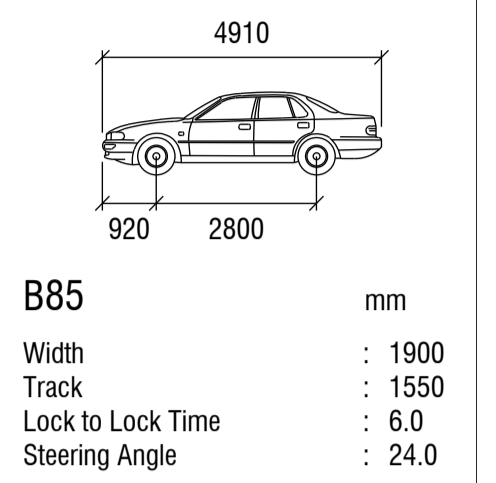
D3 CAR 1 EXIT
SCALE 1:100



D4 CAR 2 ENTRY
SCALE 1:100



D4 CAR 2 EXIT
SCALE 1:100



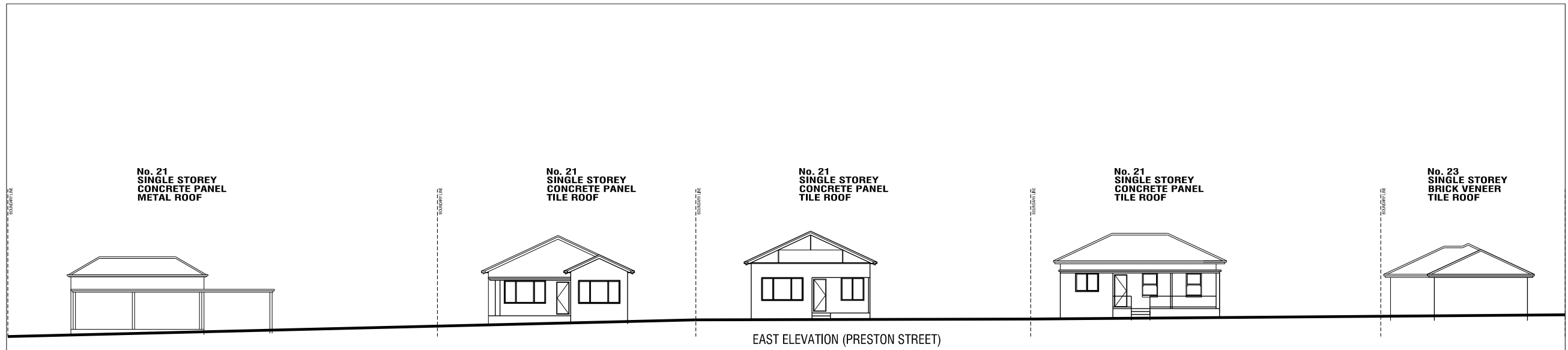
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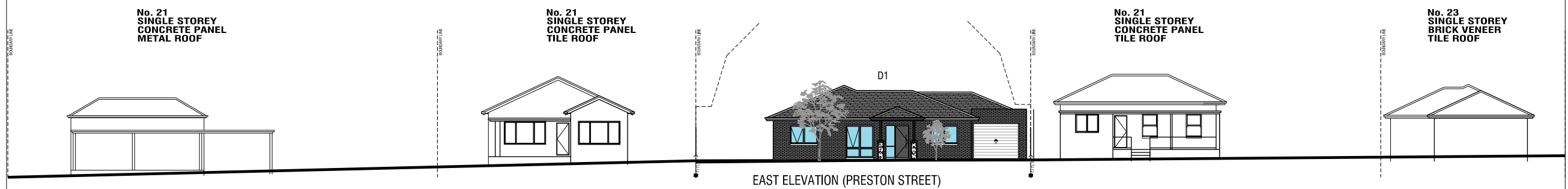
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SWEPT PATH DIAGRAMS
UNIT DEVELOPMENT
19 PRESTON STREET,
DENNINGTON
TP05
REV. 8



EAST ELEVATION (PRESTON STREET)

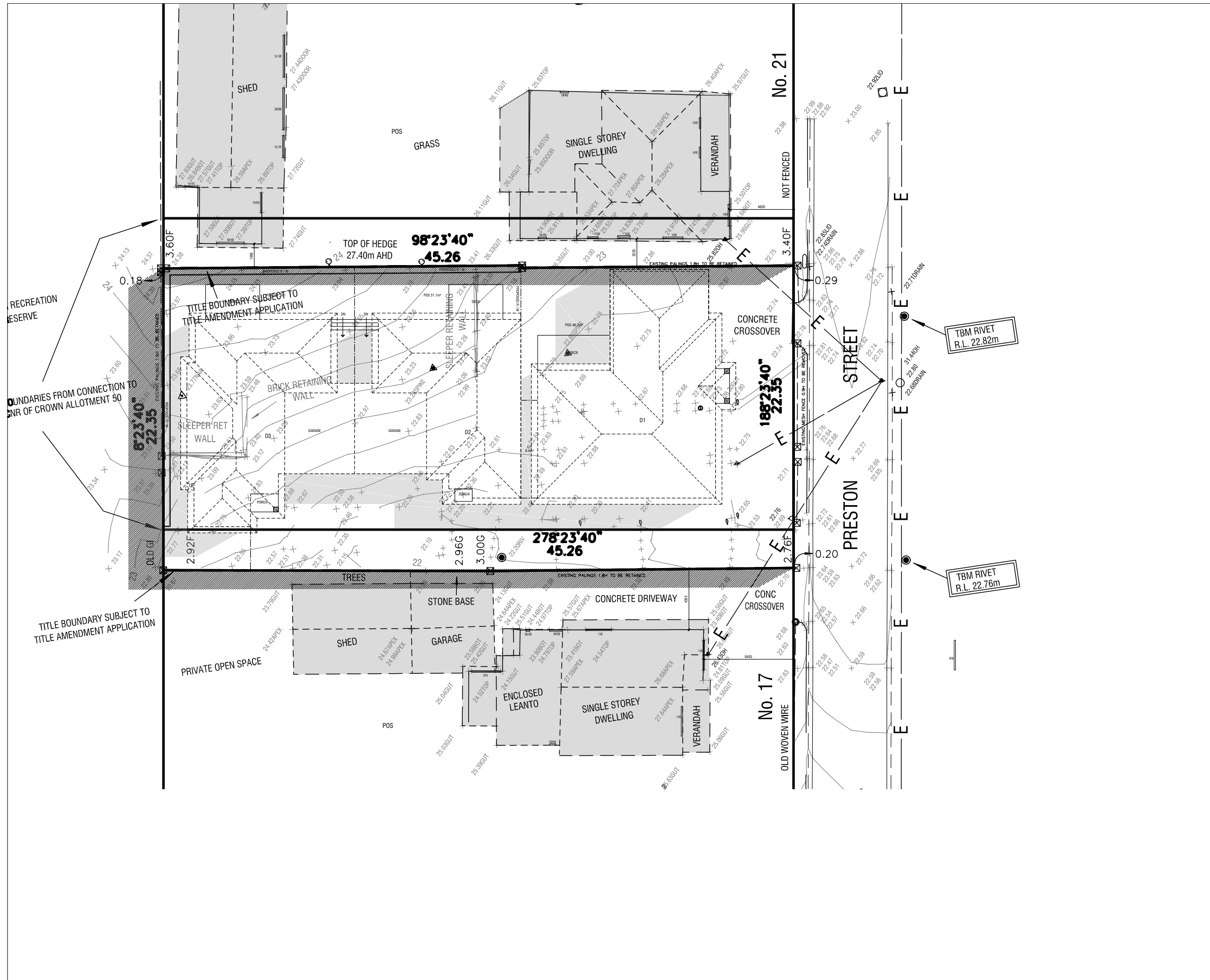
EXISTING ELEVATIONS



EAST ELEVATION (PRESTON STREET)

PROPOSED ELEVATIONS

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LEGEND

- PROPOSED SHADOWS
- EXISTING SHADOWS



NORTH
 SHADOW DIAGRAM 9AM
 22nd OF SEPTEMBER

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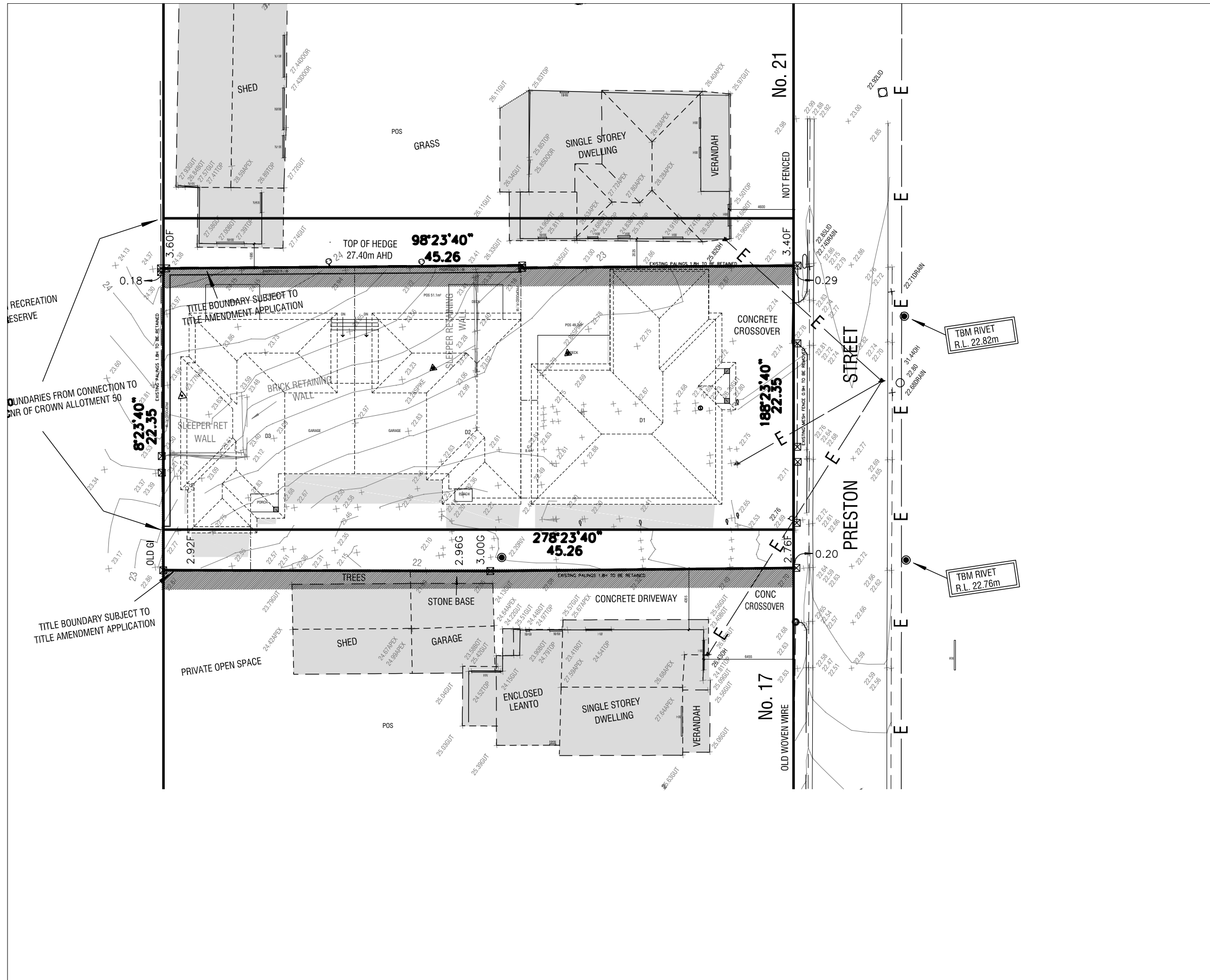
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PROPOSED SHADOW DIAGRAM

UNIT DEVELOPMENT
 19 PRESTON STREET, DENNINGTON

SD01
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LEGEND

- PROPOSED SHADOWS
- EXISTING SHADOWS



NORTH
 SHADOW DIAGRAM 12PM
 22nd OF SEPTEMBER

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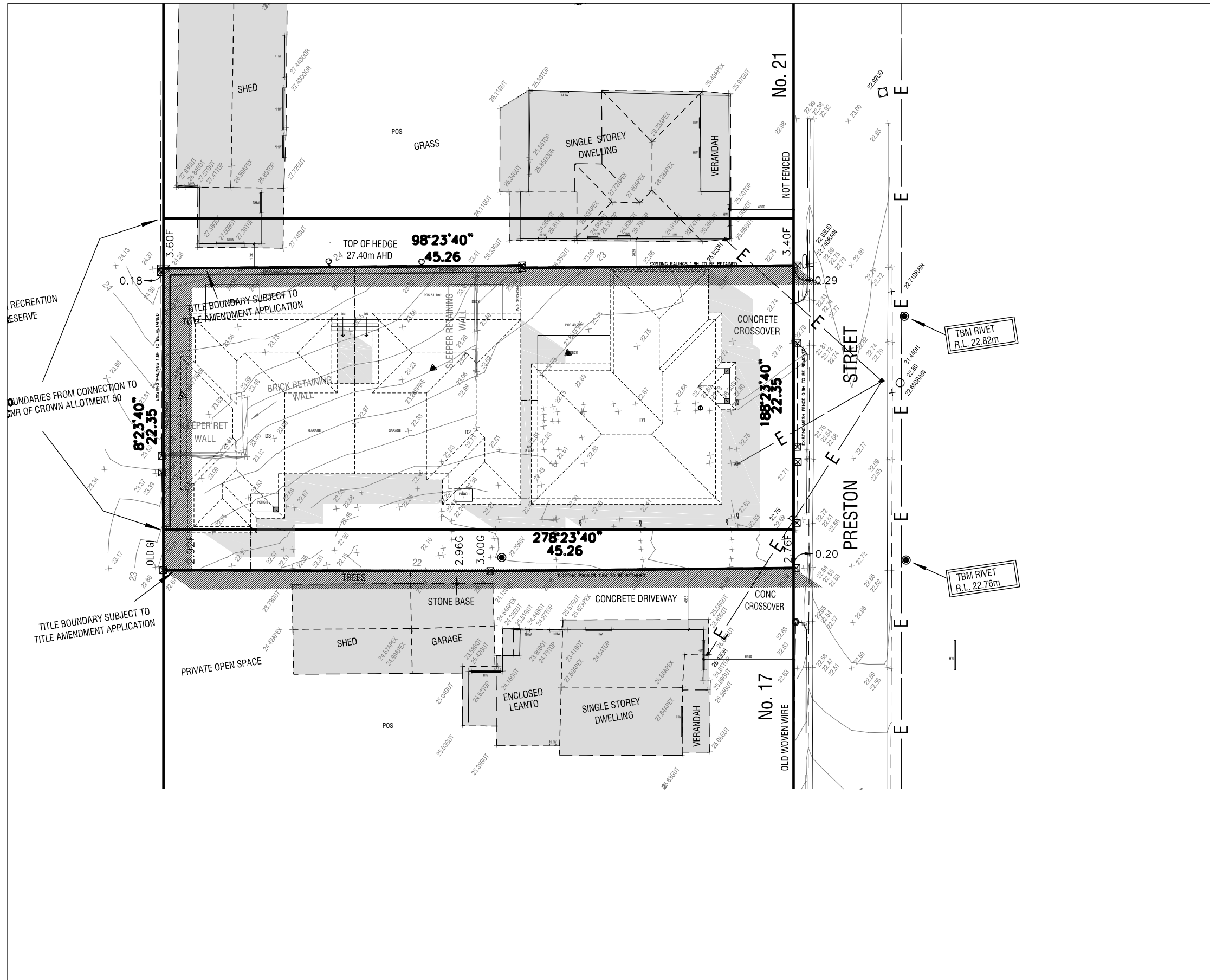
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PROPOSED SHADOW DIAGRAM

UNIT DEVELOPMENT
 19 PRESTON STREET, DENNINGTON

SD02
 REV-



LEGEND

- PROPOSED SHADOWS
- EXISTING SHADOWS



NORTH
 SHADOW DIAGRAM 3PM
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PROPOSED SHADOW DIAGRAM

UNIT DEVELOPMENT
 19 PRESTON STREET, DENNINGTON

SD03
 REV-

SPECIFICATIONS

SUBGRADE PREPARATION

SITE TO BE PREPARED IN ACCORDANCE WITH BEST HORTICULTURAL PRACTICE AND UNDER APPROPRIATE CONDITIONS. DISTURBANCE TO NATIVE SOIL STRUCTURE IS TO BE MINIMISED. THE USE OF MACHINERY THAT MAY DAMAGE SOIL STRUCTURE OR PROFILE IS NOT ACCEPTABLE. ALL LAWN AND PLANTED AREAS SUB-GRADE IS TO BE CULTIVATED TO A MINIMUM DEPTH OF 150MM. DRAINAGE FALLS TO BE SHAPED PRIOR TO TOP SOILING. TEST SUB GRADE TO BE TO DETERMINE PH, SALINITY AND GYPSUM REQUIREMENT PRIOR TO PREPARATION AND CONDITIONING. ANY GYPSUM REQUIRED IS TO BE DISTRIBUTED ACCORDING TO MANUFACTURERS RECOMMENDED RATE AND CULTIVATED INTO THE SUB-GRADE AT A MINIMUM DEPTH OF 150MM. TOPPING AREAS TO BE GRADED / DRAINED TO AVOID WATER DISCHARGE INTO ADJOINING PROPERTIES.

WEED CONTROL
 ENVIRONMENTAL WEEDS TO BE REMOVED AND DISPOSED OFF OF SITE PRIOR TO SUB-GRADE PREPARATION, TOPSOILING AND PLANTING WORKS.

SOIL PREPARATION
 SPREAD TOPSOIL IN MAXIMUM 150MM LAYERS, LIGHTLY COMPACTED BY USE OF A 150 - 200KG ROLLER, OR BY CAREFULLY WALKING UNTIL IT IS SETTLED AT FINISHED KERB LEVELS OR TO WITHIN 15MM BELOW EDGING LEVELS TO ACCOMMODATE MULCH. IMPORTED TOPSOIL FOR GARDEN BEDS IS TO BE MEDIUM TEXTURE GENERAL PURPOSE GARDEN SOIL AND LIGHTLY COMPACTED TO MINIMUM 300MM DEPTH TO GARDEN BEDS. SOIL IS TO COMPLY WITH AS 2223-1978, AND AS FOLLOWS:
 • FREE FROM PERENNIAL WEEDS AND THEIR ROOTS, BULBS AND RHIZOMES
 • FREE FROM BUILDING RUBBLE AND ANY OTHER MATTER DELETERIOUS TO PLANT GROWTH
 • PH TO BE 6.0-7.0
 • TEXTURE TO BE LIGHT TO MEDIUM FRABLE LOAM
 • FREE FROM SALT MATERIAL
 IMPORTED TOPSOIL FOR LAWN REJUVENATION / ESTABLISHMENT SHALL HAVE THE ABOVE CHARACTERISTICS, BUT SHALL BE A FREE DRAINING SANDY LOAM, LIGHTLY COMPACT TO MINIMUM DEPTH OF 100MM.

MULCH
 MULCH FOR GARDEN BEDS IS TO BE AN AGED ORGANIC MATERIAL WITH 60 - 80 PERCENT WOOD CHIPS PARTICLES IN A SIZE RANGE OF 25 - 50MM MAXIMUM BY VOLUME. SPREAD MULCH AT A CONSOLIDATED DEPTH OF 75MM.

PLANTING PROCEDURE
 FILL PLANTING HOLE WITH WATER AND ALLOW TO DRAIN COMPLETELY IF SOIL IS DRY. TREE ROOTS ARE TO BE TEASED OUTWARDS IN MATTED OR CIRCLING OCCURS PRIOR TO BACKFILLING. PLACE TREE IN CENTRE OF HOLE ON FIRM SOIL TO PREVENT SINKING. ENSURING TOP OF THE ROOTBALL IS FLUSH WITH THE SURROUNDING SOIL SURFACE AND THE TRUNK IS VERTICAL. BACKFILL MATERIAL IS TO BE IN A LOOSE, FRABLE STATE, WITH NO BIRDS, ROCKS OR FOREIGN MATERIAL - IF SUFFICIENT MATERIAL IS NOT AVAILABLE FROM THE ORIGINAL HOLE TO BACKFILL, A SIMILAR SOIL TYPE MUST BE SOURCED AND USED. PREVENT LARGE AIR POCKETS IN SOIL FROM OCCURRING BY FIRMLY BACKFILLING SOIL IN LAYERS THEN THOROUGHLY WATERED IN. TREES TO BE STAKED WITH TWO 255MM X 70MM HARDWOOD STAKES DRIVEN FIRMLY INTO THE GROUND. DO NOT PLACE STAKE THROUGH THE ROOTBALL AREA. TREES ARE TO BE SECURED TO EACH STAKE WITH A STRONG, SOFT AND FLEXIBLE MATERIAL, TIGHT ENOUGH TO SUPPORT THE TREE IN WINDY CONDITIONS BUT FLEXIBLE ENOUGH TO STIMULATE DEVELOPMENT OF A GOOD SUPPORTIVE ROOT SYSTEM. TREE TIE MATERIAL MUST NOT DAMAGE TREE BARK OR RESTRICT TRUNK GROWTH FOR A MINIMUM PERIOD OF THREE YEARS. SLOW RELEASE FERTILISER (98 MONTH FORMULATION) SUCH AS 1330000107 IS TO BE APPLIED TO THE TOP OF THE ROOTBALL AREA AWAY FROM THE TRUNK / STEM TO MANUFACTURERS SPECIFICATIONS AND WATERED IN IMMEDIATELY. ALL TREES TO BE MULCHED TO A DIAMETER OF 1200MM WIDE AND TO A DEPTH OF 100MM BUT MUST NOT BE IN CONTACT WITH THE TREE TRUNK. MULCH IS TO BE AN AGED ORGANIC MATERIAL WITH 60 - 80 PERCENT OF ITS VOLUME BEING WOOD CHIP PARTICLES IN A SIZE RANGE OF 25 - 50MM MAXIMUM. MULCH IS TO BE SPREAD AT A CONSOLIDATED DEPTH OF 75MM. THE PLANTING HOLE SURFACE IS TO BE SHAPED TO MINIMISE WATERLOGGING/EXCESSIVE WATER RETENTION BUT RETAIN THE MULCH MATERIAL NEATLY. THE SITE MUST BE LEFT IN A CLEAN AND SAFE CONDITION.

PLANT ESTABLISHMENT PERIOD
 THE LANDSCAPE IS TO BE MAINTAINED BY APPLYING BEST HORTICULTURAL PRACTICE TO PROMOTE HEALTHY PLANT PERFORMANCE FOR A 12 MONTH ESTABLISHMENT PERIOD FOLLOWING THE APPROVAL OF PRACTICAL COMPLETION BY THE RESPONSIBLE AUTHORITY INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING TASKS - PRUNING AS NECESSARY TO MAINTAIN PLANTS IN A HEALTHY AND STRUCTURALLY SOUND MANNER, PEST AND DISEASES - VEGETATION TO BE PEST AND DISEASE FREE. MULCHING, STAKING AND TYPING. MAINTAINING 750MM DEEP TRUNK PROTECTION THROUGHOUT MAINTENANCE PERIOD. WATER AS OFTEN AS NECESSARY TO ENSURE HEALTHY AND VIGOROUS GROWTH IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS. MAINTAIN WEED FREE STATE OVER THE ENTIRE MULCH AREA BY SPRAYING OR MECHANICAL WEEDING. FERTILISING - 36 X MONTHLY SLOW RELEASE FERTILISER IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED APPLICATION RATES. REPLACEMENT OF DECEASED, STOLEN OR VANDALISED PLANTS BEYOND REPAIR OR REGROWTH WITH THE SAME SPECIES AS SPECIFIED IN THE PLANT SCHEDULE WITHIN THE ASSIGNED MAINTENANCE PERIOD.

IRRIGATION
 IF APPLICABLE, INSTALL IN-GROUND AUTOMATIC DRIP IRRIGATION SYSTEM TO ALL GARDEN AREAS AND PLANTER BOXES IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS.

TIMBER EDGING
 TIMBER EDGING TO BE 75MM X 25MM TREATED PINE SECURED TO 200MM LONG TREATED PINE STAKES AT NOM. MIN 1000MM SPACINGS WITH GALVANISED SCREENS AND INSTALLED TO ALL JUNCTIONS BETWEEN GARDEN BEDS, LAWN AND TOPPING / PEBBLE AREAS.

DRAINAGE
 LANDSCAPE AND / OR BUILDING CONTRACTOR(S) ARE RESPONSIBLE FOR CIVIL AND HYDRAULIC COMPUTATIONS FOR LANDSCAPE BUILDING WORKS INCLUDING, BUT NOT LIMITED TO SURFACE AND SUB-SURFACE DRAINAGE FOR ALL LANDSCAPE AREAS PRIOR TO COMMENCEMENT OF WORKS.

GENERAL
 WHILE CARE HAS BEEN TAKEN TO SELECT TREE SPECIES WITH NON-INVASIVE ROOT SYSTEMS IT IS RECOMMENDED THAT ROOT CONTROL BARRIERS BE INSTALLED FOR ANY TREES LOCATED WITHIN TWO METRES OF ANY BUILDING LINES. CLIMBING PLANTS (IF APPLICABLE) ARE TO BE TRAINED TO SUPPORTIVE MESH, WIRE OR LATTICE FIXED OVER ENTIRE FENCE SECTION FROM BASE TO TOP.
 DO NOT SCALE FROM PLAN - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION

PLANTS - QUALITY OF TREES AND SHRUBS
 PROVIDE PLANTS AT SPECIFIED PLANT HEIGHTS AND POT SIZES. AT MINIMUM, PROVIDE LARGER STOCK IF PLANT MATERIAL IS UNAVAILABLE IN THESE SIZES. TREES AND SHRUBS SHALL BE HEALTHY NURSERY STOCK FREE FROM PESTS, INSECTS, DISEASES AND WEEDS. SUBSTITUTE PLANS ARE NOT ACCEPTABLE UNLESS DEEMED ACCEPTABLE BY THE RESPONSIBLE AUTHORITY IN WRITING. SEMI-MATURE TREES TO BE DELIVERED TO MEET THE FOLLOWING CRITERIA: HAVE A MINIMUM PLANTED HEIGHT TO SIZES AS INDICATED IN THE PLANT SCHEDULE. HAVE A MINIMUM TRUNK CALLIPER OF 50MM AT GROUND LEVEL. BE UNDAUNTED AND FREE OF DISEASES AND INSECT PESTS. NOT BE ROOT BOUND OR HAVE CIRCLING OR GIRDLING ROOTS BUT HAVE ROOTS GROWN TO THE EDGE OF THE CONTAINER. SHOULD BEAR A SINGLE STRAIGHT TRUNK, STRONG BRANCHING PATTERN, AND FULL CANOPY. SHOW HEALTHY, VIGOROUS GROWTH.

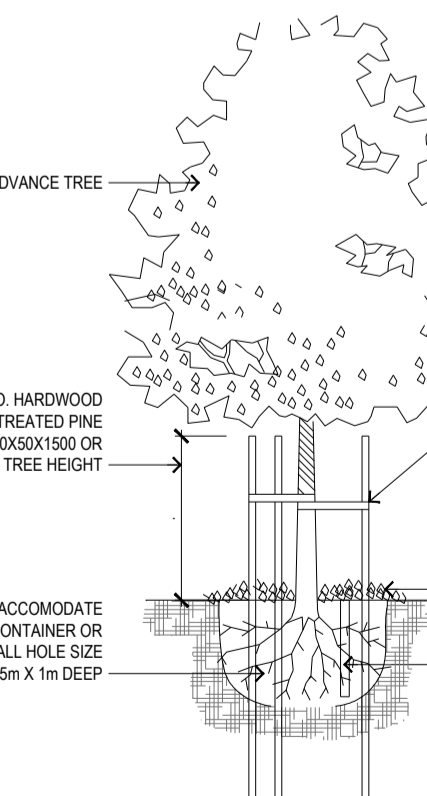
PROTECTION OF EXISTING TREES
 ALL EXISTING VEGETATION SHOWN ON THE ENDORSED PLAN ON BOTH SUBJECT SITE AND NEIGHBOURING PROPERTIES TO BE RETAINED MUST BE SUITABLY MARKED AND PROTECTED (IF REQUIRED) PRIOR TO COMMENCEMENT OF DEVELOPMENT ON SITE INCLUDING DEMOLITION. VEGETATION MUST NOT BE REMOVED, DESTROYED OR LOPPED WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY. BEFORE THE COMMENCEMENT OF WORKS INCLUDING DEMOLITION, TREE PROTECTION BARRIERS MUST BE ERECTED AROUND TREES ON BOTH SUBJECT SITE AND ADJOINING PROPERTIES TO FORM A DEFINED TREE PROTECTION ZONE DURING DEMOLITION AND CONSTRUCTION IN ACCORDANCE WITH TREE PROTECTION MEASURES AS PER AS 4970-2009. ANY REQUIRED PRUNING MUST BE CARRIED OUT BY A TRAINED AND COMPETENT ARBORIST WITH A THOROUGH KNOWLEDGE OF TREE PHYSIOLOGY AND PRUNING METHODS. PRUNING TO BE CARRIED OUT AS PER AS 4373-2007. ALL TREE PROTECTION PRACTICES MUST MEET THE REQUIREMENTS OF A CONSULTING ARBORIST AND / OR TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

LEGEND

	PROPOSED DECIDUOUS TREES		PROPOSED GARDEN BEDS
	PROPOSED EVERGREEN TREES		PROPOSED TILES AREAS
	PROPOSED EVERGREEN SHRUBS		PROPOSED PERMEABLE PAVED AREAS
	PROPOSED CLIMBERS		PROPOSED LAWN AREAS
	EXISTING TREES TO BE RETAINED AND PROTECTED		PROPOSED WASHING LINE
	EXISTING TREES TO BE REMOVED		PROPOSED PAVER STEP-STONES
	PROPOSED LAWN AREAS		PROPOSED 6m STORAGE SHED
	PROPOSED CONCRETE DRIVEWAY		PROPOSED BIN STORAGE AREA
	PROPOSED TOPPING AREAS		PROPOSED 6m STORAGE SHED
	PROPOSED TOPPING AREAS		PROPOSED 6m STORAGE SHED

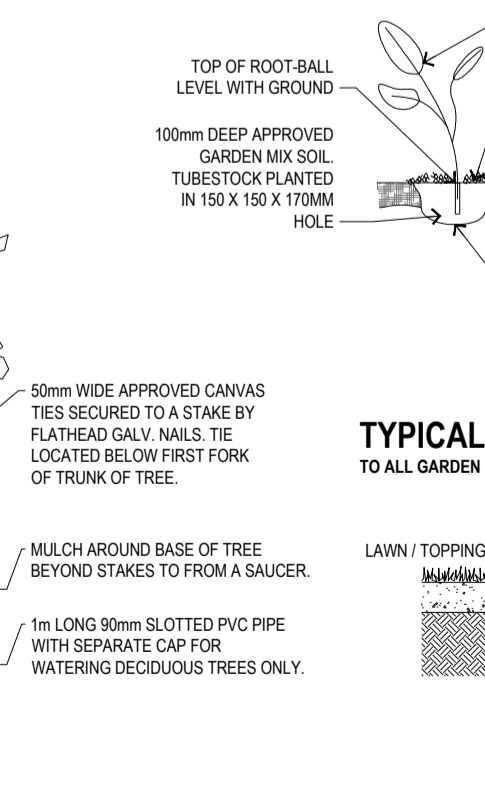
ADVANCE TREE PLANTING

DETAIL NOT DRAWN TO SCALE



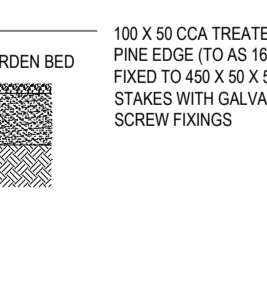
SHRUB PLANTING

DETAIL NOT DRAWN TO SCALE



TYPICAL TIMBER EDGE DETAIL

TO ALL GARDEN BEDS AND LAWN / TOPPING EDGE



SURFACE FINISH DETAIL

GARDEN BEDS	75mm ORGANIC PINE BARK MULCH
	400mm APPROVED MEDIUM LOAM SOIL
	MIN 150mm DEEP ROTARY HOED SUBGRADE
TOPPING AREAS	40mm COMPACTED SELECTED TOPPING
	75mm COMPACTED FOR BASE (AND COMPACTED BASE AROUND BASE OF EXISTING TREES)
	SUBGRADE
LAWN AREAS	STRATHAVAR WALKER SOFT LEAF BUFFALO OR SIMILAR INSTANT LAWN
	175mm APPROVED SANDY LOAM SOIL
	MIN 150mm DEEP ROTARY HOED SUBGRADE
PERMEABLE PAVING AREAS	50-80mm SELECTED PERMEABLE PAVERS
	50mm BEDDING COURSE BASE & AGGREGATE
	200mm NO FINE AGGREGATE COMPACTED FOR BASE (NO COMPACTED BASE AROUND BASE OF EXISTING TREES)
	SUBGRADE

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	QTY	SUPPLY SIZE	MATURE H x W
	EY	EUCALYPTUS POLYANTHEMOS	RED BOX	5	40tr / MIN 1.8m HIGH	15m X 8m
	AL	ACACIA IMPLEXA	LIGHTWOOD	1	40tr / MIN 1.8m HIGH	10m X 5m
	CKP	CALLISTEMON KING PARK	BOTTLEBRUSH	3	20cm POT	4m X 2m
	SA	SUYZYGM AUSTRALIS BACKYARD BLISS	LILY PLY	6	20cm POT	3.5m X 1.2m
	SBC	S AUSTRAL 'SLUSH CHRISTMAS'	HEDGING LILLY PLY	5	20cm POT	4.5m X 2.3m
	PT	PHYTOSPORUM TENUIFOLIUM	PHYTOSPORUM JAME STRILING	2	20cm POT	3.5m X 1.5m
SHRUBS						
	DL	DIANELLA LONGIFOLIA	SMOOTH FLAX LILLY	55	14cm POT	.8m X 6m
	DCC	DIANELLA CAERULA 'CASSA BLUE'	CASSA BLUE FLAX LILLY	57	14cm POT	0.4m X 0.4m
	DCB	DIANELLA CAERULA 'BREEZE'	BREEZE FLAX LILLY	73	14cm POT	.7m X .85m
TUSSOCKS/ GRASSES/ EVERGREEN PERENNIALS						

NORTH

ALL LEVELS SHOWN ARE TO AHD.

Revisions

REV A	16.02.2022	ISSUE FOR TP SUBMISSION
REV B	22.08.2022	ISSUE FOR COUNCIL SUB

DO NOT SCALE FROM DRAWINGS
 THESE DRAWINGS REMAIN THE PROPERTY OF PLANNING & DESIGN P/L
 TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS
 THESE ARE SUBJECT TO LOCAL REGULATIONS

PLANNING & DESIGN

PLANNING & DESIGN P/L
 31 Enfield Ave, Preston 3072 Ph: 9018 1529
 E: admin@planninganddesign.com.au

DATE	SCALE	DRAWN	CHK	PROJECT No.
JAN 2022	1:1000(A1)	CM		

LANDSCAPE PLAN

UNIT DEVELOPMENT
 19 PRESTON STREET,
 DENNINGTON. LP
 REV 8

WATER SENSITIVE URBAN DESIGN NOTES:

ALL DRAINAGE TO BE DESIGNED AND CERTIFIED BY AUTHORIZED DRAINAGE ENGINEER

EACH RAINWATER TANK IS TO BE CONNECTED TO ALL TOILETS IN EACH DWELLING

GRAVITY FED OR FULLY CHARGED SYSTEM IS NECESSARY TO ACHIEVE THE MINIMUM ROOF CATCHMENT AREA IN ACCORDANCE WITH STORM REQUIREMENTS.

TANK OVERFLOW MUST BE TAKEN TO L.P.D.

RAINWATER TANKS ARE EXCLUDE AND INDEPENDENT OF ANY DETENTION REQUIREMENTS.

GRAVITY FED SYSTEM TO BE USED WHEN HARVESTING STORMWATER FROM ROOF TO RAIN GARDEN.

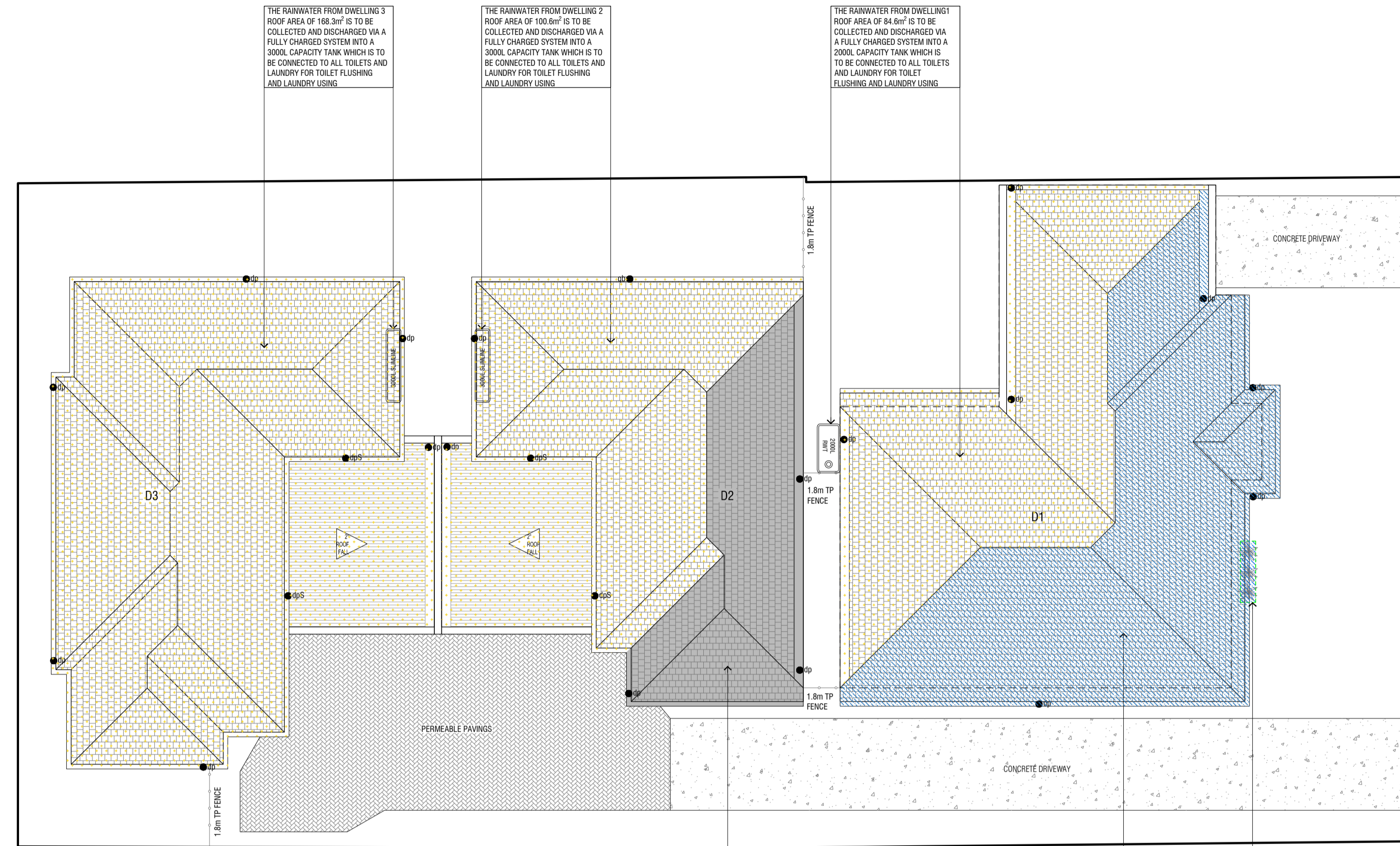
RAINGARDENS TO BE BUILT MINIMUM 300MM FROM ADJOINING FOOTINGS

BUILD THE RAIN GARDEN CLOSE TO THE WATER SOURCE. THIS WILL HELP MINIMISE THE ADDITIONAL PLUMBING NEEDED TO BRING WATER TO THE RAIN GARDEN.

RAINGARDEN MUST BE FULLY LINED AND HAVE OVERFLOW PLUMBED INTO THE STORMWATER SYSTEM.

FOR EXCAVATION AND CLEARANCE REFER TO BUILDING A RAINGARDEN INSTRUCTION SHEET, RAINGARDENS MUST BE BUILT TO MELBOURNE WATER REQUIREMENTS

THE FINAL DESIGN OF THE STORMWATER SYSTEM WILL MEET COUNCIL DRAINAGE ENGINEERS' REQUIREMENTS. THE DESIGNED SYSTEM COMPLIES WITH MELBOURNE WATER STORM REQUIREMENTS THAT MEETS VICTORIAN BEST PRACTICE STORMWATER GUIDELINES



LEGEND

- CONCRETE DRIVEWAY
- ROOF AREA TO RAINGARDEN
- UNTREATED AREA
- PERMEABLE SURFACE
- ROOF AREA TO RAINWATER TANK
- 2000L WATER TANK TO TREAT SELECTED ROOF AREA. CONNECT WATER TANK TO ALL SANITARY FLUSHING
- VEGETATED AREA
- RAINGARDEN LOCATION
- PROPOSE DOWN PIPE LOCATION
- PROPOSE DOWN PIPE WITH SPREADER

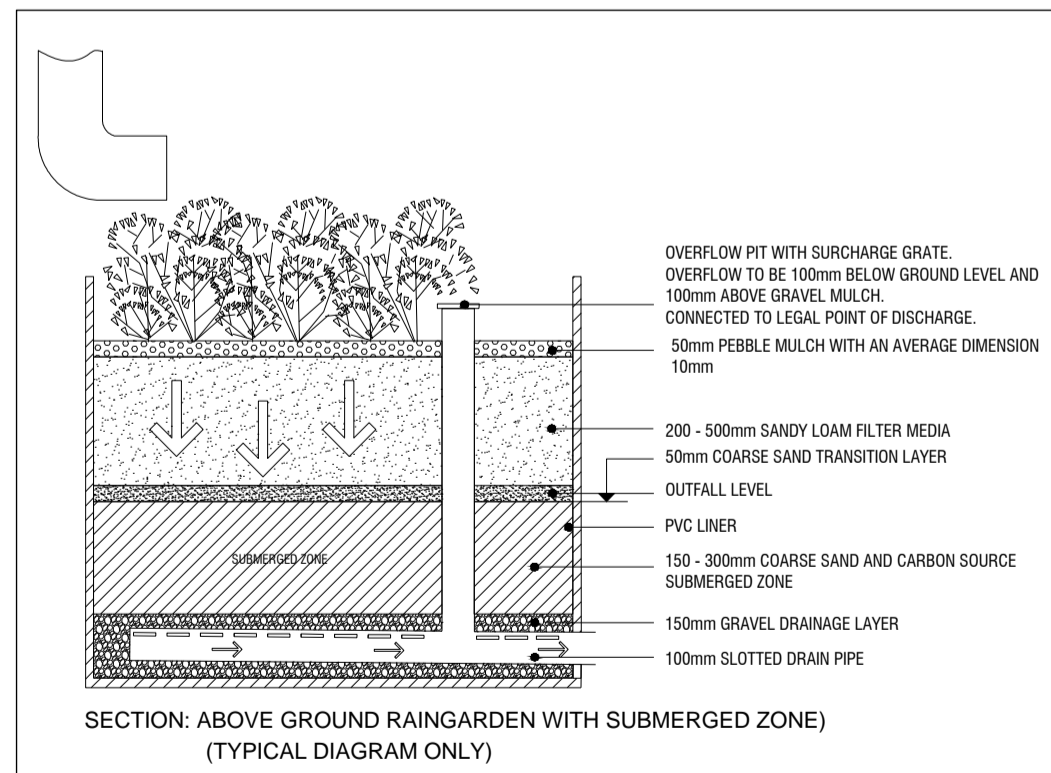
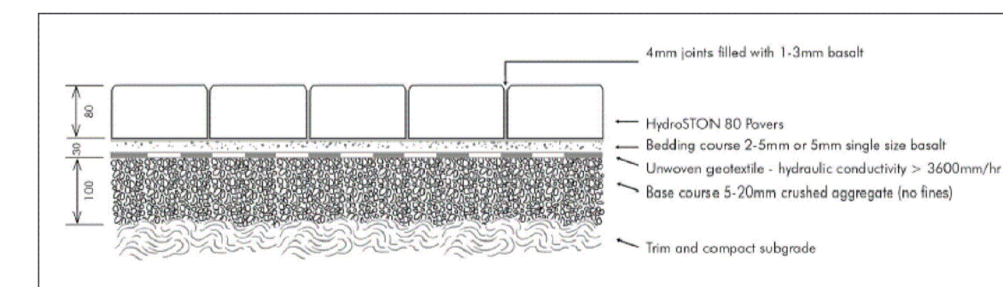
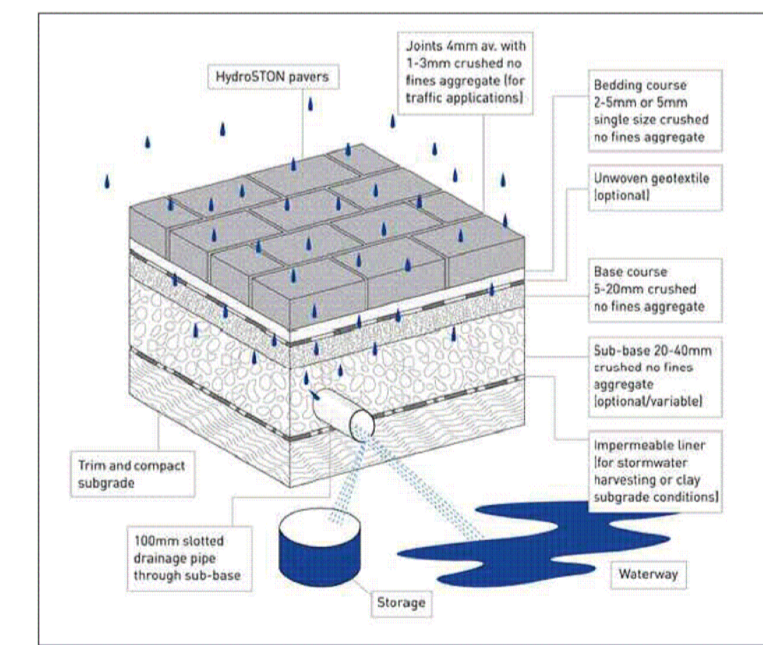
MAINTENANCE GUIDELINES (EVERY 3-6 MONTHS)

RAINWATER TANKS:	TO BE INSPECTED. INLET TO BE CLEANED REGULARLY. IF SLUDGE IS PRESENT, TANKS MUST BE DRAINED BY PROFESSIONAL PLUMBER AND CLEANED
GUTTERS AND DOWNPIPES:	TO BE INSPECTED AND CLEANED REGULARLY.
FIRST FLUSH DEVICES:	IF APPLICABLE, TO BE INSPECTED AND CLEANED REGULARLY.

RAINGARDEN MAINTENANCE

<ul style="list-style-type: none"> - WATER TO PROMOTE PLANT GROWTH AND SURVIVAL, ESPECIALLY DURING THE FIRST TWO YEARS AND DURING DRY SPELLS. - INSPECT SITE FOLLOWING RAINFALL EVENTS. ADD/REPLACE VEGETATION IN ANY ERODED AREAS. 	AS NEEDED (FOLLOWING CONSTRUCTION)
<ul style="list-style-type: none"> - PRUNE AND WEED SWALE TO MAINTAIN APPEARANCE. - REMOVE ACCUMULATED TRASH AND DEBRIS. - REPLACE MULCH AS NEEDED. 	REGULARLY (MONTHLY)
<ul style="list-style-type: none"> - INSPECT INFLOW AREA FOR SEDIMENT ACCUMULATION. REMOVE ANY ACCUMULATED SEDIMENT OR DEBRIS. - INSPECT SITE FOR EROSION AS WELL AS SEDIMENT AND MULCH WHICH HAVE BEEN MOVED AROUND IN THE GARDEN. ADD/REPLACE VEGETATION IN ANY ERODED AREAS. - INSPECT RAIN GARDEN FOR DEAD OR DYING VEGETATION. REPLACE VEGETATION AS NEEDED. - TEST PLANTING BED FOR PH. IF THE PH IS BELOW 5.2, LIMESTONE SHOULD BE APPLIED. IF THE PH IS ABOVE 8.0, IRON SULFATE AND SULFUR SHOULD BE APPLIED. 	ANNUALLY (SEMI-ANNUALLY DURING FIRST YEAR)
<ul style="list-style-type: none"> - REMOVE AND REPLACE MULCH. 	EVERY 2 TO 3 YEARS

PERMEABLE PAVER DETAILS
REFER TO HYDROSTON FOR SPECS AND INSTALLATION DETAILS



Melbourne Water STORM Rating Report

TransactionID: 1391902
Municipality: WARRNAMBOOL
Rainfall Station: WARRNAMBOOL
Address: 19 PRESTON STREET, DENNINGTON VIC 3280
Assessor: AARON WU
Development Type: Residential - Multiunit
Allotment Site (m2): 1,011.60
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
D1 ROOF - TANK	84.60	Rainwater Tank	2,000.00	5	158.50	82.00
D1 ROOF - UNTREATED	100.10	Raingarden 100mm	1.00	0	120.75	0.00
D2 ROOF - TANK	100.60	Rainwater Tank	3,000.00	4	151.10	86.00
D2 ROOF - UNTREATED	45.20	None	0.00	0	0.00	0.00
D3 ROOF - TANK	168.30	Rainwater Tank	3,000.00	4	106.60	94.60
DRIVEWAY - UNTREATED	90.20	None	0.00	0	0.00	0.00

Date Generated: 14-Jun-2022
Program Version: 1.0.0

PLANNING & DESIGN

31 Enfield Ave, Preston 3072 Ph: 9018 1529
E: admin@planninganddesign.com.au

DATE: 14 JUN 2022 SCALE: 1:1000 UNIT: CM PROJECT NO: WARRNAMBOOL WATER SENSITIVE URBAN DESIGN

UNIT DEVELOPMENT 19 PRESTON STREET, DENNINGTON **WSUD** REV_8

From: [Aaron Wu](#)
To: [Town Planning](#)
Cc: [Daniel](#)
Subject: 19 PRESTON STREET, DENNINGTON (APP NO.: PP2022-0052)
Date: Wednesday, 10 August 2022 1:09:25 PM
Attachments: [19 PRESTON STREET, DENNINGTON - Respond to OB - 20220810-Model.pdf](#)

CAUTION: This email originated from outside of Warrnambool City Council. Do not follow guidance, click links, or open attachments unless you recognise the sender and know the content is safe.

Dear Salman,

I hope you are doing well.

We reviewed the objections and understood that the major concerns raised by the objectors could be concluded as follow:

- Car Parking spaces concerns
- Safety/Increased local traffic, in terms of an additional crossover proposed
- Change of streetscape
- Rubbish picks up

Kindly see our response to the above-mentioned concerns below:

- **Insufficient car parking spaces within the development**

Each proposed dwelling equipped with two car parking spaces which complies with the Planning Scheme Clause 52.06-5 requirements - to each three or more bedrooms dwelling. 2 car parking spaces must be provided. We thus believe that the proposed development has sufficient car parking spaces.

- **Safety/Increased local traffic - in terms of an additional crossover proposed**

The proposed development has taken into account the safety impact of the proposed additional crossing to the northern boundary. The additional crossing that only serves Dwelling 1. Hence, both crossing incorporate a sight triangle to ensure there is no obstruction of view to the pedestrian footpath when exiting the site. Thus, we believe that the proposed development will not impose any threat to local traffic.

- **On-street parking**

In terms of on-street parking, this is irrelevant to be the town planning application, however, there are adequate car parking spaces within the proposed development that is complied with Clause 52.06 under the Planning Scheme.

The distance between the additional crossover and the existing crossover at Preston Street is at 14.07 metres, it allows sufficient space for off-street parking (2 cars).

- **Change of streetscape/neighbourhood character**

The subject site is within a General Residential Zone Schedule 1, where the council encourage diversity of housing type and housing growth particularly in locations offering good services and transport. The subject site locates whin close proximity to the Woolworths as well as the Princes Hwy, therefore, 3 Units development on a lot that is over 1000sqm is considered appropriate under the General Residential Zone Schedule. The proposal will provide a diverse housing type (3- or 4-bedroom single dwelling) to the neighbourhood that will meet the need of the growing population in Dennington and provide affordable housing within the local community. Hence the proposed built form, in terms of careful selection of materials - the use of brick and rendered finished as well as the pitched roof form will help the proposed development blend well into the streetscape. The orientation of the townhouses with the presentation of one house to the street front while the other two units will be hidden behind will help in keeping the street rhythm as well. Therefore, we believe that the proposed development fits well into the streetscape.

- **Rubbish picks up**

Please refer to the Ground Floor Plan, we show the collection bins spaces along the frontage(1 meter between the bins). Therefore, we believe that it is not affected the council bins collection.

Last but not least, a drainage plan will be provided for this development to ensure that the proposed development will not impose any negative impact over the existing drainage system.

We believe that the above-mentioned response addresses the concerns raised across the objections.

Should you have any questions, please do not hesitate to contact us.

Appreciate your help.

Kind Regards,

Aaron Wu

In light of the recent coronavirus outbreak, our office is taking precautionary steps to avoid further spread. Our staff will be working from home until further notice. We will still be open from the normal 9- 5 hours. Please however expect delays as we promptly get back to you as soon as possible. Thanks for your patience and hope you have a lovely day.



Ph: 9018 1529

E-mail: Aaron@planninganddesign.com.au

Address: 31 Enfield Avenue, Preston 3072

Office Opening Hours: 9:00am – 5:30pm Monday to Friday.

This email is confidential and may contain legally privileged information.
If you are not the intended recipient, you must not disclose or use the information
contained within this email.



LEGEND

	1M ² RAINGARDEN		HOT WATER SYSTEM
	2000L WATERTANK TO TREAT SELECTED ROOF AREA. CONNECT WATER TANK TO ALL SANITARY FLUSHING		AIR-CONDITIONER
	ELECTRICITY METER		CLOTH LINE
	LIGHTING SENSOR ABOVE		1.8M HIGH TIMBER PAILING FENCE
	TAP		RETAINING WALL
	GAS AND WATER METER		PROPOSE DOWN PIPE LOCATION
			DOWN PIPE WITH SPREADER

AREA SCHEDULE:

UNIT	GROUND FLOOR AREA:	GARAGE:	PORCH:	TOTAL AREA:	TOTAL POS:	TOTAL SPOS:
UNIT 1	144.0 m ²	26.4 m ²	2.5 m ²	18.6 SO 172.9 m ²	150.5 m ²	47.1 m ²
UNIT 2	99.3 m ²	35.4 m ²	1.1 m ²	14.6 SO 135.8 m ²	59.5 m ²	45.6 m ²
UNIT 3	112.7 m ²	35.3 m ²	2.6 m ²	16.2 SO 150.6 m ²	101.3 m ²	51.0 m ²
SITE	SITE AREA:	SITE COVERAGE:	SITE PERMEABILITY:	GARDEN AREA REQ:		
	1011.6 m ²	45.3%	458.4 m ²	35.2%	356.5 m ²	

NORTH

ALL LEVELS SHOWN ARE TO AHD.

Revisions

Rev. #	16.02.2022	ISSUE FOR TP SUBMISSION
Rev. #	27.06.2022	ISSUE FOR COUNCIL'S REF.

PLANNING & DESIGN P/L

31 Enfield Ave, Preston 3072 Ph: 9018 1529
E: admin@planninganddesign.com.au

DATE	DRAWN	CHECK	PROJECT No.
JAN 2022	1:000/0A1	CM	

GROUND FLOOR PLAN

UNIT DEVELOPMENT
19 PRESTON STREET,
DENNINGTON

TP01
REV_8



Delegate Planning Assessment Report

Application Details:

Application is for:	Construction of three (3) dwellings (following demolition of existing)
Applicant's/Owner's Name:	Planning and Design Pty Ltd 31 Enfield Ave PRESTON VIC 3072
Date Received:	10 March 2022
Statutory Days:	147 @ 16 November 2022
Application Number:	PP2022-0052
Planner:	Nick Legoe – Senior Statutory Planner
Land/Address:	ALLOT Lot 1 TP 961744Y PSH WAN TSH DENN 19 Preston St DENNINGTON VIC 3280
Zoning:	General Residential Zone – Schedule 1
Overlays:	Nil
Under what clause(s) is a permit required?	Clause 32.08-6 – Construction of two or more dwellings on a lot.
Restrictive covenants on the title?	Nil
Current use and development:	Single Dwelling

Proposal

The proposal is for the construction of three single storey dwellings on the site. Details of the development are as follows.

- Three single storey dwelling sited in a one behind the other layout.
- Two, three bedroom dwelling and one, four bedroom dwelling.
- The development will have the following minimum setbacks.
 - 5.6 metres from the front property boundary.
 - On boundary construction to the northern (side) boundary.
 - 3.13 metres from the southern (side) boundary.
 - 1.69 metres from the western (rear) boundary.
- The development will have a site coverage of 45.3 percent.
- 42.4 percent of the site will be permeable.
- 35.2 percent Garden Area will be provided.
- Vehicle access will be via two crossovers. The northern crossover will provided access to Dwelling 1 while the southern crossover (existing) will provide access to dwelling 2 and dwelling 3 via a common driveway extending along the southern side of the site.

- Each dwelling will be provided with two dedicated parking spaces. Dwelling 1 includes a single garage and second tandem space in the driveway, while Dwelling 2 and dwelling 3 are both provided with double garages.
- The dwellings are all traditional in style with pitched tiled roofs and a combination of brick and render walls.
- Landscaping is proposed throughout the site including within areas of secluded private open space and the common driveway area and includes six new canopy trees.

Subject site & locality

An inspection of the site and the surrounding area has been undertaken.

The subject site is located on the western side of Preston Street, three lots north of the intersection of Preston Street and Station Street. The site has a frontage to Preston Street of 22.35 metres, a depth of 45.26 metres and a total site area of 1,011.5 square metres. The site has a fall of approximately 1.3 metres from the rear to the front.

The site currently contains a single storey concrete panel tiled roof dwelling. The dwelling is setback 4.5 metres from Preston Street, 3.65 metres from the southern (side) boundary, 10.5 metres from the northern (side) boundary and 28 metres from the western (rear) boundary.

There are five small outbuilding located to the rear of the dwelling. Two outbuildings are immediately behind the dwelling with the other three located towards the south western corner of the site.

Vehicle access is via a single width crossover located to the south of the frontage. It is also noted that there is a second crossover located to the norther side of the frontage.

Landscaping is minimal consisting predominantly of lawn with the occasional small shrub.

The front boundary is defined by a 0.9 metre high timber fence.

There is no infrastructure within the verge in front of the site with it noted that the street kerb is located approximately 1 metre from the property boundary. There are also no parking restrictions on either side of Preston Street.



Image 1: View of subject site from Preston Street – looking south west.



Image 2: View of subject site from Preston Street – looking north west.



Image 3: Aerial image of subject site and immediate adjoining properties. Source: Exponare.

Preston Street is a no through road with access being from the south. The road reserve is relatively narrow with minimal verge on the western side of the road pavement and a footpath and grass strip located on the eastern side. There are no parking restrictions on either side of the street however on street parking is challenging due to the narrow width of the overall road reserve.

The wider locality consists of predominantly residential development with key characteristic including the following.

- Single storey dwelling with pitched roofs.

- The majority of the dwelling are original housing stock however there newer builds are beginning to become more prevalent particularly to the east of the site where there are newer subdivisions.
- Infill development is not common however evidence of it does exists and will become more common as approved developments in the area are constructed.
- Street setback are generally in the vicinity of between 4 and 6.5 metres.
- Lot sizes vary greatly ranging from 350 to over 1000 square metres.
- Wall materials include concrete panel, weatherboard and brick veneer with roof materials including concrete tiles as well as galvanised or Colorbond metal sheeting.
- Onsite parking is generally consists of garages and/or carport located to the side or rear of the associated dwelling.
- The style of front fencing varies greatly however it is generally low, 1.5 metres or lower.

Other notable features within the locality include the following.

- Dennington Recreation Reserve is located to the immediate west of the subject site which provides a substantial area of public open space in the form of two ovals.
- The Dennington Shopping centre is located approximately 350 metres south of the site which proves access to a variety of shops and services.
- St John's Primary School is located 250 metres north however it is noted it is approximately 880 metres drive/walk as there is no direct access from the northern end Preston Street.
- Public transport is available within a 500 metre walk (south west) from the site with a bus stop located near the intersection Drummond Street and Tylden Street.

Permit/Site History

Permit History

A search of council's electronic register identified that there have no previous planning permit applications considered on the site.

Aboriginal Cultural Heritage

The site is located within an area of Aboriginal Cultural Sensitivity however as the site is less than 0.1 hectares in size and not within 200 metres of the coast or the Murray River a Cultural Heritage Management Plan is not required.

Public Notification

The application has been advertised pursuant to Section 52 of the *Planning and Environment Act 1987*, by:

- Sending notices to the owners and occupiers of adjoining land.
- Placing one sign at the front of the property.

The notification has been carried out correctly.

Council has received 10 objections to date. A summary of the comments received in the objections are:

- Density of the development is too great and is considered an overdevelopment.
- The development is not consistent with the existing neighbourhood character of the area.
- Narrowness of Preston Street does not allow for on street parking.
- The development will result in extra traffic within the already busy narrow street.
- The development has a combined 10 bedrooms which could result in 20 residents and therefore 20 cars needing to be parked on site/in the street which is not possible.
- The location of crossovers and potential on street parking will block access to neighbouring properties.
- Current infrastructure within the street such as stormwater are already at capacity and cannot support further development.
- Noise generated as a result of the development will be excessive with the potential for 20 residents to be living on the site.
- Waste collection is already an issue due narrowness of Preston Street and extra bins will make more of an issue.

Having regard to the above the following key areas of concern come through in the objections.

- Neighbourhood character/Overdevelopment.
- Traffic and car parking.
- Waste Collection
- Infrastructure.

Further discussion will be made in relation to these matters in a later section of this report.

It is also noted that the objections made reference to matters such as decreasing property values and disruptions during construction however as these are not planning issues they have not been given consideration during the assessment of the application nor are they discussed any further throughout this report.

Consultation

The following consultation occurred during the processing of the application.

- Following the completion of the Public Notification period a copy of all objections was provided to the permit applicant so they could review and provide a response should they choose.
- The permit applicant provided a response to Council on 10 August 2022 with responded to what they identified as the major concerns which were:
 - *Car Parking spaces concerns*
 - *Safety/Increased local traffic, in terms of an additional*
 - *Crossover proposed*
 - *Change of streetscape*
 - *Rubbish picks up*

The response from the applicant also provided an amended site plan which depicted a bin collection area in front of the site.

It is noted that Council Officers were of the view that this plan was submitted for information purposes only and did not constitute a formal plan amendment.

- The response from the permit applicant was forwarded to all of the objectors for their consideration. The objectors were advised that if the response had resolved their concerns they had the ability to formally withdraw their objection. It is noted that no objections were withdrawn.
- A Councillor Consultation Meeting was held on 18 October 2022 which was attended by five objectors and two members of Planning and Design (permit applicant). At the meeting the permit applicant provided a summary of the proposal and response to issues raised in the objections.

The objectors collectively spoke and reiterated areas of concerns in relation to car parking/traffic management, waste collection and the site not being suitable for three dwelling (noted two would be better).

- No further consultation occurred following the Councillor Consultation Meeting with the application proceeding to a decision being made.

Referrals

Section 55 Referrals:

None required.

Section 52 Referrals:

The application was referred to the Department of Environment, Land, Water and Planning as they are the owner of Dennington Reserve which is located to the rear of the subject site. To date no response has been received.

Internal Referrals:

The following internal referrals were undertaken.

Engineering Department

Council's Engineering Department expressed no concerns with the application subject to conditions being placed on the permit should on be issued.

Building Department

Council's Municipal Building Surveyor originally noted that fire separation between dwelling 1 & 2 does not comply with Part 3.7 of NCC BCA as 1.8m separation between Class 1 buildings on same allotment is required. Further clarification was sought given it is intended that the property will be subdivided in line with the development and it was noted that a wall needs to be a minimum of 1 metre from a boundary (unless constructed on the boundary).

Assessment

Planning Policy:

The following Clauses found within the Municipal Planning Strategy and Planning Policy Framework are relevant to the proposal and have been considered as part of the assessment of the application.

- Clause 02.01 (Context).
- Clause 02.02 (Vision).
- Clause 02.03 (Strategic Directions).
- Clause 02.04 (Strategic Framework Plan).
- Clause 11.01-1S (Settlement).
- Clause 11.01-1R (Settlement – Great South Coast).
- Clause 11.02-1S (Supply of Urban Land).
- Clause 11.02-2S (Structure Planning).
- Clause 11.03-4S (Coastal Settlement).
- Clause 11.03-5R (The Great Ocean Road Region).
- Clause 11.03-6S (Regional and Local Places).
- Clause 15.01-1S (Urban Design).
- Clause 15.01-1L-01 (Urban Design).
- Clause 15.01-2S (Building Design).
- Clause 15.01-3S (Subdivision Design).
- Clause 15.01-4S (Healthy Neighbourhoods).
- Clause 15.01-5S (Neighbourhood Character).
- Clause 16.01-1S (Housing Supply).
- Clause 16.01-1R (Housing of Older People – Great South Coast).
- Clause 16.01-1L (Housing Supply).
- Clause 16.01-2S (Housing Affordability).

Having regards to the above Clauses the following key elements in relation to the proposal are noted.

- The development will provide additional housing stock on a site located in an established residential area and considered to be capable of supporting an increased density. Furthermore, the development will assist with meeting the growing demand for housing within the areas consistent with Clause 02.03, Clause 16.01-1S and Clause 16.01-1L.
- The Strategic Framework Plan found within Clause 02.04 identifies the subject site as being located within an established area, between the Dennington Neighbourhood Centre and the North Dennington Growth Area making it evident that the site is well located and could support an increase to the existing residential density.
- The proposal provides additional housing on smaller land sizes which should result in a more affordable product on the housing market consistent with Clause 16.01-2S.

- Clause 15.01-5S seeks to ensure that development responds to and appropriately reflect either the existing or preferred neighbourhood character of the area. The proposed built form will be single storey in scale and include pitched roof profiles and the use of brick and render construction materials which is consistent with the surrounding built form. While it is noted that there are no other sites with the area that consist of three dwellings, the average lot size (333 square metres) is a similar size to existing smaller lots throughout the area.

Zoning:

Clause 32.08 – General Residential Zone Schedule 1 (GRZ1)

The subject site is located within the General Residential Zone – Schedule 1 (GRZ1). The purpose of the GRZ1 is:

- *To implement the Municipal Planning strategy and the Planning Policy Framework.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

Clause 32.08-4 outlines that an application to construct or extend a dwelling or residential building must provide a minimum garden area dependent on the size of the lot. In this instance the lot is 1011.5 square metres in size so 35 percent Garden Areas must be provided.

Clause 32.08-6 outlines the permit requirements relating to the construction and extension of two or more dwelling on a lot with a permit required to.

- Construct a dwelling if there is at least one other dwelling existing on the lot.
- Construct two or more dwellings on a lot.
- Extend a dwelling if there are two or more dwellings on the lot.
- Construct or extend a dwelling if it on common property.
- Construct or extend a residential building.

Based on the above, a permit is required for the proposal pursuant to Clause 32.08-6 as it involves the construction of two or more dwellings on the lot.

Clause 32.08-7 outlines that a schedule to the zone may vary some of the Standards within the clause. It is noted that Schedule 1 to the GRZ does not vary any ResCode Standards.

Clause 32.08-13 outlines the decision guidelines by which an application must consider. The relevant decision guidelines in this instance which the application needs to be considered against are.

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone.*
- *The Objectives set out in a schedule to this zone.*

- *Any other decision guidelines specified in a schedule to this zone.*
- *The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.*
- *The pattern of subdivision and its effect on the spacing of buildings.*
- *For subdivision of land for residential development, the objectives and standards of Clause 56.*
- *For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55. This does not apply to an apartment development of five or more storeys, excluding a basement.*

Having regard to the above policies, objectives and decision guidelines within GRZ1, the following is noted in relation to the proposal.

- As outlined in an earlier section of this report the proposed development is considered to align with the relevant policies and objectives found within the Municipal Planning strategy and Planning Policy Framework particularly in relation to growth and increasing residential densities.
- The development will result in additional housing stock within an area that is considered capable of and suitable for an increased density given its proximity to services and facilities, public transport and areas of public open space.
- In addition to the above, the proposal will provide dwellings with a variety of bedroom numbers on smaller lot sizes than the majority of dwellings in the locality which should assist with providing a more affordable housing product.
- The development will provide a combined area of land onsite that equates 35.2 percent of the total site area which can be considered Garden Area.
- The development is single storey and therefore will not result of an overshadowing of either existing or future rooftop solar energy systems on dwellings on adjoining lots.
- The proposal has been assessed against the Objectives and Standards of Clause 55 and deemed to meet all of the objectives and the standards within the clause. This matter is discussed further in a later section of this report will a complete assessment provided as an attachment to this report.

Overlays:

The site is not covered by any overlays.

Relevant Particular Provisions:

Clause 52.06 – Car Parking

The proposal has been considered against the relevant policies, objectives, design standards and decision guidelines of Clause 52.06 with the following points noted.

- The development includes one – four bedroom dwelling (Dwelling 1) and two – three bedroom dwellings (Dwellings 2 and 3) with each dwelling provided with two vehicle parking spaces which complies with the rate specified in Table 1 of Clause 52.06-4. Dwelling 1 is provided with a single garage and second space in tandem which Dwelling 2 and 3 are both provided with double garages.
- The proposal generally adheres to the relevant design standards found within Clause 52.06-9 noting that.
 - The common driveway will has a total width of 5 metres with a 3 metre wide pavement.
 - Swept paths have been provided to demonstrate that vehicles can enter and exit the site in a forwards direction.
 - The dimensions of each garage (one single and two double) comply with (doubles) or exceed (single) minimums dimensions specified within the design standards.
- Council's Development Engineers have reviewed the proposal and have expressed no traffic related concerns with the proposal.

Clause 55 – Two or More Dwellings on a Lot

The proposal includes the construction of three single storey dwellings on the site and therefore the development needs to be considered against the requirements of Clause 55.

This has occurred with a full assessment against the Objectives and Standards of Clause 55 included as Attachment 1 to this report. Following this assessment it has been deemed that the proposal meets all of the relevant Objectives and Standards within Clause 55.

General Provisions:

Clause 65.01 – Approval of an Application or Plan

Based on the assessment/analysis contained within this report it is considered that the proposal is consistent with the relevant decision guidelines found within Clause 65.01.

Objections:

While a number of the key planning issues raised by the objectors have been directly or indirectly addressed throughout the report the following provides further discussion in relation to the planning issues.

Neighbourhood character/Overdevelopment

In relation to neighbourhood character and overdevelopment the following comments are made.

- As has already been mentioned throughout this report there are no other three dwelling sites within the locality however the average lot site is similar to the smaller lots within the locality thereby resulting in a similar density.

- The development is single storey which is consistent with the existing built form character of the area, as is the use of materials including brick, render and pitched tiled roofing.
- The layout of the site in relation to front and side setbacks is similar to the existing pattern of development within the street and therefore the development will not disrupt the existing streetscape.
- While complying with all of the objectives and standards does not guarantee a development should be approved it does demonstrate that the development is site responsive and therefore it is hard to suggest that the development is an overdevelopment of the site.

Traffic and car parking

In relation to traffic and parking the following comments are made.

- Preston Street is a narrow street which presents challenges for people accessing site and also significantly inhibits on street parking.
- The proposed dwellings are all provided with two onsite parking spaces which meets the statutory requirements specified within Clause 52.06 of the planning scheme.
- As there are only three dwellings there is no requirement for the development to provide onsite visitor parking.
- Basing the potential parking demand that would be generated by the site on the number of people that could fit in the dwellings, as has been suggested by some objectors, is not a reasonable or accurate way to determine a parking demand.
- On street parking where available can be used by any road user, it is not reserved or restricted to use by only the resident or visitors to the abutting dwelling. Any visitors to the site would be required to park legally within the street as per any other street.

Based on the above, while it is acknowledged that traffic movement and street parking within Preston Street can be challenging the proposed development adheres to the statutory requirements in relation to parking and access and no objections have been raised by Council's Engineering Department in relation to this matter.

It is further noted, that while not a planning consideration, should residents feel that there are parking issues within the street, this is something that they could raise with Council's Engineering Department to investigate if the implementation of any restrictions such as 'no standing' areas could improve the current situation within the street for all residents.

Waste Collection

Following with comments made during the consultation meeting in regards to waste collection within the street, further advice was sought from Council's Strategic Waste Management Officer who in turn sought advice from Wheelie Waste who collect three of the four bins for Council. A summary of the advice received is as follows.

- All bins are currently collected for the eastern side of the street with the waste truck reversing up Preston Street and then collecting bins on the way back down. This is an informal arrangement.
- The development would introduce six new bins into the street at normal times and nine at the extra Christmas collection (once a year).

- Wheelie Waste noted that operationally it would not be ideally to introduce more bins due to the access challenges however they could manage the extra bins in the current collection arrangement.

Based on the above, although there are challenges with waste collection due to access, the proposed development could be serviced by the existing kerbside service and therefore an alternate waste collection option is not required.

Infrastructure

The application was referred to Council's Engineers who have realised no concerns that the proposed development would overload existing infrastructure within the street such as drainage infrastructure.

Conclusion

Having given consideration to the planning permit documentation, referral advice and any concerns raised by objectors, and following an assessment of the proposal against the relevant provisions of the Warrnambool Planning Scheme as discussed within this report, it is considered that on balance the application warrants support and a recommendation for approval from Council Officers.

Recommendation

That council, having caused notice of Planning Application No. PP2022-0052 to be given under Section 52 of the *Planning and Environment Act 1987* and or the planning scheme having considered all the matters required under Section 60 of the *Planning and Environment Act 1987* decides to determine to approve the application for PP2022-0052 under the provisions of the Warrnambool Planning Scheme in respect of the land known and described as ALLOT Lot 1 TP 961744Y PSH WAN TSH DENN, 19 Preston St DENNINGTON VIC 3280, for the Construction of three (3) dwellings (following demolition of existing) in accordance with the endorsed plans, subject to the following conditions:

1. Before the development start(s), amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority.

When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans submitted with the application (received by Council on 22 June and 11 August 2022) but modified to show:

- a. The bin collection area within the street verge depicted on the Site Plan removed.
 - b. The location of the two vehicle crossovers with a note confirming as existing or proposed as relevant.
 - c. The following note included on the Site Plan 'existing redundant crossovers to be reinstated to kerb and channel to Council Standard'.
 - d. Corner splays in accordance with Clause 52.06-9.
2. The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.
 3. Before the commencement of construction a detailed Stormwater Management Plan is to be submitted to and endorsed by the Responsible Authority. The stormwater works must

be designed in accordance with the current Responsible Authority's Design Guidelines, the endorsed application plans and must include:

- a) Identification of any existing drainage on the site.
 - b) Details of how the works on the land are to be drained and/or retarded.
 - c) Computations in support of the proposed drainage.
 - d) A proposed Legal Point of Discharge for each lot.
 - e) An underground drainage system to convey minor flows (as defined by the IDM) to the Legal Point of Discharge or retention system for the development;
 - f) Details of how the storm water discharge from the development will be limited such that post development flows up to the 20% AEP do not exceed pre-development flows;
 - g) Evidence that storm water runoff resulting from a 1% AEP storm event is able to pass through the development via reserves and/or easements, or be retained within lots without causing damage or nuisance to adjoining property.
 - h) Details and measures to enhance stormwater discharge quality from the site and protect downstream waterways in accordance with Clause 56.07-4 of the Planning Scheme.
4. The endorsed Stormwater Management Plan is to be implemented to the satisfaction of the Responsible Authority prior to use or occupation of the new dwelling.
5. Before the use or occupation of the development, the applicant must provide vehicle access to all lots to the satisfaction of the Responsible Authority. This includes the removal of existing substandard or redundant vehicle crossings and reinstatement of affected kerb, nature strip and footpath. Satisfactory clearance is to be provided to any stormwater pit, power or telecommunications pole, manhole cover, marker, or street tree. Any relocation, alteration or replacement required shall be at the applicant's expense.
6. Before the use or occupation of the development the internal/common property traffic and parking area must be constructed to the satisfaction of the Responsible Authority, and must:
- a. Be in accordance with endorsed plans.
 - b. Be in accordance with Australian Standards.
 - c. Be finished with an all-weather sealed surface.
 - d. Be drained.
- Areas designated for car parking on the endorsed plan are to be kept free and clear for that purpose.
7. Vehicles are to enter and exit Dwelling 2 and Dwelling 3 to/from Preston Street in a forwards direction.
8. To safeguard the amenity, reduce noise nuisance and to prevent environmental pollution during the construction period:
- d) Stockpiles of top soil, sand, aggregate, spoil or other material shall be stored clear of any drainage path or easement, natural watercourse, footpath, kerb or road surface and shall have measures in place to prevent the movement of such material off site.

- e) Building operations such as brick cutting, washing tools, concreting and bricklaying shall be undertaken on the building block. The pollutants from these building operations shall be contained on site.
 - f) Builders waste must not be burnt or buried on site. All waste must be contained and removed to a Waste Disposal Depot.
9. Before occupation of the development or by such later date as is approved by the Responsible Authority in writing, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the Responsible Authority.
10. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, including that any dead, diseased or damaged plants are to be replaced.

NOTES

- Before the commencement of any works within the road reserve, a Road Reserve Works Permit must be obtained from Council. All conditions on the Permit must be complied with.
- Before the commencement of any physical works to the site, an Asset Protection Permit must be obtained from Council. This purpose of this permit is to protect Council assets from damage which can result from the works and from the movement of heavy equipment and materials on and off the site. All conditions on the Permit must be complied with.
- Polluted drainage must be treated and/or absorbed on the lot from which it emanates to the satisfaction of the Responsible Authority. Polluted drainage must not be discharged beyond the boundaries of the lot from which it emanates or into a watercourse or easement drain.
Refer to Environment Protection Authority Victoria (EPA) guidelines.
- This permit will expire if one of the following circumstances applies:
 - a) The development is not started within two (2) years of the date of this permit.
 - b) The development is not completed within four (4) years of the date of this permit.The responsible authority may extend the periods referred to if a request is made in writing before the permit expires, or:
 - a) Within six (6) months afterwards for commencement, or
 - b) Within twelve (12) months afterwards for completion.

Planner Responsible:	Nick Legoe	Delegate:
Signature:	_____	Signature: _____
Date:	16 November 2022	Date: _____

ATTACHMENT 1 – Clause 55 Assessment

Assessment - Two or More Dwellings on a Lot and Residential Buildings (Clause 55)

Refer to Clause 55 of the Planning Scheme for objectives, decision guidelines and a full description of standards.

APPLICATION: _PP2022-0052

ADDRESS: 19 Preston St DENNINGTON VIC 3280

Neighbourhood Character

Clause 55.02

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B1 Neighbourhood Character Design respects existing neighbourhood character or contributes to a preferred neighbourhood character. Development responds to features of the site and surrounding area.</p>	<p>1. Appropriate design response to the neighbourhood and site.</p>	<p>✓ Complies</p> <p>The scale and mass of the development is generally consistent with development within the locality. Furthermore, the site setbacks are also similar to those throughout the locality.</p> <p>It is noted that the number of dwellings per lot (three dwellings) is higher than that found on surrounding lots however the average lot size is 333 square metres which is a similar size to the smaller lots within the locality.</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	2. Design respects the existing or preferred neighbourhood character & responds to site features.	<p>✓ Complies</p> <p>Refer above.</p>
<p>B2 Residential Policy Residential development is consistent with housing policies in the SPPF, LPPF including the MSS and local planning policies. Support medium densities in areas to take advantage of public transport and community infrastructure and services.</p>	3. Application to be accompanied by written statement that explains consistency with relevant housing policy in PPF, VPP, MSS and local planning policies.	<p>✓ Complies</p> <p>Refer to discussion within Delegate Report.</p>
<p>B3 Dwelling Diversity Encourages a range of dwelling sizes and types in developments of ten or more dwellings.</p>	4. Developments of ten or more dwellings to provide for: <ul style="list-style-type: none"> ▪ Dwellings with a different number of bedrooms. ▪ At least one dwelling containing a kitchen, bath or shower, and a toilet and wash basin at ground floor level. 	<p>- N/A</p> <p>The development involves three dwelling and therefore this standard is not relevant.</p>
<p>B4 Infrastructure Provides appropriate utility services and infrastructure without overloading the capacity.</p>	5. Connection to reticulated sewerage, electricity, gas and drainage services.	<p>✓ Complies</p> <p>All relevant services are available in front of the property.</p>
	6. Capacity of infrastructure and utility services should not be exceeded unreasonably.	<p>✓ Complies</p> <p>Council's Engineering Department have not expressed any concerns that the capacity of existing infrastructure would be exceeded by the proposal.</p>
	7. Provision should be made for upgrading and mitigation of the impact of services or infrastructure where little or no spare capacity exists.	<p>✓ Complies</p> <p>Council's Engineering Department have not advised that any upgrading of services is required.</p>
<p>B5 Integration with the Street Integrate the layout of development with the street.</p>	8. Development orientated to front existing and proposed streets.	<p>✓ Complies</p> <p>The development is orientated towards the street with Dwelling 1 having both direct vehicle and pedestrian access to the street.</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	9. Vehicle and pedestrian links that maintain and enhance local accessibility.	✓ Complies The development maintains clear pedestrian and vehicle access to the site.
	10. High fences in front of dwellings should be avoided if practicable.	✓ Complies No front fencing is proposed.
	11. Development next to public open space should be laid out to complement the open space.	- N/A

Site Layout and Building Massing

Clause 55.03

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B6 Street Setback The setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.	12. Walls of buildings should be set back from streets: <ul style="list-style-type: none"> ▪ at least the distance specified in the schedule to the zone, or ▪ If no distance is specified in the schedule to the zone setbacks should be as set out below. <i>Porches, pergolas and verandahs less than 3.6m high and eaves may encroach not more than 2.5m into the setbacks of this standard.</i>	✓ Complies
	13. Existing building on both the abutting allotments facing the same street & site is not on a corner. Min front Setback = average setback of existing buildings on abutting allotments facing the front street or 9m, whichever is the lesser.	✓ Complies The development has a primary setback of 5.6 metres which is a greater distance than the average of the two adjoining properties (5.5 metres).
	14. Existing building + vacant site either side of the subject site facing the same street & site is not on a corner Min front Setback = same setback of front wall of existing building or 9m, whichever is the lesser.	- N/A

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	15. The site is on a corner Min side setback for front walls = Same setback of existing building or 9m, whichever is the lesser. If no building 6m for streets in a RDZ1 and 4m for other. Min side setback for front walls fronting side street of corner site = same setback of existing building or 3m, whichever is the lesser. Min side setback for side walls on a corner site = same setback of existing building or 2 metres, whichever is lesser	- N/A

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	16. There is no existing building on either of the abutting allotments facing the same street & site is not on a corner Min front Setback = 6m in RDZ1 & 4m for other streets.	- N/A
B7 Building Height Building height should respect the existing or preferred neighbourhood character.	17. The maximum building height should not exceed that specified in the zone, schedule to the zone or any overlay that applies to the land.	✓ Complies The development is single storey with a maximum height of 5.24 metres with is significantly lower than the maximum of 11 metres specified in the GRZ.
	18. Where no maximum height is specified, the max height should not exceed 9m, unless the slope of the natural ground level at any cross section wider than 8m of the site is 2.5 degrees or more, in which case the max height should not exceed 10m.	✓ Complies

	19. Changes of building height between new and existing should be graduated.	<p>✓ Complies</p> <p>Single storey building scale is consistent with the adjoining built form.</p>
<p>B8 Site Coverage Site coverage should respect the existing or preferred neighbourhood character and respond to the features of the site.</p>	20. The site area covered by buildings should not exceed: <ul style="list-style-type: none"> ▪ The max site coverage specified in the schedule to the zone, or ▪ If no max site coverage is specified 60% 	<p>✓ Complies</p> <p>The site coverage is 45.3 percent.</p>
<p>B9 Permeability Reduce the impact of stormwater run-off on the drainage system and facilitate on-site stormwater infiltration.</p>	21. At least 20% of the site should not be covered by impervious surfaces	<p>✓ Complies</p> <p>The site permeability will be 42.4 percent with is significantly greater than the 20 percent minimum required.</p>
	22. Stormwater management system be designed: <ul style="list-style-type: none"> ▪ Meet best practice performance objectives in <i>Urban Stormwater – Best Practice Environmental Management Guidelines</i> ▪ Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces 	<p>✓ Complies</p> <p>WSUD Plan provided which demonstrates how stormwater will be managed on site and included a STORM Report rating on 100 percent.</p>
<p>B10 Energy Efficiency Achieve and protect energy efficient dwellings and residential buildings. Ensure orientation and layout reduces fossil fuel energy use and makes appropriate use of daylight and solar energy.</p>	23. Orientation of buildings should make appropriate use of solar energy.	<p>✓ Complies</p> <p>Each dwelling is provided with living areas and areas of SPOS with a northern orientation.</p>
	24. Siting and design of buildings should not reduce the energy efficiency of adjoining lots, as well as the performance of existing rooftop solar energy facilities on dwellings in adjoining lots.	<p>✓ Complies</p> <p>The development will not impact the energy efficiency of solar panel of adjoining properties,</p>
	25. If practicable the living areas and private open space are to be located on the north side.	<p>✓ Complies</p> <p>Each dwelling is provided with living areas and areas of SPOS with a northern orientation.</p>
	26. Solar access for north-facing windows should be maximised.	<p>✓ Complies</p>

<p>B11 Open Space Integrate layout of development with any public and communal open space provided in or adjacent to the development.</p>	<p>27. Public open spaces should:</p> <ul style="list-style-type: none"> ■ Be substantially fronted by dwellings. ■ Provide outlook for dwellings. ■ Be designed to protect natural features. ■ Be accessible and usable. 	<p>- N/A</p> <p>No public or communal open space is proposed as part of the development.</p>
<p>B12 Safety Layout to provide safety and security for residents and property.</p>	<p>28. Entrances to dwellings and residential buildings should not be isolated or obscured from the street and internal accessways.</p>	<p>✓ Complies</p> <p>None of the dwelling entries will be obscured from view from either the street or common driveway.</p>
	<p>29. Planting should not create unsafe spaces along streets and accessways</p>	<p>✓ Complies</p> <p>Refer Landscape Plan.</p>
	<p>30. Good lighting, visibility and surveillance of car parks and internal accessways.</p>	<p>✓ Complies</p> <p>Consideration should however be given to low level bollard lighting throughout common driveway area to improve visibility at night.</p>
	<p>31. Protection of private spaces from inappropriate use as public thoroughfares.</p>	<p>✓ Complies</p>
<p>B13 Landscaping To provide appropriate landscaping To encourage:</p> <ul style="list-style-type: none"> ■ Development that respects the landscape character of the neighbourhood. ■ Development that maintains and enhances habitat for plants and animals in locations of habitat importance. ■ The retention of mature vegetation on the site. 	<p>32. Landscape layout and design should:</p> <ul style="list-style-type: none"> ■ Protect predominant landscape features of the neighbourhood ■ Take into account the soil type and drainage patterns of the site ■ Allow for intended veg. growth and structural protection of buildings ■ In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. ■ Provide a safe, attractive and functional environment for residents 	<p>✓ Complies</p> <p>Refer Landscape Plan provided.</p>

	<p>33. Development should:</p> <ul style="list-style-type: none"> ■ Provide for the retention or planting of trees, where these are part of the character of neighbourhood. ■ Provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made. 	<p>N/A</p> <p>There are no trees on the site to be removed.</p>
	<p>34. Landscape design should specify landscape themes, vegetation location & species, paving & lighting.</p>	<p>✓ Complies</p> <p>Refer Landscape Plan provided.</p>
	<p>35. Development should meet any additional landscape requirements specified in a schedule to the zone.</p>	<p>- N/A</p>
<p>B14 Access Ensure the safe, manageable and convenient vehicle access to and from the development. Ensure the number and design of vehicle crossovers respects neighbourhood character.</p>	<p>36. The width of the accessways or car spaces should not exceed:</p> <ul style="list-style-type: none"> ■ 33% of the street frontage; or ■ 40% if the width of the street frontage is less than 20m. 	<p>✓ Complies</p> <p>The width of the two crossovers equates to 26.8 percent of the width of the overall site (22.3 metres).</p>
	<p>37. For each dwelling fronting a street, only one single- width crossover should be provided.</p>	<p>✓ Complies</p> <p>Dwelling 1 fronts the street and is provided with a single width crossover.</p> <p>Dwelling 2 and 3 are accessed via a shared single width crossover.</p>
	<p>38. The location of crossovers will maximise the retention of on-street car parking spaces.</p>	<p>✓ Complies</p> <p>The area between the two crossovers would be sufficient to accommodate two on street parking spaces however it is noted that due to the narrowness of the street on street parking can be challenging. It is further noted that the conditions in relation to on street parking would not be altered by the development e.g. the development will not alter the overall width of the road pavement.</p>
	<p>39. Access points to a road in Road Zones to be minimised.</p>	<p>- N/A</p>

	40. Access for service, emergency and delivery vehicles must be provided.	✓ Complies
B15 Parking Location Provide resident and visitor vehicles with convenient parking. Avoid parking and traffic difficulties in the development and the neighbourhood. Protect residents from vehicular noise within developments.	41. Car parking facilities should be: <ul style="list-style-type: none"> ▪ Close and convenient to dwellings. ▪ Secure ▪ Well ventilated if enclosed 	✓ Complies Each dwelling is provided with undercover parking with direct access to the associated dwelling.
	43. Shared accessways, car parks of other dwellings/ residential buildings should be at least 1.5m from the windows of habitable rooms. This setback may be reduced to 1m, where there is a fence at least 1.5m high or window sills are at least 1.4m above the accessway.	✓ Complies The common drive is setback 1 metre from habitable room windows associated with Dwelling 1 and 2 which is acceptable as the sill height of these windows is 1.45 metres above ground level. Furthermore as the driveway only services two dwellings the number of vehicle movements will be low and therefore any noise generated will be limited.

Amenity Impacts

Clause 55.04

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B17 Side and Rear Setbacks Ensure the height and setback respects the existing or preferred neighbourhood character and limits the amenity impacts on existing dwellings.	44. A new building not on or within 200mm of a boundary should be setback from side or rear boundaries: 45. At least the distance specified in the schedule to the zone, or 46. 1m+ 0.3m for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. (refer Diagram B1 for more detail and information about minor encroachments).	✓ Complies The development complies with all side and rear setback requirements.

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B18 Walls on Boundaries Ensure the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the amenity impacts on existing dwellings.</p>	<p>47. A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1m of a side or rear boundary of a lot should not abut the boundary for a length of more than:</p> <p>48. 10m plus 25 % of the remaining length of the boundary of an adjoining lot. or</p> <p>49. Where there are existing or simultaneously constructed walls or carports abutting the boundary of an abutting lot, the length of the existing or simultaneously constructed walls or carports - whichever is the greater.</p> <p>50. A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in effective height of the wall or carport being less than 2m on the abutting property boundary.</p> <p>51. A building set back up to 200mm from a boundary</p> <p>52. A height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1m of a side or rear boundary should not exceed an average of 3.2m with no part higher than 3.6m unless abutting a higher existing or simultaneously constructed wall.</p>	<p>✓ Complies</p> <p>The garage wall of Dwelling 1 will be constructed on the boundary. The wall has a maximum length of 6.6 metres which is less than the maximum allowable length of 18.8 metres (10).</p> <p>The wall has a maximum height of 3.2 metres and an average height of 2.99 metres.</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B19 Daylight to Existing Windows Allow adequate daylight into existing habitable room windows.</p>	53. Buildings opposite an existing habitable room window should provide a light court of at least 3sqm and a minimum dimension of 1m clear to the sky (this can include land on the adjoining lot).	<p>✓ Complies</p> <p>All existing habitable room windows have a minimum of 1 metre clear to the sky.</p>
	54. Walls or carports more than 3m in height opposite should be setback from the window at least 50% of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.	<p>✓ Complies</p>
	55. <i>Please note: where any existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</i>	
<p>B20 North Facing Windows Allow adequate solar access to existing north-facing habitable room windows.</p>	56. Buildings should be setback 1m if an existing north-facing habitable window is within 3m of the abutting lot boundary. (Add 0.6m to this setback for every metre of height over 3.6m and add 1m for every metre over 6.9m.) Refer to 55.04-4 for further clarification (a diagram is included).	<p>✓ Complies</p> <p>The proposed built form has a minimum setback of 9.4 metres to adjoining north facing window which when combined with the single storey built form will not alter the solar access from current conditions.</p>
<p>B21 Overshadowing Open Space Ensure buildings do not significantly overshadow existing secluded private open space.</p>	57. Where sunlight to a private open space of an existing dwelling is reduced, at least 75%, or 40sqm with min. 3m, whichever is the lesser area, of the open space should receive a min. of 5 hours of sunlight between 9 am and 3pm on 22 Sept. If the existing sunlight to the private open space of an existing dwelling is less than these requirements, the amount of sunlight should not be reduced further.	<p>✓ Complies</p> <p>The single storey built form and minimum setback of 3 metres from the southern boundary ensures that the proposed development will not result in any unreasonable additional overshadowing of adjoining areas of SPOS with the provided shadow diagrams demonstrating that any new shadow will not extend beyond the existing boundary fence shadow.</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B22 Overlooking Limit views into existing secluded private open space and habitable room windows.</p>	58. A habitable room window, balcony, terrace, deck or patio with a direct view (measured 45 degree angle from the plane of window or perimeter of balcony, terrace etc. from a height of 1.7m) into an existing habitable window within a horizontal window within a horizontal distance of 9m (see clause for details) should have either: 59. A minimum offset of 1.5m from the edge of one window to the other. 60. Sill heights of at least 1.7m above floor level. 61. Fixed obscure glazing in any part of the window below 1.7m above floor level. 62. Permanently fixed external screens to at least 1.7m above floor level and be no more than 25 transparent.	<p>- N/A</p> <p>The development is single storey and therefore the existing boundary fence appropriately restricts any potential overlooking.</p>
	63. Obscure glazing below 1.7m above floor level may be openable if there are no direct views as specified in this standard.	<p>- N/A</p>
	64. Screens to obscure view should be: 65. Perforated panels or trellis with solid translucent panels or a maximum 25% openings. 66. Permanent, fixed and durable. 67. Blended into the development. See Clause 55.04-6 for instances where this standard does not apply.	<p>- N/A</p>
	<p>B23 Internal Views Limit views into existing secluded private open space and habitable room windows of dwellings and residential buildings within the same development.</p>	68. Windows and balconies should to be designed to prevent overlooking of more than 50% of the secluded private open space of a lower level dwelling or residential building within the same development.

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B24 Noise Impacts Protect residents from external noise and contain noise sources in developments that may affect existing dwellings.	69. Noise sources should not be located near bedrooms of immediately adjacent existing dwellings.	✓ Complies Noise source such as AC units are located away from habitable room windows of adjacent dwellings. It is noted that the location of AC units are shown on the site plan.
	70. Noise sensitive rooms and private open space should consider noise sources on immediately adjacent properties.	✓ Complies Generous boundary setbacks to proposed habitable rooms such as bedrooms and living areas, in addition to areas of SPOS not being located adjacent to neighbouring driveways etc. will minimise the potential for disturbance to future residents from noise generated on adjoining properties.
	71. Dwellings and residential buildings should be designed to limit noise levels in habitable rooms close to busy roads, railway lines or industry.	N/A

On-Site Amenity and Facilities

Clause 55.05

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B25 Accessibility Consider people with limited mobility in the design of developments.	72. Dwelling entries of the ground floor of buildings should be accessible or able to be easily made accessible to people with limited mobility.	✓ Complies The dwellings are considered to provide an appropriate level of access for people with limited mobility given the entries to Dwelling 1 and 3 are at grade while Dwelling 2 is limited to two steps.
B26 Dwelling Entry Provide a sense of identity to each dwelling/residential building.	73. Entries are to be visible and easily identifiable from streets and other public areas.	✓ Complies Each dwelling has an entry that is clearly visible from the street or common driveway area.
	74. The entries should provide shelter, a sense of personal address and a transitional space.	✓ Complies Each dwelling is provided with a porch to provide shelter.

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B27 Daylight to New Windows Allow adequate daylight into new habitable room windows.</p>	<p>75. Habitable room windows to face: 76. Outdoor space open to the sky or light court with minimum area of 3sqm and a min. dimension of 1m clear to the sky or; 77. Verandah, provided it is open for at least one third of its perimeter or; 78. A carport provided it has two or more open sides and is open for at least one third of its perimeter.</p>	<p>✓ Complies</p> <p>All habitable windows within the proposed development are located to face an outdoor space clear to the sky or a light court with a minimum area of 3 square metres.</p>
<p>B28 Private Open Space Provide reasonable recreation and service needs of residents by adequate private open space</p>	<p>79. Unless specified in the schedule to the zone, a dwelling should have private open space consisting of:</p> <ul style="list-style-type: none"> ▪ 40sqm with one part at the side or rear of the dwelling/residential building with a minimum dimension of 3m, a minimum area of 25sqm and convenient access from a living room or; ▪ Balcony - minimum 8sqm, minimum width 1.6m and accessed from living room or; ▪ Roof-top – minimum 10sqm, minimum width 2m and convenient access from living room. <p><i>Please note that balcony requirements in 55.05-4 do not apply to apartment development</i></p>	<p>✓ Complies</p> <p>Each dwelling is provided with in excess of 40 square metres of POS with a more than 25 square metres being SPOS. It is noted that all SPOS is located to the side and/or rear of the associated dwelling.</p>
<p>B29 Solar Access to Open Space Allow solar access into the secluded private open space of new dwellings/buildings.</p>	<p>80. The private open space should be located on the north side of the dwelling if appropriate.</p> <p>81. Southern boundary of open space should be setback from any wall on the north of the space at least $(2+0.9h) h =$ height of wall.</p>	<p>✓ Complies</p> <p>The orientation of the site allows each dwelling to be provided with substantial areas of SPOS with a northern orientation thereby maximising solar access to these areas.</p> <p>N/A There are no walls located on the northern boundary of areas of POS or SPOS</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B30 Storage Provide adequate storage facilities for each dwelling.	82. Each dwelling should have access to a minimum 6m ³ of externally accessible, secure storage space.	✓ Complies Each dwelling is provided with 6 square metres of storage with the SPOS.

Detailed Design

Clause 55.06

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B31 Design Detail Encourage design detail that respects the existing or preferred neighbourhood character.	83. Design of buildings should respect the existing or preferred neighbourhood character and address: 84. Façade articulation & detailing. 85. Window and door proportions. 86. Roof form. 87. Verandahs, eaves and parapets.	✓ Complies The proposed dwellings are single storey with pitched roof forms and utilise brick/render (walls) and tiles (roofing) which is consistent with the built form character of the area.
	88. Garages and carports should be visually compatible with the development and neighbourhood character.	✓ Complies The garage of Dwelling 1 is visible from the street however it is setback behind the main building façade. The Garages of Dwelling 2 and 3 are towards the rear of the site and not visible from the street.
B32 Front Fences Encourage front fence design that respects the existing or preferred neighbourhood character	89. The front fence should complement the design of the dwelling or any front fences on adjoining properties.	- N/A No front fencing is proposed.
	90. A front fence within 3m of the street should not exceed the maximum height specified in the schedule to the zone or if no max. specified, the front fence should not exceed: 91. 2m if abutting a Road Zone, Category 1. 92. 1.5m in any other streets.	- N/A
B33 Common Property	93. Developments should clearly delineate public, communal and private areas.	✓ Complies

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
Ensure car parking, access areas and other communal open space is practical, attractive and easily maintained. Avoid future management difficulties in common ownership areas.	94. Common property, where provided, should be functional and capable of efficient management.	✓ Complies Common property is clearly identifiable allowing for efficient management in the future.
B34 Site Services Ensure site services and facilities can be installed and easily maintained and are accessible, adequate and attractive.	95. Dwelling layout and design should provide for sufficient space and facilities for services to be installed and maintained.	✓ Complies Site facilities including mailboxes and clothes lines have been provided in appropriate locations (Refer to development Plans).
	96. Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and should blend in with the development.	✓ Complies Refer to development Plans
	97. The site facilities including mailboxes should be located for convenient access. Bin and recycling enclosures located for convenient access. Mailboxes provided and located for convenient access as required by Aust. Post.	✓ Complies Services and facilities shown on plans and the locations are considered appropriate.