MINUTES

ORDINARY MEETING
WARRNAMBOOL CITY COUNCIL
5:45 PM - MONDAY 1 APRIL 2019

WARRNAMBOOL
CITY COUNCIL

VENUE:
Reception Room
25 Liebig Street
Warrnambool

COUNCILLORS
Cr. Tony Herbert (Mayor)
Cr. Robert Anderson
Cr. Sue Cassidy
Cr. Kylie Gaston
Cr. Peter Hulin
Cr. Michael Neoh
Cr. David Owen

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can be obtained online at www.warrnambool.vic.gov.au

Peter B. Schneider
CHIEF EXECUTIVE OFFICER

AUDIO RECORDING OF COUNCIL MEETINGS

All Open and Special Council Meetings will be audio recorded, with the exception of matters identified as confidential items in the agenda. This includes public participation sections of the meeting. Audio recordings of meetings will be made available for download on the internet via the Council's website by noon the day following the meeting and will be retained and publicly available on the website for 12 months following the meeting date. The recordings will be retained for the term of the current Council, after which time the recordings will be archived and destroyed in accordance with applicable public record standards. By participating in Open and Special Council meetings, individuals consent to the use and disclosure of the information that they share at the meeting (including any personal/sensitive information), for the purposes of Council carrying out its functions.

ORDER OF BUSINESS

Page No.

1. OPENING PRAYER & ORIGINAL CUSTODIANS STATEMENT 4
2. APOLOGIES.....4
3. CONFIRMATION OF MINUTES.....4
4. DECLARATION BY COUNCILLORS AND OFFICERS OF ANY CONFLICT OF INTEREST IN ANY ITEM ON THE AGENDA.....4
5. REPORTS 5
CHANGE TO ORDER OF BUSINESS…… ……..5

5.1. NOTICE OF MOTION.....5
5.2. DIRECTORATE OPERATIONS REPORTS.....6
5.3. WARRNAMBOOL PLANNING SCHEME REVIEW 2018.....120
5.4. HOPKINS HEIGHTS DEVELOPMENT PLAN.....193
5.5. TENDER NO. 2018047 - RECEIPT & PROCESSING OF RECYCLED PRODUCTS ..309
5.6. PLANNING APPLICATION - 43 ATKINSONS LANE, DENNINGTON - LOOKOUT DRUG AND REHABILITATION CENTRE 311
5.7. EASTERN ACTIVITY STRUCTURE PLAN - AMENDMENT AUTHORISATION REQUEST 551
5.8. LAKE PERTOBE MASTER PLAN ADOPTION 557
5.9. CITY CENTRE CAR PARKING UPDATE 623
5.10. COMMUNITY RESPONSES TO BANYAN STREET SURVEY 660
5.11. ADVISORY COMMITTEE REPORTS 677
5.12. ASSEMBLY OF COUNCILLORS REPORTS.....682
5.13. MAYORAL & CHIEF EXECUTIVE OFFICER COUNCIL ACTIVITIES - SUMMARY REPORT.....688
6. NOTICE OF MOTION.....690
7. PUBLIC QUESTION TIME 690
8. CLOSE OF MEETING 692

MINUTES OF THE ORDINARY MEETING OF THE WARRNAMBOOL CITY COUNCIL HELD IN THE RECEPTION ROOM, WARRNAMBOOL CIVIC CENTRE, 25 LIEBIG STREET, WARRNAMBOOL ON MONDAY 1 APRIL 2019 COMMENCING AT 5:45 PM

PRESENT: Cr. Tony Herbert, Mayor/Chairman
Cr. Robert Anderson
Cr. Sue Cassidy
Cr. Kylie Gaston
Cr. Peter Hulin
Cr. Michael Neoh
Cr. David Owen

IN ATTENDANCE: Mr Peter Schneider, Chief Executive Officer
Mr Peter Utri, Director Corporate Strategies
Mr Scott Cavanagh, Director City Infrastructure
Mr Andrew Paton, Director City Growth
Ms. Vikki King, Director Community Development
Ms. Wendy Clark, Executive Assistant

1. OPENING PRAYER & ORIGINAL CUSTODIANS STATEMENT

Almighty God
Grant to this Council
Wisdom, understanding and Sincerity of purpose
For the Good Governance of this City
Amen.

ORIGINAL CUSTODIANS STATEMENT

I wish to acknowledge the traditional owners of the land on which we stand and pay my respects to their Elders past and present.

2. APOLOGIES

Nil

3. CONFIRMATION OF MINUTES

MOVED: CR. KYLIE GASTON
SECONDED: CR. ROBERT ANDERSON

That the Minutes of the Ordinary Meeting of Council held on 4 March 2019 and Minutes of the Special Meeting of Council held on 25 March 2019, be confirmed.

CARRIED - 7:0

4. DECLARATION BY COUNCILLORS AND OFFICERS OF ANY CONFLICT OF INTEREST IN ANY ITEM ON THE AGENDA

Pursuant to Sections 77, 78 and 79 of the Local Government Act 1989 (as amended) direct and indirect conflict of interest must be declared prior to debate on specific items within the agenda; or in writing to the Chief Executive Officer before the meeting. Declaration of indirect interests must also include the classification of the interest (in circumstances where a Councillor has made a Declaration in writing, the classification of the interest must still be declared at the meeting), i.e.

(a) direct financial interest
(b) indirect interest by close association
(c) indirect interest that is an indirect financial interest
(d) indirect interest because of conflicting duties

(e) indirect interest because of receipt of an applicable gift
(f) indirect interest as a consequence of becoming an interested party
(g) indirect interest as a result of impact on residential amenity
(h) conflicting personal interest

A Councillor who has declared a conflict of interest, must leave the meeting and remain outside the room while the matter is being considered, or any vote is taken. Councillors are also encouraged to declare circumstances where there may be a perceived conflict of interest.

- Cr. Sue Cassidy Item 5.4 - Planning Application - 43 Atkinsons Lane, Dennington - Lookout Drug & Rehabilitation Centre - Director Interest - on WRAD Board.
- Cr. Sue Cassidy Item 5.7 - City Centre Car Parking Update - Business owner in CBD - Direct Interest.
- Cr. Michael Neoh Item 5.7 - City Centre Car Parking Update - Property owner in CBD - Direct Interest.
- Cr. Michael Neoh - Item 5.8 - Community Responses to Banyan Street Survey - Amenity Issue - Indirect interest.
- Cr. Tony Herbert - Item 5.3 - Hopkins Heights Development Plan - Neighbouring land owner - Direct Interest.
- Cr. Tony Herbert - Item 5.9 - Tender No. 2018047 - Receipt & Processing of Recycled Products – Direct interest.

5. REPORTS

CHANGE TO ORDER OF BUSINESS

MOVED: CR. MICHAEL NEOH
SECONDED: CR. SUE CASSIDY

That the Order of Business be changed as follows:-

Item 6 – Notice of Motion to the first item on the agenda
Item 5.9 – to be moved to be heard after Item 5.3. – now Numbered Item 5.4.

CARRIED – 7:0

5.1. NOTICE OF MOTION – NO. 2153

MOVED: CR. DAVID OWEN
SECONDED: CR. KYLIE GASTON

1. That Warrnambool City Council condemns the exploration of oil and gas in the Great Australian Bight.

2. That the Mayor, on behalf of the City of Warrnambool writes:

a. To Equinor and the National Offshore Petroleum Safety and Environmental Management Authority (NOPSEMA) to formerly advise them of our opposition to the exploration for oil and gas in the Great Australian Bight; and

b. To State and Federal Ministers, members of Parliament and other Victorian councils along the coast advising them of Council's opposition and urging them to do all they can to support a ban on oil and gas exploration in the Great Australian Bight given its importance for fisheries, tourism, internationally significant ecosystems and some of Australia's most threatened marine life.

CARRIED - 7:0

5.2. DIRECTORATE OPERATIONS REPORTS

PURPOSE:

This report provides information related to the activities undertaken by four Council directorates – City Growth, City Infrastructure, Community Development and Corporate Strategies over the second half of 2018.

EXECUTIVE SUMMARY

The Directorates

The **City Growth Directorate** – (refer **Attachment 1)** comprises:-

- Economic Development and Investment Branch;
- Visitor Economy Branch and
- City Strategy and Development Branch.

The **City Infrastructure Directorate** (refer **Attachment 2**) comprises:-

- Facilities and Projects Branch;
- City Amenity Branch and
- Infrastructure Services Branch.

The **Community Development Directorate** (refer **Attachment 3**) comprises:-

- Recreation and Culture Branch;
- Community Planning and Policy Branch;
- Capacity, Access and Inclusion Branch and
- Children's and Family Services.

The **Corporate Strategies Directorate** (refer **Attachment 4**) comprises:-

- Finance Branch,
- Organisation Development Branch,
- Revenue and Property Services Branch,
- Information Services Branch,
- Communications Branch and
- The South-West Victorian Livestock Exchange.

MOVED: CR. SUE CASSIDY
SECONDED: CR. ROBERT ANDERSON

That the Operations Reports for the City Growth, City Infrastructure, Community Development and Corporate Strategies Directorates be received.

CARRIED - 7:0

ATTACHMENTS

1. City Growth Operations Report **[5.2.1]**
2. City Infrastructure Operations Report **[5.2.2]**
3. Community Development Operations Report **[5.2.3]**
4. Corporate Strategies Operations Report **[5.2.4]**

The City Growth Directorate

Operations Report July - December 2018

THE DIRECTORATE

This report provides an overview of work undertaken to progress the City Growth Directorate's Business Plans through the 2018 calendar year.

The City Growth Directorate is comprised of:

Economic Development and Investment Branch

Visitor Economy Branch
Holiday Parks
Visitor Information Centre
Flagstaff Hill Maritime Village
Events

City Strategy and Development Branch
City Strategy (Strategic Planning)
City Development (Statutory Planning)
Statutory Building Services
Sustainability & Natural Environment

Economic Development and Investment

Through supporting business expansion and attracting investment, the Economic Development and Investment (ED&I) branch seeks to support sustainable economic growth for the Warrnambool and Great South Coast regional economy.

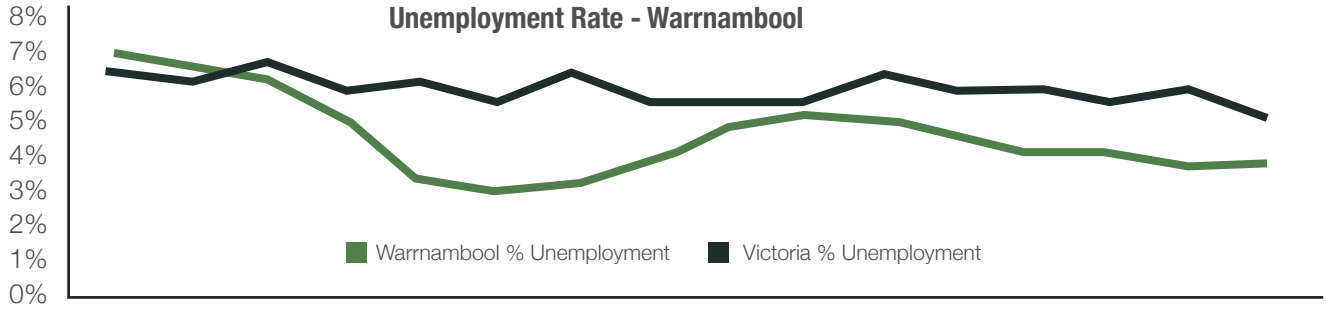
The ED&I branch is in regular communication with a growing network of over 1,600 businesses in our city providing a range of services such as:

- Business and investment enquiries by providing location support resources to facilitate investment into Warrnambool;
- Statistical data in relation to population, demographics, housing, building approvals, business confidence, and other economic fundamentals to assist your decision-making;
- Referrals and local introductions to other government agencies and business networking groups and industry bodies;
- Access to business support workshops and networking events;
- Economic impact modelling for business development and investment;
- Collateral to promote our city and inform decision-making;
- Advocacy matters impacting on business;
- Skilled Migration through the Regional Certifying Body function;
- Regional co-ordination economic development projects such as GSC Food and Fibre, GSC China Strategy, GSC Designated Area Migration Agreement (DAMA), The Ideas Place and International Relations with Sister Cities;
- Information links to available funding and other business support services;
- Links to the Deakin University Warrnambool Campus, South West TAFE and other education providers to help with employee education and training, research and development opportunities and recruitment of students or graduates.

Economic data

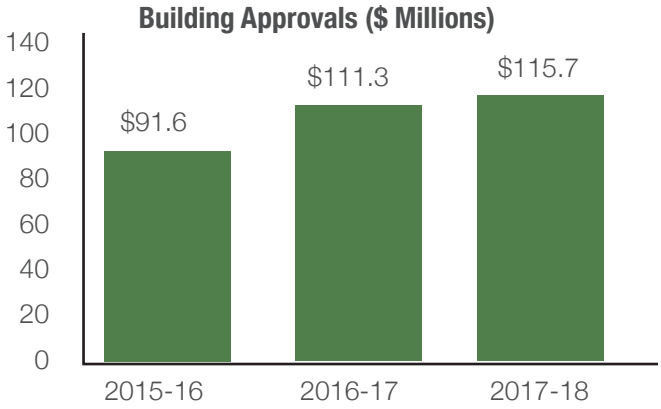
- The ED&I Branch maintains a portal of economic data to keep track of how the City's economy is performing (http:// www.economyprofile.com.au/warrnambool). Key points to note around economic fundamentals of the City during 2018 were:
  - Ongoing trend of low unemployment rate (3.8% as at June 2018), well below the State (5.2%) and lower than the Great South Coast region (4.1%);

Economic Development and Investment



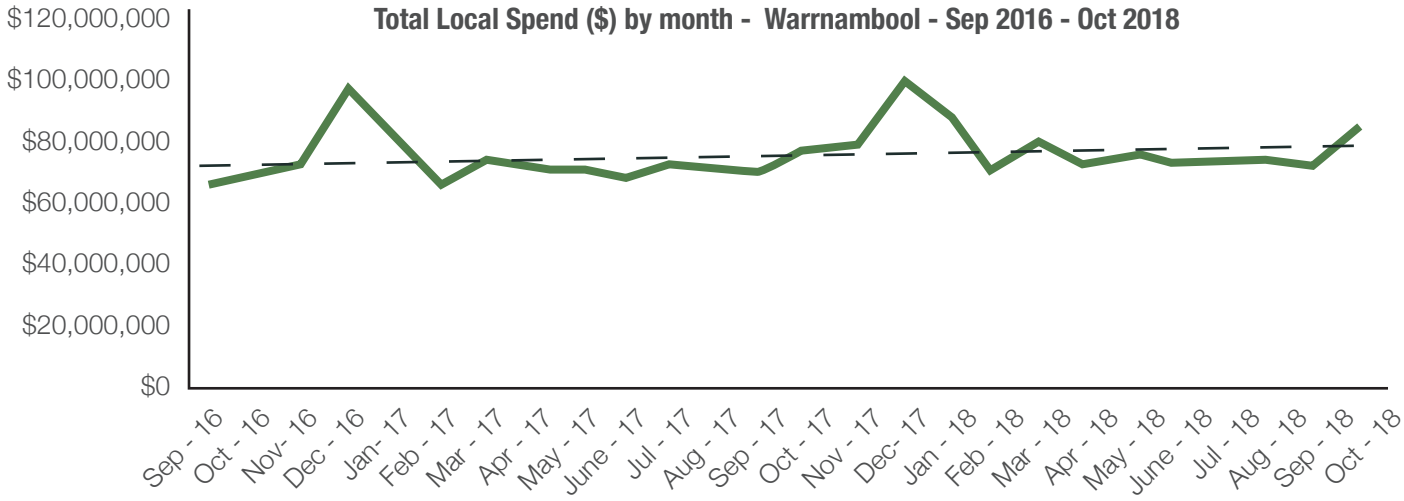
Source: Department of Jobs and Small Business, Small Area Labour Markets (SALM).

- Value of Building Approvals for year ended June 2018 of $115 million (a 4% increase on the previous year ($111 million);



Source: Australian Bureau of Statistics, Building Approvals, Cat. 8731.0. (2017-18 data was released 7 August 2018, 2018-19 data is expected to be available in August 2019).

- Total Local Spend (the sum of Resident Local Spend and Visitor Local Spend) continues to trend moderately upwards.



Source: Spendmapp*

* EFTPOS and credit card transactions. The Spendmapp data does not yet include bank transactions from foreign cards. To account for cash transactions, Reserve Bank of Australia research on cash/non-cash expenditure ratios by expenditure type has been applied. All data is anonymous (i.e. details of separate individual or business transactions are not visible) and presented at industry category level.
Further detail of economic data captured for the City of Warrnambool can be found at https://www.economyprofile.com.au/warrnambool

Small Business Support Initiatives

Small Business Festival 2018

The 2018 Great South Coast Small Business Festival was held over August 2018 and coordinated by Warrnambool City Council with support from festival sponsors the Department of Economic Development, Jobs, Transport and Resources and Moyne Shire Council along with media partners The Standard and 3YB/Coast FM.

The 2018 festival, part of the state-wide Small Business Festival program, saw 15 events take place throughout the region with 717 attendees.

Highlights of the 2018 Festival included:

- The 'Doors Open' series, featuring Western Vic Live-stock Exchange at Mortlake, Bamstone at Port Fairy and Fletcher Jones in Warrnambool.
- Two sold out China Host information sessions with industry experts, Asialink Business.
- Beers and Big Ideas with guest Gilbert Rochcouste with 150 attendees.

Small Business Workshop Program 2018

During the 2018 calendar year 10 Small Business Victoria Workshops were held with workshop partners Quest Warrnambool.

100 attendees registered for these 10 workshops, with the most popular topics being –

- Facebook for Your Business
- Creating Effective Digital Content and
- Taking Your Business Online

These three workshops were fully booked, demonstrating local businesses are seeking assistance in the online space.

Small Business Mentoring Service 2018

Utilising the Small Business Mentoring Service's, 5 mentoring days were conducted throughout 2018.

These FREE confidential sessions are conducted and coordinated through the Economic Development and Investment Unit and are designed for small business seeking help or start-ups wishing to talk to a professional about their business plans.

Over the 5 sessions held in 2018 20 participants took part in the program with each session fully subscribed.

Placemaking

City Renewal Leadership Group

The City Renewal Leadership Group consisted of local traders from across the renewal works area. The Leadership Group meet regularly with WCC's CEO as well as council officers from the Economic Development Team, Infrastructure Team and any other relevant council officers when required, with the meetings being chaired by the Mayor. The Leadership group were briefed on the progress of the works and the Business Support Package with the understanding that they would then disseminate the information to the other traders in the renewal works area. From July to December eight meetings were held with the Leadership Group where advice and support was sought on matters in regards to impact to businesses, timings and city activations. The Leadership Group were responsible for the end of works event 'A Very Liebig Christmas'.

Beers and Ideas

Beers and Ideas is a regular event night for celebrating, sharing and crowd-funding placemaking projects in Warrnambool. Attendees pay an entry fee in exchange for a beer and a vote. Four local people share their creative ideas for Warrnambool public spaces after which attendees vote on a preferred idea. The winning idea takes home the money raised at the door and are assisted with the implementation of their idea.

From June – December 2018 there was three Beers and Ideas events held with winners ranging from a local Primary School group to an Ocean swimming enthusiast.
Beers and Big Ideas was held in August, a special Beers and Ideas event that saw 150 people attend to listen to preeminent Placemaker Gilbert Rochcouste of Village Well. Gilbert had the entire room engaged and left everyone feeling truly inspired to continue growing.

Driven by the Warrnambool business and arts communities, Beers and Ideas aims to engage and empower local people to carry out placemaking projects in Warrnambool. Improving public spaces will make Warrnambool a more lively and engaging place to be; a place the community is proud and connected to; a place where we share unique and positive experiences.

The success of Beers and Ideas as an innovative community led project has been acknowledged with the project being a finalist in the Economic Development Awards Community Collaboration in Economic Development category and a finalist in the LGPro Community Partnership Initiative. The Economic Development Team has also been asked to present on Beers and Ideas for events at MAV.

Power to the People – Community Consultation

On request of the Liebig Street Leadership Group and in preparation for the completion of the City Centre Renewal the Economic Development team have commenced planning a new CBD activation plan. Community led placemaking initiatives were identified as a key component of this and a number of consultation sessions were held with community members, traders and councillors. Australia's leading placemaker Gilbert Rochcouste was the facilitator for these workshops where the focus was on the community's vision for the city. Over two days, seven workshops were held with over 100 people in attendance. The findings, along with examples of successful best practice in community driven placemaking are being collated to formulate a community owned plan that will activate Warrnambool.
Other community led activations that the Economic Development team has assisted with have included Little Liebig Laneway Festival, Shop in a Box and A Very Liebig Christmas.

A Very Liebig Christmas

Christmas came early to the Warrnambool CBD on November 30th 2018. The night saw Liebig Street transformed into a Christmas wonderland with street stalls full of food, street performers roving and the laneways decorated. The street was activated with choirs and bands singing Christmas carols along the street while the stage at the top of Liebig Street had a range of performers from kid friendly to acoustic. Warrnambool even got a visit from Santa Clause who crash landed his sleigh on top of the Lighthouse Theatre roof.

A Very Liebig Christmas was a family-friendly community street festival that supported local businesses as part of the City Centre Renewal Project.

A Very Liebig Christmas was run by the Economic Development and Events departments of Warrnambool City Council in conjunction with the City Renewal Leadership Group. Traders got involved by opening their stores for extended hours, having sales, having a stall out the front and decorating their front windows with a Christmas theme, the best window was judged by retail expert, Martin Ginnane and announced on the night.

The event saw the Christmas street decorations and Christmas tree lit up for the first time. With plenty of activities and fun for the whole family, the event was a success with many thousands in attendance on the night and was a celebration of all the hard work that went into the Liebig street renewal and the works being completed.

Economic Development and Investment

2018 City Centre Renewal promotions

AFL Promotion

Footy Fever struck Warrnambool on September 21st with the Civic Green activated. Footy Fever saw hundreds of children take part in football themed activities such as blow up inflatables, football skill activities and contests along with face painting and giveaways.

As part of the City Centre Renewal business support package, local businesses across Warrnambool were given the opportunity to take part in the Footy Fever promotion. Game cards were distributed to local businesses with 6 stamps to collect. Shoppers who collected 6 stamps from participating businesses then dropped their card in the barrel located at the Civic Centre. Six names were drawn from the barrel and they were then in the running to win the ultimate grand final package which included tickets to the 2018 AFL Grand Final in the Hassett room and overnight accommodation in Melbourne. The lucky winner of the package was drawn in a reverse draw at the end of the Footy Fever afternoon.

Find the Five

Find the Five was the central promotion in 2018. The competition encouraged shoppers to collect five different tokens by making purchases over $10 in participating stores. Each round of Find the Five had a different theme and once a shopper had collected all five tokens from a round they received $1000 in prize money. As part of the promotion, shoppers could also receive an 'instant win' card which featured various prizes, from free coffees to discounts to free movie tickets.

CBD Traders provided the 'instant win' prizes for the competition and their support in ensuring the promotion was successful was beyond expectation with over $210,000 worth of prizes being donated. The Find the Five promotions also saw $5000 in prize money given out to winners across the four rounds and over 60 Warrnambool businesses participating in the promotion.

CBDme

CBDme.com.au, developed in consultation with traders, showcases the people and stories behind businesses in the city. A website was developed which featured the stories of the traders in the CBD as well as providing information for the community on events, promtions and activities happening in the city during the renewal works.
Over 30 businesses had their stories told on the website and these businesses also had access to live radio interviews on Coast FM and 3YB's breakfast shows. In addition to this the CBDme campaign featured street banners, cinema advertisments and radio promotions. All promotional collateral was offered to traders for their own independent use.

Economic Development and Investment

China Host Program

Coordinated by the Warrnambool City Council with funding provided from Regional Development Victoria and support from program backers Moyne Shire Council, Corangamite Shire Council, South-West TAFE and Great Ocean Road Regional Tourism, The China Host Program is a comprehensive and hands on workshop and training series that is tailored for businesses of all shapes and sizes.

Delivered by industry experts Asialink Business in conjunction with fellow training providers South West TAFE, Dragon Tail International and the Australian Tourism and Export Council, The China Host Program has seen 15 businesses from across the Great Ocean Road attend a series of workshops run by Asia experts Asialink Business, Gaibo Agency and DragonTrail. So far the modules have been run at Deakin Warrnambool and Sovereign Hill, with the remaining modules taking place in Port Campbell and Port Fairy.
The participating businesses are:

- Warrnambool Cheese and Butter, Warrnambool
- Alkina Lodge, Wattle Hill
- Great Ocean Road Resort, Anglesea
- Great Ocean Private Luxury Tours, Anglesea
- Lady Bay Resort, Warrnambool
- Deep Blue Hotel and Spa, Warrnambool
- Great Ocean Road Chocolaterie and Ice creamery, Bellbrae
- Apollo Bay Bakery, Apollo Bay
- Flagstaff Hill Maritime Village, Warrnambool
- Tower Hill, Koroit
- Southern Ocean Mariculture, Port Fairy
- Timboon Ice creamery, Timboon
- Live Wire Park, Lorne
- Cape Otway Lightstation, Cape Otway
- Gardens Caravan Park, Port Fairy

The Ideas Place

Funded by LaunchVic, the Ideas Place is a Warrnambool City Council initiative in partnership with Runway, the Moyne and Corangamite Shire Councils, Deakin University, South West TAFE and the Food and Fibre Council.

The Ideas Place is a program aimed at entrepreneurs and start-ups to help explore, foster and develop their business ideas. The program is one year in length and will take participants through a series of events, meet ups, workshops and masterclasses to help people from being someone with a good idea to being the founder of a start-up business. The Ideas Place has a dedicated 'Go to Guy' to coordinate the program and provide mentoring, help and advice to participants.

The program will culminate in a two day bootcamp which will finish with a pitch event. The winning pitch will receive a $10,000 prize which has been donated by The Fletcher Jones foundation.

Designated Area Migration Agreement (DAMA)

The Great South Coast region's Designated Area Migration Agreement (DAMA) was announced by the Commonwealth Government on December 10, 2018. Warrnambool City Council will act as the Designated Area Representative on behalf of the Great South Coast region. The DAMA will provide opportunity for our region's businesses to apply for individual labour agreements under which they can sponsor skilled workers, provided a range of criteria are met, including robust demonstration that the job cannot be sourced domestically. Warrnambool is only the second location in Australia to have secured a DAMA. Activation of the DAMA for the GSC region is expected sometime in the first half of 2019.

Economic Development and Investment

A City for living – Population Attraction Campaign

A City for Living is a digital, brand-awareness, population attraction campaign targeting the Baby Boomer market segment (between 45-65+) looking for a sea change to find new life in retirement. The campaign will highlight lifestyle improvements and advantages that can occur by relocating to Warrnambool – A clean, active, healthy, safe and beach front city (most liveable city in Victoria according to Deloitte access economics report 2018).

The campaign will build on and highlight the liveability recognition and strengths through targeted promotional and communication strategies that will build awareness, interest and lead-generation. This will be achieved through online tools to assist in motivating and assisting Baby Boomers to relocate to the region. The program will be delivered by the creation of targeted digital content. Warrnambool City Council will be partnering with key industry stakeholders to deliver this campaign.

Regional Certifying Body

Transitioning from eligible temporary resident visa to a Regional Sponsored Migration Scheme (RSMS) subclass 187 Permanent Residency visa requires an assessment of the employer sponsorship nomination by a Regional Certifying Body (RCB).

Council performs the RCB function for the Department of Home Affairs (formerly Immigration and Border Protection) on behalf of the six Great South Coast municipalities (Glenelg, Moyne, Southern Grampians, Corangamite, Warrnambool and Colac-Otway).

The RCB function is to assess employer nominations for the Regional Sponsored Migration Scheme (RSMS) subclass 187 permanent residency visa to confirm the employer:

- Is operating lawfully, legally and profitably
- Paying the market rate of salary
- Has attempted to source a suitably qualified Australian citizen or permanent resident from the local labour market, and;
- That the nominated skilled position is one that is in skill shortage for our region

Awards and Recognition:

- China International Friendly City Award for exchange and co-operation – Wuhan, P.R.China
  - Changchun Sister-City Economic Demonstration Project
- Finalist Economic Development Australia Award:
  - Beers and Ideas – Community Partnership through Placemaking
- Finalist Economic Development Australia Award:
  - Warrnambool China Bureau - Chinese market business incubator program
- Finalist LG Pro Award
  - Beers and Ideas – Community Partnership through Placemaking

Keynote Presentation

- State of the Nation – Perth: Leveraging Australia Sister-City relationships for better business outcomes
- MAV – Future of local government – Melbourne
- Economic Development Australia – Winners Showcase – Warrnambool China Bureau

Sister Cities

Changchun, China

Warrnambool and Changchun investment in collaboration, shared goals, strong partnerships and leadership has created a gateway to China for Warrnambool and the Great South Coast allowing engagement and mutual gains, both cultural and economic.

Our region's trade capability and capacity has been supported by:

- In-bound and out-bound delegations;
- Chinese business workshops and support; and,
- The Warrnambool China Bureau initiative.
- Great Ocean Road China Host Program

Warrnambool was nationally recognised in China at the International Friendly City conference in September 2018 with an China International Friendly City Award for exchange and co-operation as one of 60 recipients out of more than 2500 sister cities with China.

Miura, Japan

Warrnambool and the Japanese city of Miura have enjoyed a formal sister city relationship for 25 years. The two cities continue to have a number of exchange initiatives in place through 2018, including;

- Annual school exchange program between Miura Board of Education and Brauer College;
- Two Warrnambool residents installed as Cultural Exchange Representative in Miura City Hall, acting as Assistant Language Teacher (ALT) and international support officer;
- Miura resident installed as Assistant Language Teacher at Emmanuel College; and,
- International association and community visits.

Warrnambool City Council hosted a community delegation from Miura (comprising a party of 15) in May 2018. The Miura International Exchange Association president Tsukie Sasaya first came to the city 37 years ago and has now visited Warrnambool on 12 occasions. Tsukie Sasaya was awarded a certificate of recognition at a civic reception to recognise her contribution and longstanding friendship between our two cities.

Knoxville, USA

In late 2018 Warrnambool and Knoxville, USA formalised its relationship by signing a five year friendship agreement. The relationship between the two cities is underpinned by shared interests in Sprintcar Racing but will also extend to initiatives that encourage tourism and business exchanges between the two cities.

Holiday Parks

Holiday Park provides holiday accommodation in the form of:

- 578 powered camping sites at Surfside holiday park
- 441 powered sites at Shipwreck bay holiday park
- 10 amenities blocks and 7 laundries within the two parks
- 5, two bedroom beach chalet cabins
- 6, single room mariners cottages
- 12, two room cedar cottages
- 1, 2 bedroom camp quality beach chalet
- 23 non powered camping sites at surfside holiday park
- 17 non powered sites at shipwreck bay holiday park
- 18 electric BBQ's
- Foreshore Cleaning & Dog Bag Service

During 2018 Council's Holiday Parks continued to implement a wide range of initiatives to improve the visitor experience, such as:

- Cabin Renovations - 2 Cedar Cabins completed internally
- Upgrades to 3 amenity blocks (tiling, tapware & lighting)
- 7 new electric BBQ with lids installed
- Bollard lighting around cedar cabins
- Planted over 50 new natives trees/shrubs and upgraded the reserve area
- Upgraded pedestrian access to Surf Club entrance
- New waste bins and skip to reduce waste footprint and reduce costs
- Reduced speeding vehicles within the parks with a 'Bin Sticker campaign to remind drivers to 'watch their speed"
- Enhanced digital marketing & promotion for shoulder periods

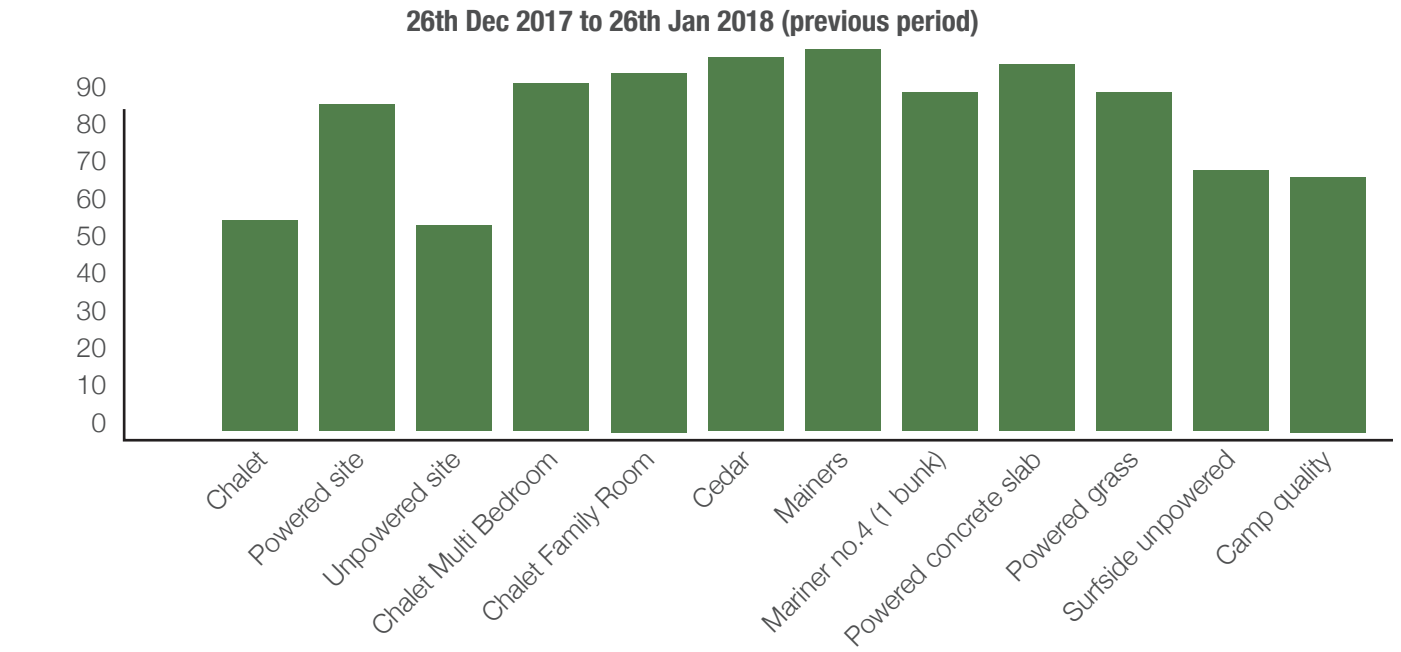
Holiday Parks occupancy data for both the summer season (1 month period from 26th Dec to 26th Jan) and also the full calendar year 2018 report increased occupancy from the previous period across the vast majority of accommodation offerings.

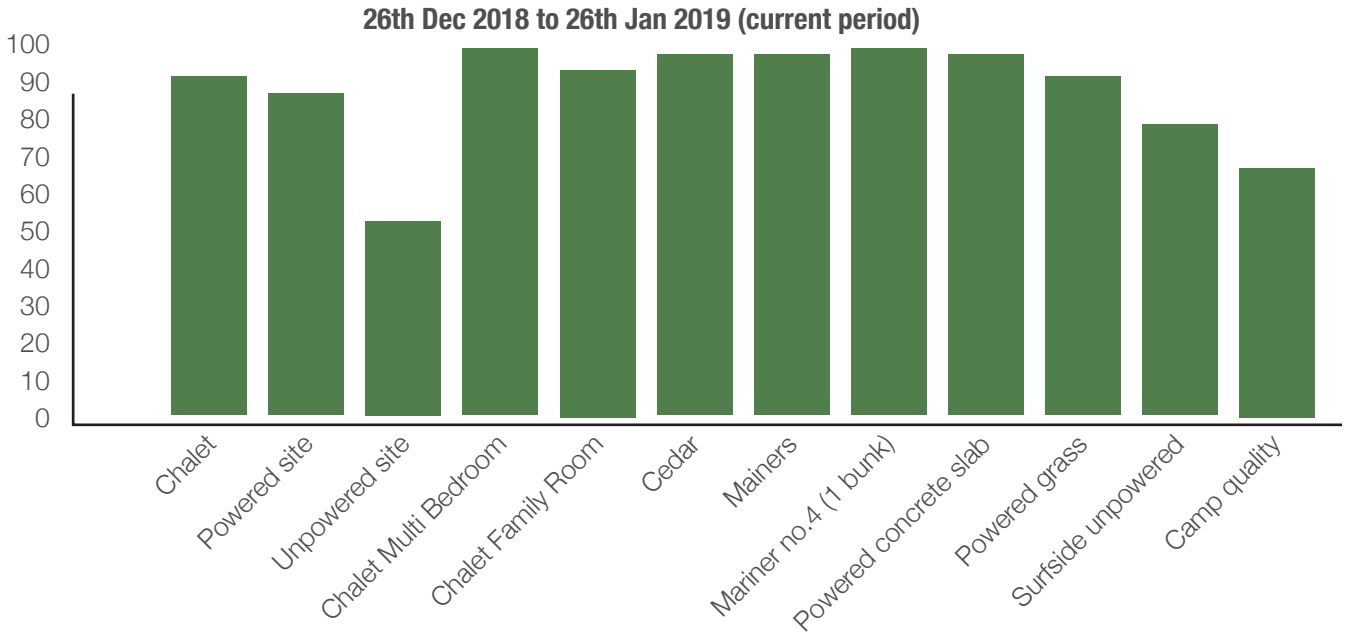
Summer Occupancy

- Both parks increased powered site occupancy. Surfside was up by 1.9% while Shipwreck Bay was up 4%
- All cabins showed an improved occupancy rate
- The strong performance can be attributed to a number of factors such as weather, quality and quantity of events in and around Warrnambool and Surfside Holiday Parks strong performance with online reviews.

26th Dec 2017 to 26th Jan 2018 (previous period)

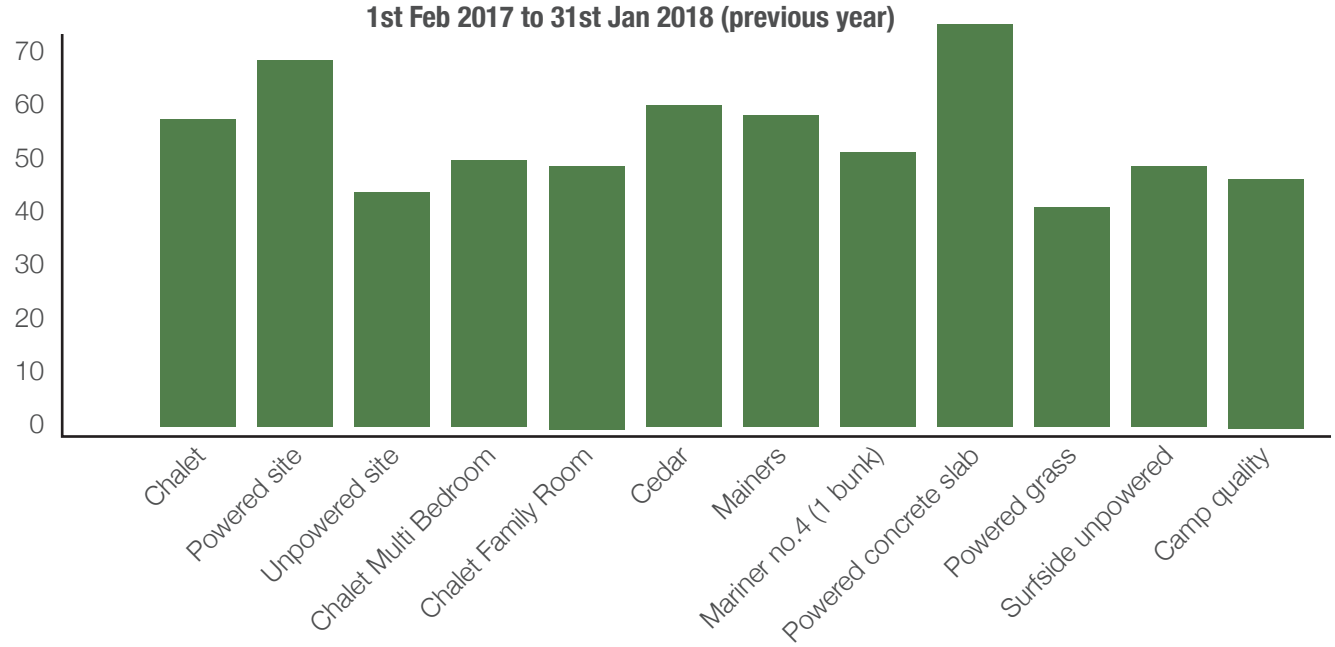
VISITOR ECONOMY

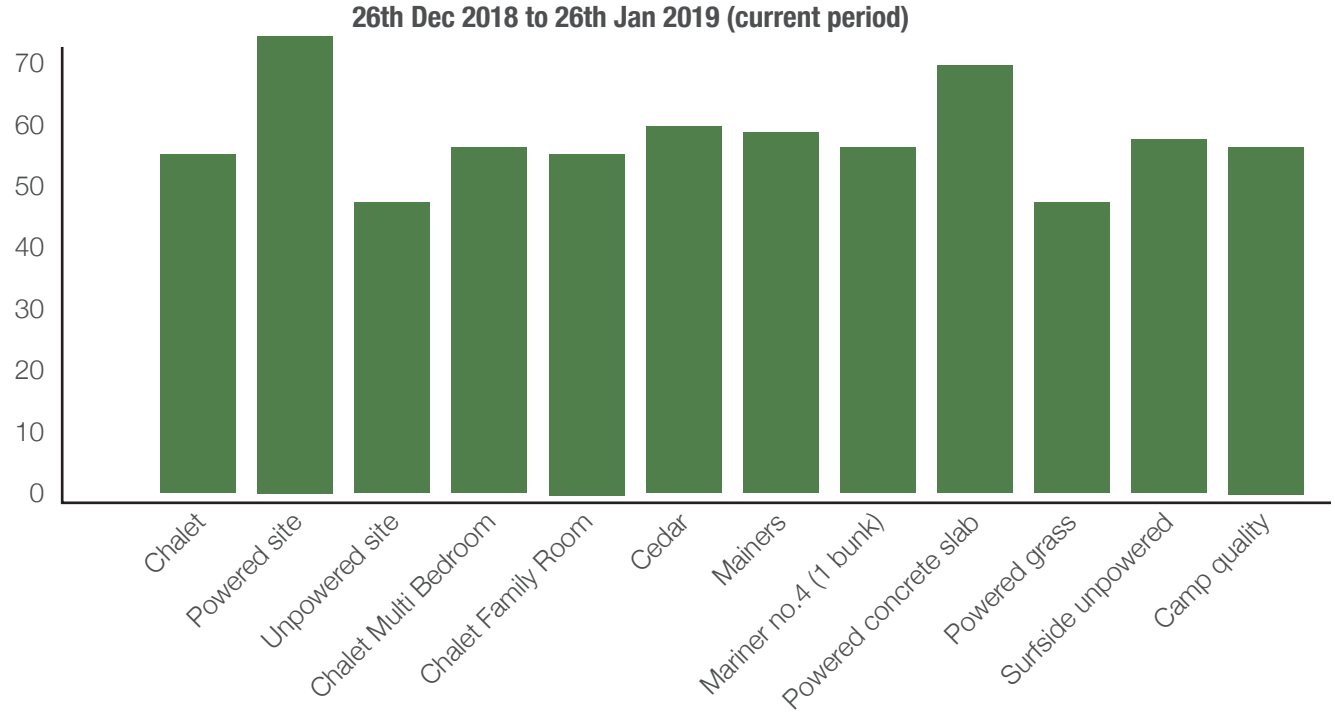




Year to Year Occupancy

- Consistent overall performance with both parks performing well in the powered site area. Surfside up 4.8% and Shipwreck Bay up 7.1%
- The cabins continue to perform at a consistently high yield for a full 12 month period.
- A recent ratings elevation from 3.5 to 4 Stars is recognition of the improved visitor offerings at Surfside Park.





DESTINATION MARKETING

Media

During January 1 – December 31 2018 social media followings and website engagement showed strong growth on the previous year. New Instagram accounts for Flagstaff Hill and Surfside were launched.

	Facebook	Instagram	Website Users
V.I.C.	4,167 (17% growth)	1741(650% growth)	97K (Down 15%)
Flagstaff Hill	1,692 (72% growth)	713	39K (Up 86%)
Surfside Parks	3,735 (13% growth)	535	59K (Up 73%)

Reviews

As of December 31st 2018, the average customer ratings, show the all business units have maintained an extremely strong reputation. All rating are out of 5 stars.

Dec 2017	V.I.C.	Flagstaff Hill	Lighthouse Lodge	Surfside Parks
Google	-	4.5 (157)	4.9 (7)	4.3 (147)
TripAdvisor	-	4.5 (719)	5 (55)	4 (115)
Facebook	-	4.5 (273)	-	4.3 (203)
Booking.com	-	-	4.7 (82)	4.5 (257)

Dec 2018	V.I.C.	Flagstaff Hill	Lighthouse Lodge	Surfside Parks
Google	4.4 (34)	4.4 (282)	4.8 (10)	4.4 (221)
TripAdvisor	-	4.5 (801)	5 (58)	4 (128)
Facebook	3.3 (5)	4.5 (340)	-	4.4 (286)
Booking.com	-	-	4.5 (82)	4.5 (257)

Industry Development

Initiatives that engaged with and up-skilled the local Tourism Industry.

- **Victorian Tourism Industry Conference**
  Cape Schanck
  30-31 July 2018
- **Young Tourism Network Workshop**
  Like a Local Campaign
  May - August 2018
- **Evidenced Based Marketing 2018 Tourism Conference**
  Great Ocean Road Reginald Tourism
  Colac Performing Arts Centre
  25th October 2018
- **Avoid Holiday Regret Summer Campaign Launch**
  Cally Hotel
  1st November 2018
- **Events Calendar**
  Software upgrade February 2018
  Printed Wall Planner distributed to industry November 2018

Marketing Campaigns

- Like a Local – Autumn
  9 x locally made itineraries
  Photoshoot
  Targeted promotion
  Electronic Direct Mail (EDM)
- Whale Trail – Winter
  Collaborative itinerary and campaign with Great Ocean Road Regional Tourism, Portland and Port Fairy Itinerary
  2 x Interactive map
  Social Influencer Famil and promotion from @TravelsofSophie
  Photo and Video creation
  Electronic Direct Mail (EDM)
- I am Where Stories Unfold – Spring
  Events focused content marketing campaign in collaboration with Great Ocean Road Regional Tourism
  Instagram Story creation
  Electronic Direct Mail (EDM)
- Avoid Holiday Regret – Summer
  Summer Events Guide
  Directional Footpath Stickers
  Round about banners
  Augmented Reality Effect
  Electronic Direct Mail (EDM)
- School Camps – ongoing
  Teachers Guide and Packages created
  Web Page created
  Teachers guide distributed at History Teacher Association Conference
  Partnership with GoldBus Ballarat established
  Future promotions planned in 2019

Advertising

- LetsGoKids
  Magazine Feature
  Web Listing
  Wot's On Listings
  Vouchers
  Year Round
- Out & About
  Summer, Autumn, Winter and Spring Editions
- Great South Touring Route
  International promotional listing
  Year Round
- Prime TV
  Flagstaff Hill TVC aired in regional Victoria
  October - December 2018
- JetStar Inflight Magazine
  Full Page and Editorial
  June 2018
- Ace Radio
  21 Campaigns Run
  Monthly Interviews
  Weekly 'What's On' Segment
- Destinations Victoria
  Double page spread
  Editors pick feature
  Year round

Print and Digital Press

- Herald Sun
  Holiday Coupons during
  Summer, Spring, Autumn and Winter School Holidays
- G'Day Magazine
  Warrnambool feature:
  Three page spread and video content
  Social media promotion
  December 2018 – Feb 2019

TV

- Racing.com
  AM WARRNAMBOOL sponsorship
  May 2018
- Sunrise 7
  Warrnambool Wombat
  August 2018

Blogs and Social Influencers

- @LetsGoMum
  Blogs and Video created
  Social media promotion
  April 2018
- @Travels of Sophie
  Photos and Video created
  Social media promotion
  August 2018

Events branch

Council adopted a new Events Strategy in May 2018. Of the 49 Actions and Tasks identified within the Events Strategies Action Plan, 44 have been completed or commenced. Significant planning work has been undertaken through 2018 to expand the offering of events in our City and how a greater range of community events can be developed.

Examples of initiatives include:

Festivals & Events Fund (FEF) To simplify and streamline the funding of community events a fund has been established as part of the Community Development Fund.

Event Control Group A key element of the Events Strategy was the creation of an Event Control Group, consisting of key managers and co-ordinators across WCC. The group met regularly through 2018 and to assess new and existing proposals and provide recommendations to the Events Team on regulatory and operational items. Importantly, this is allowing the Events Team to be the single point of contact for event owners and organisers, providing a professional and streamlined administrative and permit issuing process for events conducted in our city (both on and off Council managed land and facilities).

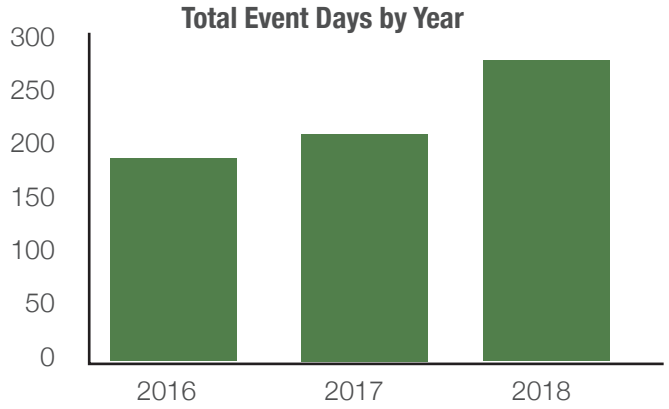
The Events and Promotions team has engaged with 23 events in recent months that had not previously received any formal and/or significant WCC support. This achieved a greater understanding of the events' needs and allowed the staff to provide advice and guidance on event compliance and how our WCC can engage with the event.

Business Events To expedite and grow the attraction of Business & Corporate events to Warrnambool, Council have entered into a partnership with Business Events Great Ocean Road that consists of, Surf Coast Shire Council, Corangamite Shire Council and Colac Otway Shire.

Event Attraction Significant efforts in attracting new events to Warrnambool have secured several state and national sporting championships (both Masters & Junior) and entertainment or group events. Importantly, many of these are for 2019/20 and 2020/21 and even some as far as 2022. Given the sophisticated manner in which event owners and organisers are now offering hosting rights, its critical WCC continue to proactively seek out and engage, rather than the traditional passive approach of the past.

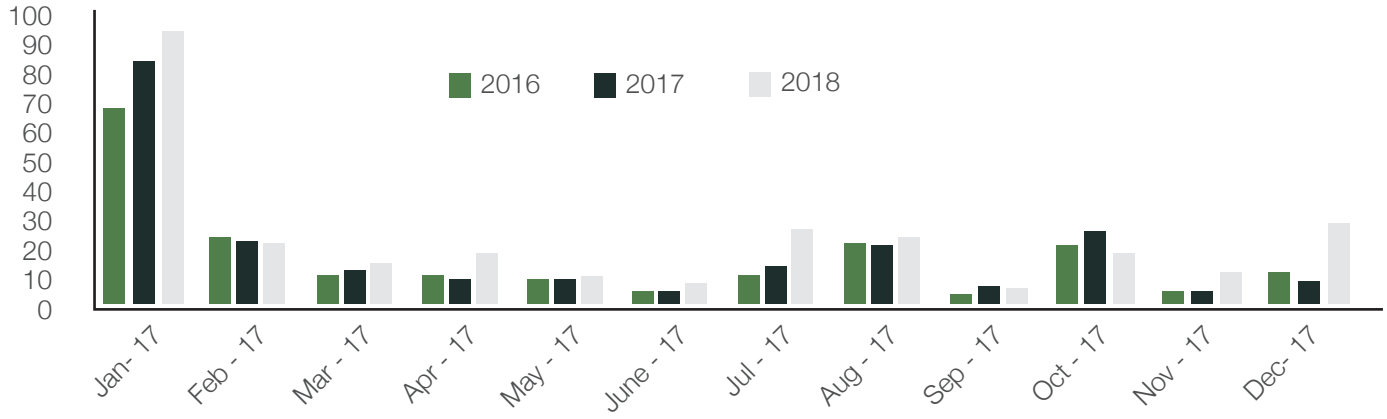
Total Event Days by Year:

- 29% increase in total event days by year from 2017 to 2018. This is due to an overall increase in events being held in Warrnambool and Jurassic Creatures being held daily also contributed to this increase.



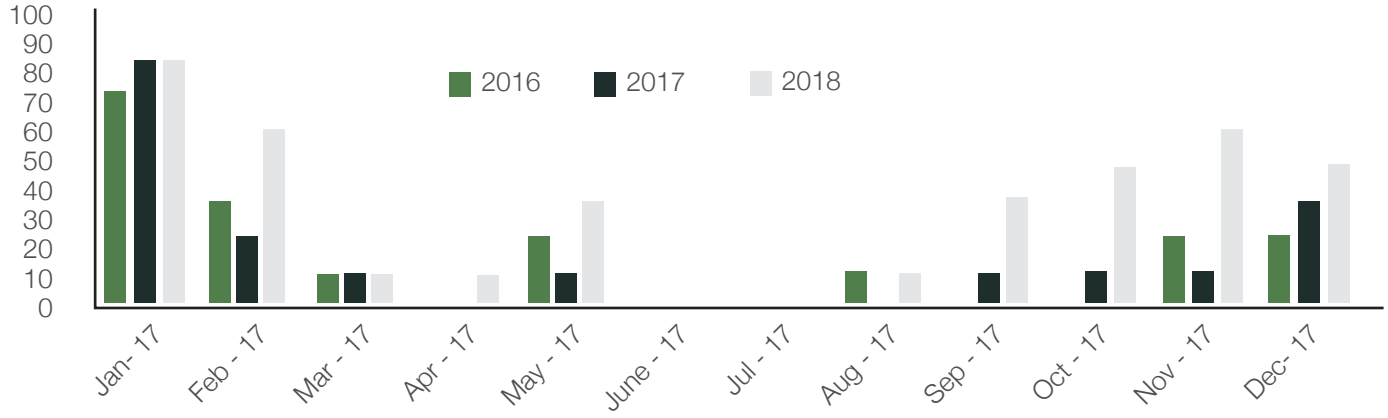
Total Event Days by Month:

- Significant increases in December and January due to Jurassic Creatures, BeachFest and community run events such as Obstacool.

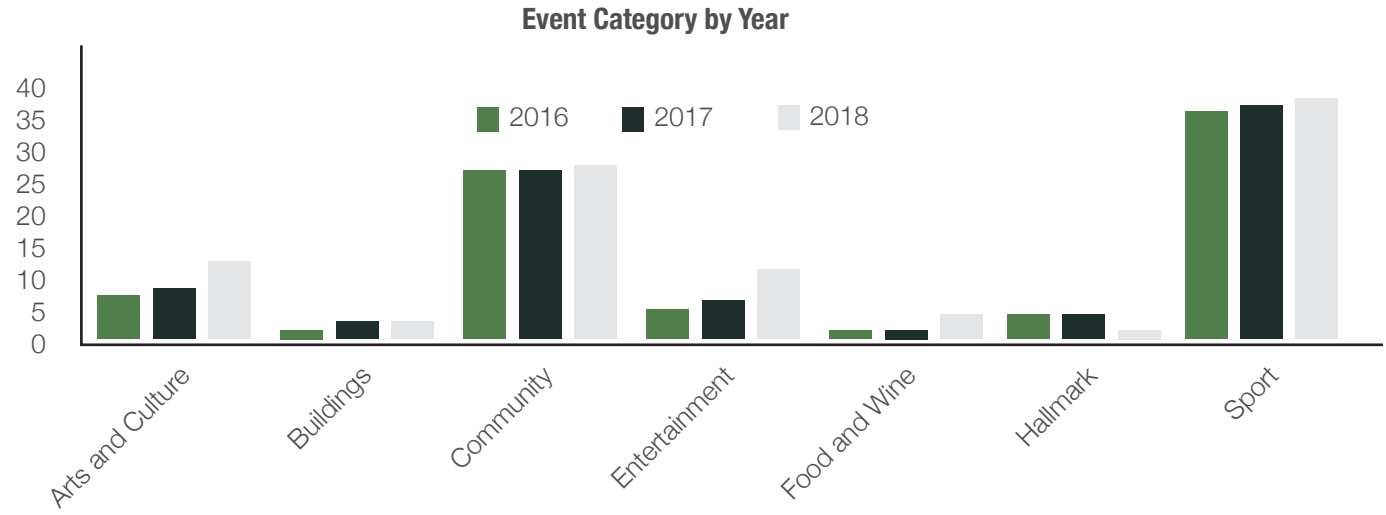


WCC Events Funding

- The number and breadth of Events that received direct funding from Council in 2018 has doubled from the previous year (2018: 34 events; 2017: 17 events).



- Sporting and Community Events are consistently where event funding is predominately focused throughout the last 3 years



Flagstaff Hill Maritime Village

Visitation

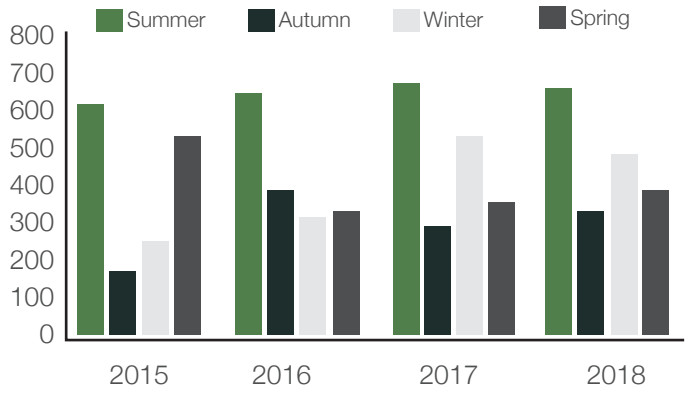
For the year ended December 31 2018, Flagstaff Hill reported 56,711 visitors, broadly in line with visitation from the previous year (2017: 56,885 visitors). The 2018 visitation comprised 39,592 day time attendances and 17,110 visitors to the Evening Sound and Light Show.

Events & Functions

In 2018 Flagstaff Hill hosted a range of Events and functions such as: Victorian Nippers Carnival Launch (68 attendees), Music Vic Roadshow (49), Rotary District Conference (680), the Day on the Hill (Easter Sunday), The Warrnambool City 100 year Celebration (1602), New Years Eve event and the Wednesday on the Wharf series. An increased scope in the Holiday Program, and a number of Weddings (11) and functions (7) were also hosted in the precinct.

Flagstaff Hill's Day on the Hill Event over Easter 2018 attracted 1,592 visitors and New Years Event numbers totalled 1,186, a significant increase (+49%) on the previous year. The revamped School Holiday Program at Flagstaff Hill saw more participants across a wider variety of childrens activities.

School Holiday Program Participants



Memberships

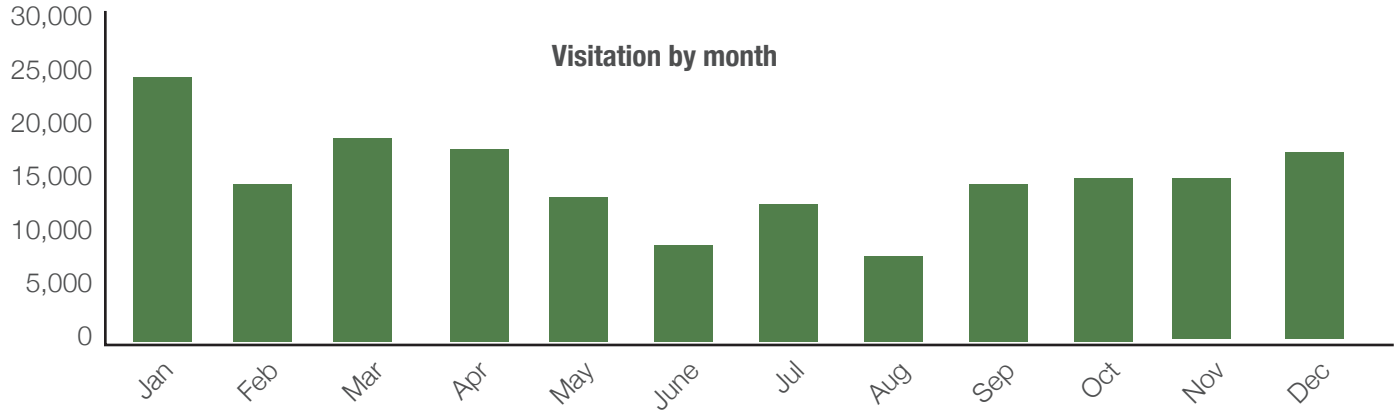
The free local membership drive encouraged locals back to Flagstaff Hill, delivering greater paid membership take up in the front half of FY18. As at December 2018 the number of free local memberships totalled 386, and the number of paid memberships was 197 (including individual family members equates to 898 members).

Warrnambool Visitor Information Centre

The Warrnambool Visitor information Centre continues to service intra-state, inter-state and international visitors to our region. Providing a space for local producers, artisans and groups to engage with this audience

Visitation

The Warrnambool Visitor information Centre (VIC) serviced 177,850 visitors in 2018, a small increase on the previous year (+1%). The Summer Season and those that encompass Victorian School Holidays continue to deliver strong levels of visitation.



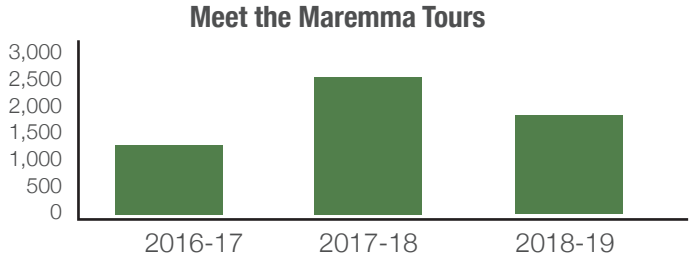
Community and Industry Displays

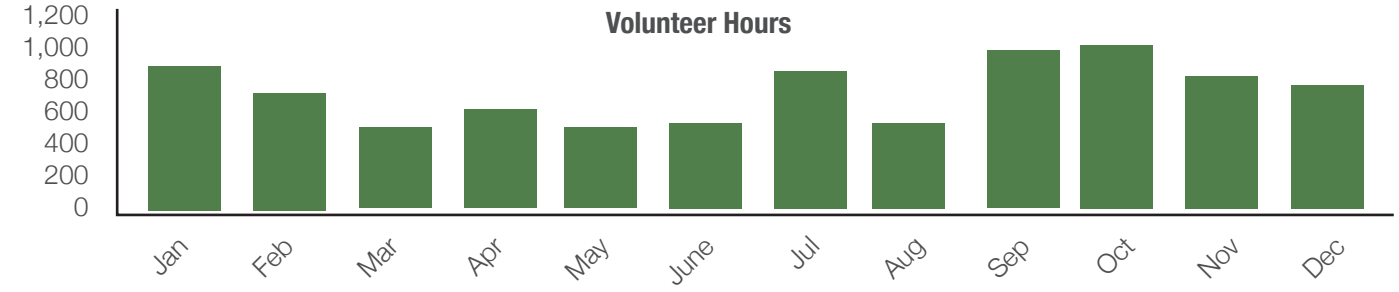
Local displays and showcases include Triton Woodworkers, Ella Webb's Loop Studio Art Exhibition, Warrnambool Model Train Club exhibition weekend, Warrnambool Athletics Club Running Festival, Deep Blue Geothermal Mineral Spa development display and hosting numerous industry functions.

Booking Services

Of the 4,087 total bookings taken in 2018, 50% were for Flagstaff Hill Experiences, 45% Meet the Maremma Bookings and 5% accommodation bookings.

The current format for the Meet the Maremma Tours has seen continued growth in its popularity, with the 2018-19 season expected to report strong results.





City Development and Strategy

The City Development and Strategy branch comprises the functions of Strategic Planning, Statutory planning, City Sustainability and Natural Environment and Statutory Building Services.

City Strategy

The City Strategy branch provides strategic planning services which oversee the strategic and policy direction for land use planning in Warrnambool. This includes:

- maintenance of the planning scheme
- policy formation
- customer service
- land supply
- heritage register maintenance
- strategic and structure plans
- infrastructure provision
- funding applications
- open space planning
- GIS services

City Strategy efforts underpin Warrnambool's future development and land use planning. Strategic planning forms the basis for external funding and legislative planning change.

City Strategy has the following strategic planning projects under way. Projects are undertaken, co-ordinated and /or project managed in-house.

East of Aberline
Funded by the Victorian Planning Authority (VPA) ($218,000)
Includes background technical reports and structure plan support

The project will produce a Precinct Structure Plan (PSP) to guide future development and land use within the future urban growth area of Warrnambool. It will describe how land is expected to be developed, and how and where services are planned to support development. The project will also provide for a Development Contributions Plan which will be informed by the Structure Plan.

The Victorian Planning Authority funding and partnership brings forward important strategic planning for a future urban growth corridor in Warrnambool. As the regional centre of the Great South Coast region, this initiative will ensure the growth of our city is planned sustainably to meet the needs of existing and future residents.

Status: Ten background technical reports are complete (three additional technical reports completed in 2018).

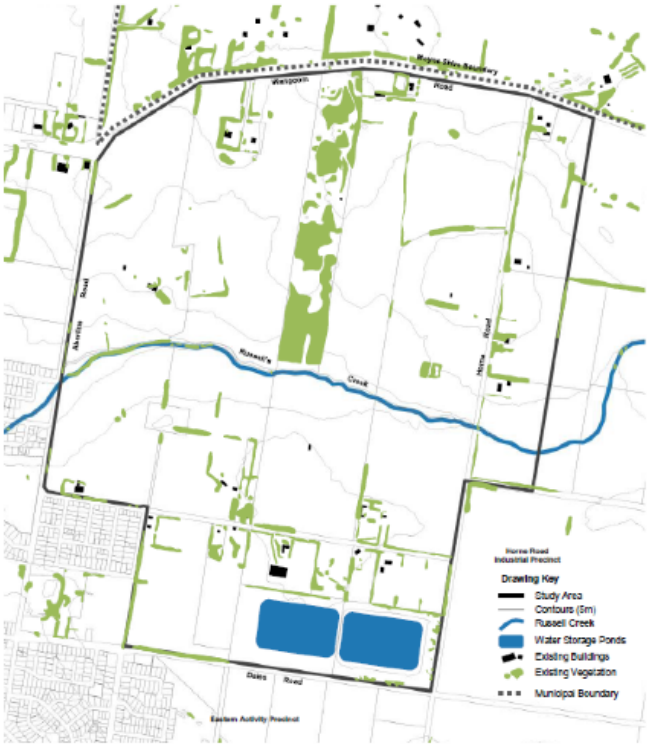


Figure 1: Long Term Growth Corridor - Study Area

ACKGROUND REPORT 2016

Issues and Opportunities Report drafted. Stakeholder engagement to commence in first quarter of 2019.

Allansford Strategic Framework Plan

Funded by the VPA ($30,000).

The project will prepare a strategic framework plan for the township of Allansford including relevant technical reports to inform the framework plan. The project will provide guidance on planning controls within the township to facilitate appropriate land use and development options.

Status: The first phase of community engagement has commenced with a resident survey was open until the end of February.

North Wangoom Framework Plan

Planning controls for Wangoom Road North were reviewed in 2018.

A Land Use options paper was prepared and circulated to landowners. The Land Use options paper recommended that further development could not be supported at this point in time due to a number of constraints within the area. The Land Use options paper was endorsed by Council at its meeting on 3 September 2018.

Status: The review has been completed.

Logans Beach Framework Plan – implementation strategy

The Logans Beach Framework Plan was adopted by Council on December 4, 2017. An Implementation Strategy was developed and refined throughout 2018 to facilitate the framework plan's inclusion into the planning scheme. A shared infrastructure plan has also been developed to ensure appropriate funding of infrastructure is provided to support development. Planning Scheme Amendment documentation is being prepared in accordance with the implementation strategy.

Status: Planning Scheme Amendment request for authorisation to be sent to the Minister for Planning by mid-2019.

Eastern Activity Precinct Structure Plan – implementation

The Eastern Activity Precinct Structure Plan was adopted by Council on 5 September 2016. Planning Scheme Amendment documentation has been prepared to implement the structure plan into the planning scheme.
Status: Planning Scheme Amendment request for authorisation to be sent to the Minister for Planning in mid-2019.

South of Merri Open Space Precinct Plan

The Open Space Strategy (2014) identifies the need to undertake a precinct plan for the South of the Merri River area (from Queens Road to Manuka Drive).
The aim of the project is to develop an open space precinct plan for public land south of the Merri River between Queens Road and Manuka Drive Warrnambool. The plan is to consider the connectivity of parkland and off-road trails, environmental and cultural heritage protection and passive recreation.

Status: A draft issues and opportunities paper has been prepared, and a project brief is being developed. Procurement of a suitable consultant to assist in developing specialised landscape concepts is due to commence in March 2019.

Housing Diversity / Compact Cities Strategy

The City-Wide Housing Strategy (2013) identifies the need to undertake a Housing Diversity Strategy to identify priority sites to support areas of increased housing diversity. Initial consultation has been undertaken as part of the W2040 process.

Status: Background report completed and draft framework developed. Scope of works being refined – due 2019.

Social Housing Planning Project

Funded by the Department of Health & Human Services (Social Housing Investment Planning Program) ($104,500). The project will inform the social and affordable housing needs of Warrnambool, and be undertaken in two stages. Stage one will provide demand/supply evidence base of social housing needs over the short-medium term and analyse the current market. Stage two of the project will provide an issues and opportunities assessment of how the supply of social housing in Warrnambool can be increased to meet current and forecast needs.

Status: Project planning has commenced. Procurement of a suitable consultant is due to commence in March 2019.

Warrnambool Planning Scheme Review

The Planning and Environment Act requires that the planning scheme be reviewed every 4 years. The last review was undertaken in 2014.
Status: Draft review has been completed and will be presented to Council for endorsement in early 2019.

Environmental Significance Overlay

The Warrnambool Planning Scheme Rewrite Project (2015) identifies the need to review the schedules (1-4) of the Environmental Significance Overlay (ESO), to ensure consistency between schedules and accurate mapping boundaries. The project will also review and update the environmental statements of significance and objectives for each of the ESO schedules.

The ESO review will provide an opportunity to strategically

identify other areas currently supporting significant biodiversity or environmental value within the City of Warrnambool and where long-term protection of these values is potentially achievable through the use of the ESO.
The Strategic Planning team is consulting with the Department of Environment, Land, Water & Planning and the Glenelg Hopkins CMA as part of the ESO review.

Signage Policy

The Warrnambool Planning Scheme identifies the need for an advertising signage policy. The new policy will guide consideration of advertising signage and ensure the City's standards for signage are robust, reflective of current practice and ensure the public domain is attractive and safe.

Open Space Contributions Policy

The Warrnambool Open Space Strategy (2014) and the Warrnambool Planning Scheme recommends the development of an Open Space Contributions Policy. The project will guide and direct the collection, spending and administration of collected open space contributions

Statutory Planning

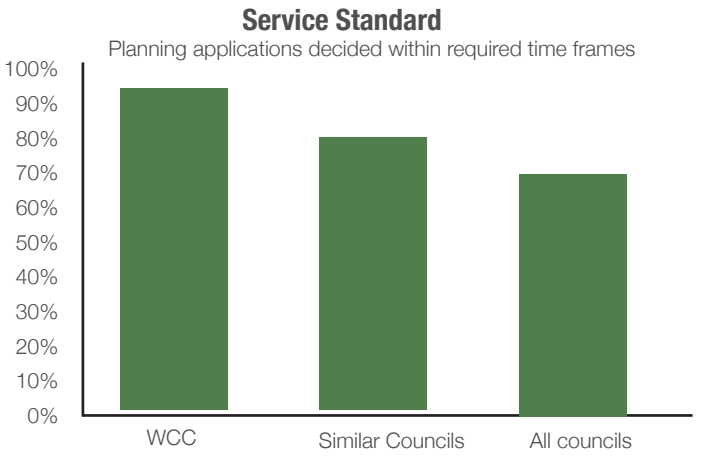
Statutory planning includes:

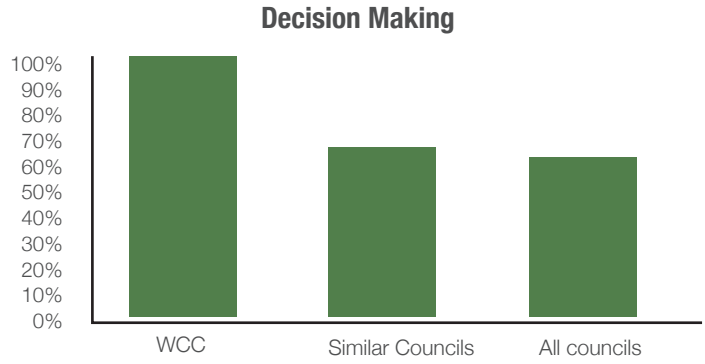
- the processing of planning permit applications, planning enforcement, development advice and preliminary planning advice;
- implementation of Victorian planning objectives and the objectives of the planning framework established by the Planning and Environment Act 1987;
- meeting legislative requirements of Council as the Responsible Authority for the Municipality in relation to planning permit applications and planning enforcement; and,
- ensuring the long-term sustainable growth of the municipality.

Development Plans approved

- 159 Mortlake Road Development Plan

Statutory Planning performance





City Sustainability and Natural Environment

Green Warrnambool

Green Warrnambool Strategy was adopted in September 2018 and is in the early stages of implementation. The strategy provides strategic direction to guide environment and sustainability initiatives to 2040. Green Warrnambool sets the vision that Warrnambool will be the most environmentally sustainable regional city in Australia. Progress reports against the Green Warrnambool Strategy will be prepared annually.

The strategic themes of the Green Plan are:

Zero Warrnambool – we will have zero net greenhouse gas emissions

The Green Monitor has been developed to monitor and analyse Councils energy and water usage. The program has been developed by Councils Sustainability and Finance teams.

The Green Futures Program provides support to Warrnambool business and residents to improve sustainability and reduce environmental impact. Support provided includes sustainable business audits for local businesses, Environmental Upgrade Agreements to finance sustainability improvements to commercial buildings, Positive Charge program to support households to install solar.

Adaptable Warrnambool – Council and its community will be prepared and resilient in a changing climate

In 2018 Warrnambool City Council signed up to the Cities Power Partnership. The partnership is a network of Councils making the pledge and sharing knowledge to tackle climate change.

Smart Buildings Report has been prepared to provides analysis and options to improve the sustainability and operating costs for Council buildings. The report proposes a number of opportunities for investment in projects to reduce Councils emissions to achieve the target of a 30% reduction in emissions by 2020.

A Sustainable Buildings Policy is currently under development for Council buildings and facilities.

Barwon South West Local Coastal Hazard Assessment Phase 1 has been completed. The project is a partnership with the Barwon South West region Councils, Coastal Committees of Management and the Department of Environment, Land, Water and Planning. The project aims to build a detailed picture of existing and future coastal hazards within the region and when complete, it will enable land managers to better understand, evaluate and plan for the risks associated with coastal environments including sea level rise, costal erosion and storm surge.

The sustainability team have provided support in the development of Councils first off grid solar system. The off grid solar system is located on a storage building in the Ozone car park and provide electricity to the building.

Wise Warrnambool – we will send zero recoverable waste to landfill and reduce litter and pollution

The Sustainability team have worked with local businesses to bring Sustainable Salons to Warrnambool. Sustainable Salons is a social enterprise that rescues up to 95% of salon resources from landfill and fids repurposing solutions. The Clean Oceans Collective is a partnership between agencies and the community to tackle marine plastic debris. The Collective was formed following the nurdle spill in 2017.

The second Clean Oceans Collective marine plastic debris workshop was held in November 2018. Facilitated by Tangaroa Blue, the workshop focused on the baseline data which has been collected by the community and entered into the Australian Marine Debris Initiative Database. The data will provide a basis for items to be targeted in the development of local Source Reduction Plans.

The highest number of marine debris items collected on our local beaches are Plastic bits and pieces hard and solid (64%), Sanitary (tissues, nappies, cotton buds) (10%); Rope and net scraps (6%); and Lids, tops (4%).

Natural Warrnambool – where we will enhance and protect our environment and biodiversity

The Moyjil Conservation Management Plan continues to be implemented and management of the site guided by the Moyjil Advisory Committee. The publication of archaeological research papers is imminent and to ensure protection of the site key projects underway include replacement of the beach access and investigations into the 'block wall' stabilisation.

Middle Island Project is a wildlife conservation project that uses the 'Warrnambool Method' to help protect the colony of little penguins living on Middle Island. The 2018-2019 penguin breeding season is underway with monitoring of the penguin population estimate 50 breeding pairs. Meet the Maremma Experience has been popular over the summer holidays and likely to be an increase on last year's participation.

The review of the Warrnambool Coastal Vegetation Management Plan has shown 68 of the 92 actions are under way or ongoing. The plan is being implemented by Council and community groups including the Warrnambool Coastcare Landcare Network.

Blue Warrnambool – we will ensure our water is protected, conserved and unpolluted

Council has been successful in receiving funding to improve public safety and beach access to Lady Bay via the Coastal Public Access and Risk Grant (DELWP).

Green Warrnambool – our green spaces will be thriving and connected and our food sourced locally

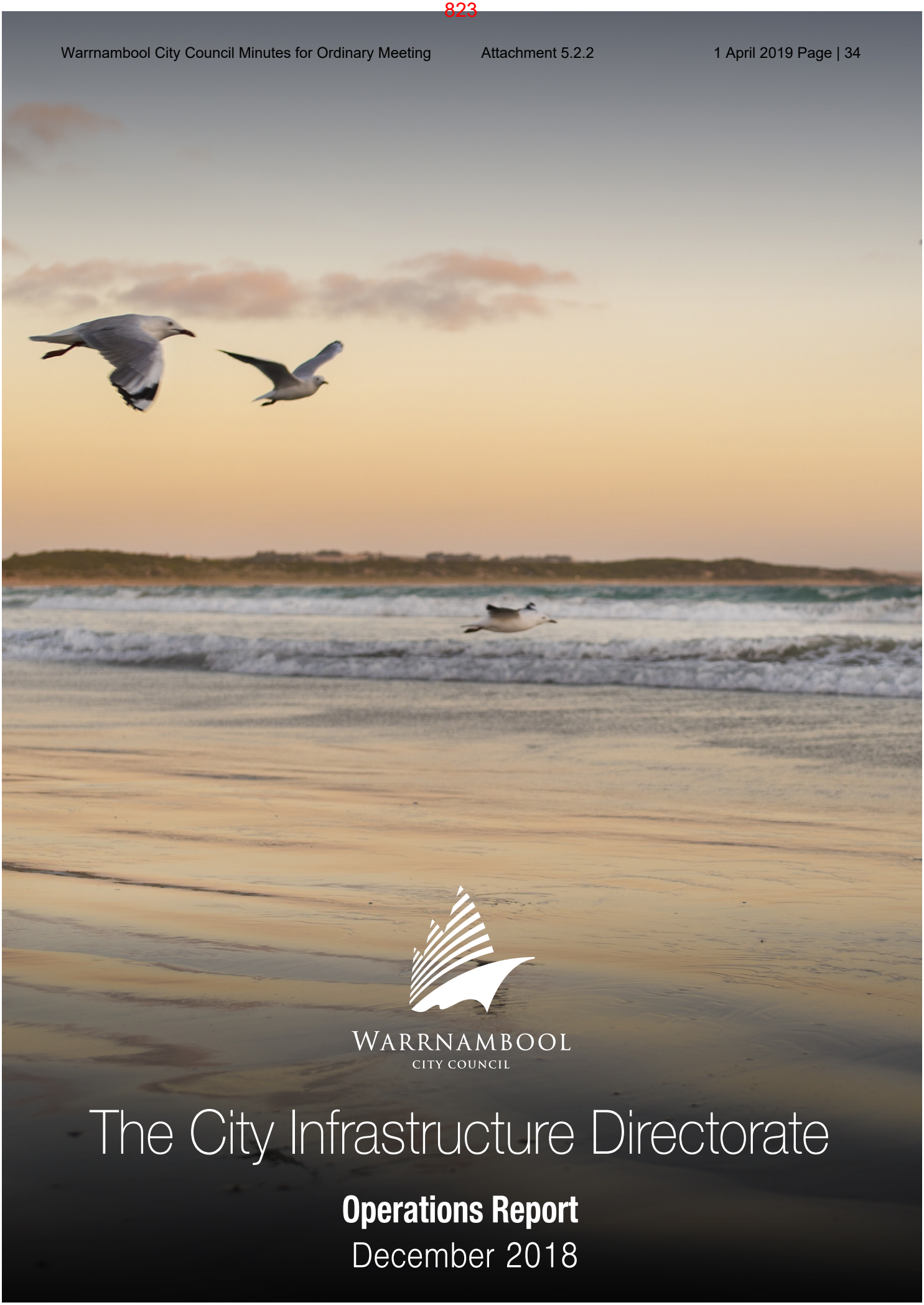
A number of community groups and clubs are supported by the Community Development Grants – Environment Category to implement projects, workshops and events in the community and include the Warrnambool Community Gardens Market, Warrnambool Sustainable House Day, MaD for the Merri Landcare Group, Australian Plants Society Warrnambool & District, The Trustee for Nature Glenelg Trust for the Small Things Festival, Friends of Platypus Park, Friends of Victoria Park, Friends of Victoria Park.

Council continue to support ReVeg the Flume by Warrnambool Coastcare Landcare Network, which is a long running tree planting day on National Tree Day.

City Building Services

City Building Services provides a building permit service, related information and advisory services and regulatory services in accordance with the Building Act 1993 and other relevant legislation.

City Building Services also provides, by contract, the Municipal Building Surveying function to Moyne Shire Council. For the calendar year of 2018, 500 Building Permits were issued for Warrnambool City Council properties (423 residential and 77 commercial).



WARRNAMBOOL
CITY COUNCIL

The City Infrastructure Directorate

Operations Report

December 2018

THE DIRECTORATE

The City Infrastructure Directorate comprises the following branches:

Facilities and Projects
City Amenity
Infrastructure Services

FACILITIES AND PROJECTS

Roof replacements

• Lighthouse Theatre – veranda awing, resealing tower, overflow relief for box gutters. Cost: $69,700.

• Civic Centre West Wing – partial roof replacement. Cost: $48,000.

• Aerodrome – roof replaced on Air Services building. Cost: $10,500.

• Civic Centre - Roof replacement, 95 per cent complete. Parapet wall replacement works scheduled to commence February 2019. Cost: $120,000.

• Aquazone – The shade sail on north side of the pool hall has been replaced, a trial repair has been quoted for the pool concourse. Cost: $24,000.

Regulatory compliance projects

• Aquazone – Procurement has been finalised for replacement of non-compliant stairs at the front entry, building works to commence late April 2019. Cost: $26,000.

• Aquazone – Upgrade of timed flow showers and tempering valves, for domestic hot water. Cost: $30,000.

• Asbestos Removal Projects – Asbestos containing materials have been removed from Dennington pavilion, Brierley cricket clubrooms the Country Women's Association hall. Cost: $30,000.

• 41 Pertobe Road - Tennis club/ Bowls club asbestos roof replacement and demolition of former care takers residence. Cost: $33,800.

• Roof Access Audit and Improvements – Civic Centre West Wing fixed ladders, harness points and walkways; Lions Hopkins Preschool ladder bracket and harness points; Dennington Recreation Reserve fixed ladder and harness points; Scott Street Machinery Shed fixed ladders, harness points and walkways; Myrtle Bar fixed ladders, harness points and walkways; Beamish Street Preschool ladder bracket and harness points; Aquazone fixed harness points and ladder access. Cost: $54,000.

• Fire service, Warrnambool Airport – Pressure testing and upgrades to the pumps for compliance. Cost: $5,000.

• Warrnambool Theatre Company – Upgrade works for compliance of the stairs, storage bays and the gantry crane. $10,000.

General renewal

• Flagstaff Hill - New handrail on shipping agents stairs complete. Lighthouse lodge light refurbishment complete. Works to Pippies veranda complete. Design required for new roof at Pippies restaurant. Cost: $39,924.

• Beamish Street Preschool – Shade sail replaced. Cost: $17,000.

• Merrivale Recreation Reserve – procurement completed for demolition and replacement of dilapidated former storage shed and scoreboard. Works to commence February 2019. Cost: $41,000.

• Warrnambool Library - Upgrade collection lighting. Cost: $26,000.

• Central Preschool - Replacement timber window. Design for drainage and retaining wall renewal at rear. Cost: $15,000.

• Community Housing - Replacement of three structurally unsound carports. Undertake general repairs due to wear and tear. Cost: $40,500.

• Bushfield Recreation Reserve - Replacement storage shed, being undertaken as a partnership project with the Bushfield Recreation Committee, to include gym facilities. Cost: $20,000.

• Allansford Fishing Clubrooms - Sewer connection under private agreement with Warrnambool Riverside Holiday Park and light refurbishment of the toilets to allow the Allansford Fishing Club amenities to the open to the public. Site works are expected to commence prior to Easter. Cost: $25,000.

• Ozone Shed Refurbishment - Project completed, City Centre maintenance staff are using the equipment store. Cost: $60,000.

• Warrnambool Lawn Tennis – A $90,000 project was undertaken in collaboration with the Warrnambool Lawn Tennis Club and Lawn Bowls to upgrade to social room roof and remove asbestos and demolish former caretaker's residence.

• The Pavilion – Light refurbishment included creation of an airlock to provide weather protection for the lift, re-glazing damaged glass panels, rust treatment, and replacement of rotting timber, external painting and re-sealing of the floor. Cost: $60,000.

• Aquazone – Replacement condensing boiler for the HVAC system which failed unexpectedly in December. CostL $17,000

FACILITIES AND PROJECTS

Beach Access Renewal and Footpath Linkage Program

In a first for the city, beach access improvements at Worm Bay and the Yacht Club carpark were constructed using fibreglass reinforced plastic (FRP) structures instead of traditional timber.

These materials will greatly extend the life of both assets. A new staircase at Worm Bay links the beach to the promenade and the Worm Bay carpark.

The improved construction techniques use deep screw pile footings to prevent damage to the footings, sandbags to stabilise the dune and new slip resistant composite FRP grating decking.

At the Yacht Club carpark, a new access ramp has been constructed to provide easier beach access for a range of users, including emergency services.
The design of the ramp enables the sand and sea water to form a natural level which means less maintenance is needed.

The FRP material is as strong as steel and has a 50-year lifespan.

The Worm Bay access upgrade was funded by Council and the Victorian Government's Department of Environment, Land, Water and Planning via a Public Access and Risk Grant.

The Yacht Club carpark access ramp upgrade was funded by Council.

Wollaston Bridge

Council received a $195,000 grant from the Victorian Government's Living Heritage Program to help preserve the historic Wollaston Bridge.

When built, the bridge was a private entrance for the Wollaston Estate but is now a key link for pedestrians as well as a place for quiet reflection, bird watching or even painting.

The grant will be used to replace the bridge's structural timbers.

• Feature, Reserve and Sports Lighting – Emergency funding for upgrade of public lighting to address electrical and structural hazards. The funding has been used to physically inspect roughly 1/3 of the lighting assets, addressing in the order of 150 electrical and structural defects across the municipality. Cost: $123,000.

• Installation of telemetry monitoring of key sewer pump stations at Jetty flat, Viaduct Road and The Pavilion to minimise impact the key services for the public. Cost: $5,000.

Public toilet renewal

• Botanic Gardens – Construction of a new public amenities block and associated sewer main commenced in September 2018. A large amount of rock was encountered during the excavation for the sewer main, however, despite this setback practical completion of the amenities was achieved one week ahead of schedule and within the budget allocation. Building cost $233,500. Sewer main cost $86,500 plus $23,000 for rock variation.

• Swan Reserve – Construction work commenced in October 2018 and is now 75% complete. Practical completion of this project is expected during March 2019. Cost: $384,000.

Playground renewal program

Crawley Street Playground

The new Crawley Street playground was completed.
The playground includes a slide, climbing and balancing aspects, monkey bars and a spinner.
A new concrete footpath, seating and natural landscaping were also installed.
The playground is expected to be able to be enjoyed by the local community for at least the next 20 years, and was completed as part of Council's annual Playground Renewal Program.

Lake Pertobe all access swing

A new accessible swing set was installed at Lake Pertobe.
The timber A-frame swing has two seats: one for toddlers and one for older children. Both have high backs to offer maximum support and also include adjustable harnesses.
A new concrete footpath leads to the swing, which has soft rubber matting around its base. The swing is also close to the accessible toilet facilities and a barbecue.
The swing installation aligns with the recently adopted Lake Pertobe Master Plan.
The $36,000 project was funded via the Warrnambool City Council's Rural Access Capital Works Fund.

Small Infrastructure Fund

Petanque piste

Warrnambool's first official petanque facility was officially opened on Pertobe Road in December 2018.

Similar to lawn bowls and bocce, petanque sees teams score points by throwing their boules as close as possible to a target jack.

The playing area, known as a piste, was constructed from recycled plastic. The piste has a sandstone base with a layer of quartz on the surface.

An informal group has been playing regularly in Warrnambool since 2016.

The project was funded via Council's Small Infrastructure Fund.

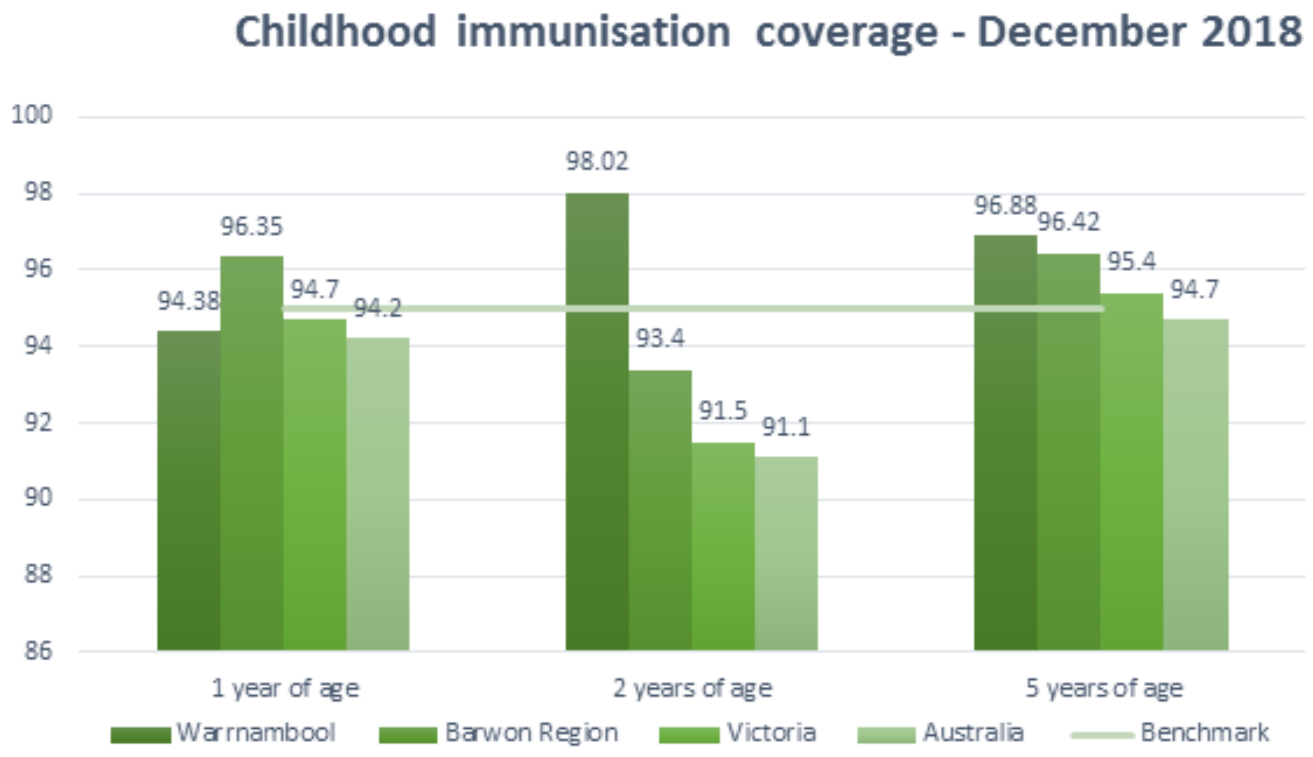
Petanque boules were made available for public use as part of Council's BeachFest activities in January.

Immunisation Service

Warrnambool City Council delivers an immunisation service in accordance with the Public Health & Wellbeing Act 2008.

The service administers between 5000 - 7000 vaccinations annually and consists of four fundamental services.

Warrnambool continues to meet or exceed national immunisation benchmarks with 95 per cent of Warrnambool children aged one and two fully immunised and 99 per cent of children aged four years fully immunised.



CITY AMENITY

The Local Law department educates, enforces, and introduces policy and procedures in the following areas: Local Laws, Animal Control, Traffic Management, Fire, School Crossings

Local Laws

We have just completed the public consultation in relation to condensing our six existing Local Laws into one Local Law.

We also regularly attend schools and public groups to discuss what we do and why.

In 2018 the Local Laws team:

- Averaged 487 phone enquiries per month.
- Managed 158 A-Frame, 30 goods on footpath and 83 outdoor dining permits.
- Introduced 14 new CCTV cameras.

Animal Control

There are 1603 cats and 4204 dogs registered in the municipality.

Council provides a 24 hour emergency service for attacks, dogs at large, or injured animals and stock on roads. Our policy is to return an animal home if possible instead of impounding it. The pound facility is run in conjunction with the RSPCA.

The cost to Council to use the RSPCA animal shelter has increased significantly in recent years. This is due to the RSPCA's decision to no longer subsidise the service.

Traffic Management

Council replaced all parking metres in the city centre with new smart meters in late 2017.

This rollout coincided with the introduction of a new enforcement app that provides vehicle payment history prior to the issue of an infringement, and a smartphone app to allow drivers to pay for their parking.

This is the first fully integrated pay-by-plate system in Australia. In just over a year, the pay by phone option accounts for 30 per cent of parking payments.

An ongoing issue is the push from some businesses to remove paid parking in the city centre.

Animal Management	2015	2016	2017	2018	Material variations/ comment
Service cost					
Cost of animal management service [Direct cost of the animal management service / Number of registered animals]	$15.79	$27.95	$32.04	$72.55	Increase in costs associated with the increase in the RSPCA service contract

CITY AMENITY

Four New Waste Contracts

Kerbside collection of household waste and recycling
From July 2019 this new contract commences, featuring new collection vehicles with specialised equipment including real time video cameras, RFID tags which links each bin to each individual property, bin weighing technology and noise attenuation features during collection.

Council provides a kerbside collection service for around 15,500 households, collecting around 6,000 tonnes of household waste per annum and around 3,700 tonnes of recycling. This equates to 15,500 collections per week of household waste and 7,750 weekly collections of recycling.
Recycling processing

A separate contract for recycling processing is currently being finalised. This is intended to give Council more certainty and control over contamination and processing costs. The contract will have provision for a separate glass and aluminum collection to reduce contamination in the recycling

stream should Council wish to take up this option.
FOGO collection

A separate contract for FOGO collection has been entered into building on the success of the FOGO trial. The collection will be carried out on a fortnightly basis and is estimated to be around 6,000 to 8,000 tonnes per annum.

Local Law Review

New Local Laws have now been adopted by Council and Gazetted.
The new format Local Laws entitled “Community Amenity” have been simplified, easier to understand and more specific to the current needs of the City. The new Local Laws are available on Council’s website.

CCTV

Council has been successful in an application for a Department of Justice Grant to increase the City CCTV program relating to hoon behaviour and graffiti in the Pertobe / Viaduct Road precinct.

The cameras will be located at:
- Pertobe Road amenities, recording toward the Carnival site.
- Viaduct Road amenities, recording toward the crossing.
- Breakwater car park.

New cameras have also been installed at the railway station carpark under a separate funding agreement.

Parking machines

In December 2017 Council replaced 300 out dated on-street coin only parking meters and 26 off-street ticket machines with 89 meters and a high tech next practice parking system throughout the city.

One year on, the pay by plate system has provided a range of benefits including coin, card and phone app payment options, the ability to move between the same zones on the same session, pay at any machine, free parking initiatives, and no need to display a ticket.

The phone app has had a steady increase of use with around 1/3 of all transactions now by phone using the app.

Over December there were 31,500 app transactions and more than 83,700 “coin” transactions.

Online permits for resident and trade etc. will become available in the near future, this will save time in printing, payment and permit variations.

CITY AMENITY

Animal Management

Warrnambool City has over 6,000 registered pets including 4500 dog & 1500 cat registrations.

Our officers respond to approximately 30 animal requests per week with our first endeavour to reunite pets with their owners however this is not always possible and we impound on average 20 dogs & 10 cats per month due to no registration tag or microchip number.

Recent months have seen a large influx of feral cat presentation at the municipal animal shelter.

Improved IT systems now allow Council Local Laws officers to check registrations and owner details when a pet is collected, including afterhours.

The following table provides the numbers of dogs and cats Local Laws staff have been involved with in conjunction with the RSPCA who manage the Warrnambool Pound facility on Councils behalf.

Category	July	Aug	Sept	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	June	Total
Dogs													
Brought in by Council	23	20	22	17	22	10	21	15	12	15	27	24	228
Brought in by Public (Stray)	6	7	11	4	5	4	7	4	4	5	7	3	67
Brought in by Public (Surrender)	6	4	4	6	6	4	5	8	4	2	6	0	55
Adopted for the month	17	3	13	7	9	12	11	20	7	4	5	10	118
Euthanized for the month	2	1	1	2	0	0	1	0	1	2	6	2	18
Reclaimed for the month	26	21	21	20	21	10	20	5	11	14	23	15	207
Cats													
Brought in by Council	7	10	2	9	4	8	5	8	7	1	4	5	70
Brought in by Public (Stray)	8	22	11	31	21	66	32	51	33	28	26	12	341
Brought in by Public (Surrender)	4	4	6	5	12	3	3	6	5	15	11	8	82
Adopted for the month	38	25	16	17	24	28	56	56	12	39	23	14	348
Euthanized for the month	5	5	1	12	9	19	9	10	5	1	2	5	83
Reclaimed for the month	1	4	1	1	0	4	3	11	2	2	3	1	33

ENVIRONMENTAL HEALTH

Tobacco Test Assistance

In 2018, 134 inspections were carried out under the Tobacco Test Purchase Assistance Program with the assistance of two minors (aged 15- 16 years), who attempted to purchase cigarettes from tobacco retailers, i.e. supermarkets, service stations, milk bars and specialist tobacconists.
The program has been running since November 2000, and is conducted in accordance with the Municipal Association of Victoria's Tobacco Activity Service Agreement, which grew out of the Tobacco Act 1987. Of the 33 businesses tested within Warrnambool City Council, the compliance rate of >96% was recorded, demonstrating the commitment of local businesses to comply with the program and help to deter smoking among minors.

Food Sampling

Council has some 391 registered food premises in the Municipality.
In 2018, Council Environmental Health Officers carried out periodic food sampling from businesses, in accordance with section 32 of the Food Act 1984. These samples included a broad range of foods, and were predominantly from Class 2 retail outlets that sell ready-to-eat foods (i.e. focaccia rolls, egg & bacon rolls, and deserts), and are tested for food-borne pathogens such as Salmonella, Campylobacter, E. coli, Listeria and Clostridium perfringens.

Of the 25 food samples, all passed without any faults, which is a testament to good food handling and hygiene practices of businesses. Council EHOs are required to take 67 food samples per year from a range of food business types, in order to monitor for unsafe foods to maintain the health of the community.

Wastewater

Council has issued nine Permits to install wastewater systems (Septic Tanks) in the last 12 months. This is a decrease on the 19 issued in the 12 months prior. Council currently has 450 registered septic tanks.

Each permit to install requires a thorough investigation and site visit by Council's Environmental Health Officers to determine the sizing of the system to ensure all wastewater is retained on site. This ensures that when the system is installed, groundwater, rivers and streams are protected from contamination and that no odours or pooling of effluent are caused on site.

DEPOT OPERATIONS

Botanic Gardens

Realignment and widening the first section of path beside the large twin fig trees in the Botanic Gardens has commenced. The works provide a more accessible path and prevent any further root damage to the trees.

Removal of a path from old toilets to the rotunda path recommended as a high priority in the Botanic Gardens Master Plan was completed in 2018. It failed to comply with accessibility requirements supporting the need for removal. It is anticipated to complete the second section before end of summer

Installation of a new all accessible picnic setting in the Botanic Gardens has been completed in the south west corner. This area is well patronised and was devoid of picnic facilities until installation.

Directional boring within WBG - irrigation cable connecting bottom section of Botanic Gardens, will provide automated watering in the future reducing the need of manual labour and providing a water source along Botanic road

Central Business District

Maintenance (revarnish) of new seating in Liebig Street will ensue seating remains in as new condition as possible. Works on seating and other street furniture assets will be staged so there is minimal impact to users, including polishing of stainless bollards, bike racks and handrails

Seating - Civic Green

New seating has been installed adjacent to the Civic Green. The old seating was outdated and with the Fun 4 Kids festival concluding has been replaced with permanent accessible seating

Seating – Sportsfields

Maintenance and replacing of outdated seating has continued with new aluminium seating installed at Friendlies Society.

Working with the South Warrnambool Football club, old seats from Liebig Street were repaired and repainted by the football club at their costs with Council assisting with installation.

This follows on from seating instalments at Dennington and Merrivale Ovals

Old Civic Green seating.

Upgraded Civic Green seating.

DEPOT OPERATIONS

Tree Planting

The 2018 tree planting program included 354 nature strip trees along streetscapes at the following sites:

- Wangoom Road
- Golden Spring Court
- Gateway Road – infill planting of missing trees
- Tower Square
- Russell Street
- Tooram Road
- Lake Pertobe

Wangoom Road.

Path maintenance

Additional path maintenance funding provided the necessary resources to add extra limestone and re-sheet the rail trail rejuvenating it back to as new.

Environment works

Fences around the Levys car park were renewed with additional posts and plas-wire installed to delineate and protect the vegetation, unfortunately since repairs prior to Christmas some fences have been hit by vehicles requiring further attention.

Pertobe Road.

Extensions were added to beach accesses 121 and 122 after high seas during the winter months had a significant impact on the primary dune around Lady Bay. The extensions were fabricated and installed to provide safe beach access.

Beach Access 122 improvements.

DEPOT OPERATIONS

Beach Access 121 improvements.

Mulching around trees, Pertobe Road

Mulching under the Norfolk Islands Pines on Viaduct road was completed to prevent overflow car parking from car-avan parks impacting the reserve over the holiday period and to protect the tree assets from compaction and any damage as a result of the parking

Heavy Plant Replacements
Caterpillar Grader and Grade-Roll

Council recently replaced its 10-year-old Komatsu grader and 18-year-old tow behind roller with a more compact grader and grade-roll that provides a more accessible unit. The combination will maintain the municipality's unsealed roads and road shoulders.

Wood-chipper

Council recently replaced its 12-year-old wood-chipper with a new Morbark wood-chipper that is larger than the previous unit but is still compact and accessible to maintain Councils tree assets.

The machine has many safety features including wrist and ankle bands that engage an emergency stop should they get too close to the machines sensors.

DEPOT OPERATIONS

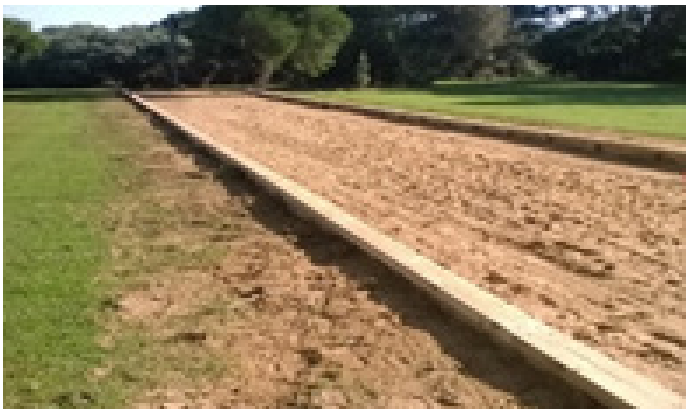
Tractors

Council has replaced two tractors and disposed of one surplus tractor to the operational needs after an extensive evaluation on service levels maintenance requirements.

The two tractors provide operator comfort and have flexibility to perform several maintenance activities required by the works unit. Both are 4-wheel-drive providing safer and easier access to open space areas.

Lake Pertobe

Maintenance works at Lake Pertobe have included replacing rotten edging at flying foxes.



Mechanic's work platform

A work platform installed at the depot provides safe accessibility for repairs to heavy plant minimising the risks working off ladders.

With ageing play structures the maintenance team has implemented different strategies to extend the life of timber posts and reduce costs significantly by avoiding the need to replace all posts.

All timber posts will be fitted with a PVC cap that should prevent moisture penetration.

The wave slide was removed and repairs carried out to sub-frame and replacement of stainless slide. Cracked fibreglass was repaired and repainted into the bright colour that should be an attraction for users

The maze platform was closed to public due to the centre tower support bearers rotten and several posts in need of replacing, the works were completed prior to the Christmas holiday period

DEPOT OPERATIONS

Kerb and channel / driveway repairs

Replacement of raised kerb and concrete footpaths and driveways is completed using different methods. An example below shows pavement in close proximity to trees that could be susceptible to further movement due to trees and ground movement replaced with hotmix pavement that has more flexibility and is easier and more cosrt effective to replace, whilst still providing an excellent finish.

Sportsfields

Works completed in addition to the regular maintenance included levelling, over-sowing and topdressing the dog training area at Harris Street Reserve was very undulating due to subsidence of the old tip site

A new cricket wicket was installed at Mack Oval replacing the old asset that was undersized and had several cracks that presented some risks to users, works were completed mid-November

RSL War Memorial

Staff assisted the RSL with landscaping and turf sodding of the new RSL memorial surrounds.

Drainage maintenance

56 tonnes of silt and litter has been removed from drainage pipes over a 14-day period using a jetvac truck during the second half of 2018.
This is to ensure the high volume pipes and those identified with severe blockages were cleared to operate effectively

Weed control

The environment team having been working on weed treatment at several locations including the Dennington Recreation Reserve.

DEPOT OPERATIONS

Tree maintenance

Trimming and maintenance of significant trees in some instances requires skilled arboriculture skills including climbing when accessibility is difficult or protection of gardens and understory features cannot be compromised. The picture shows selective trimming of a tree by trained Council staff in the Botanic Gardens.

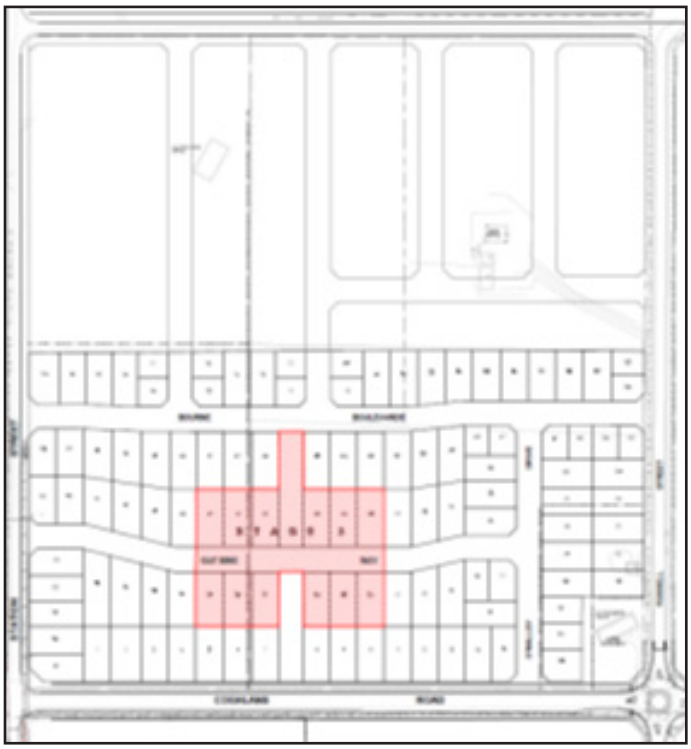
New developments

Hopkins Ridge Stage 2
Hopkins Point Road South East Warrnambool

26 Lot Subdivision with Public Open Space with in Stage.
Acceptance of Works provided in July 2018.
Value of Gifted Infrastructure $860,326

Merriviews Estate Stage 3
Russell St North Dennington

12 Lot Subdivision with Open Space.
Acceptance of Works provided in July 2018
Value of Gifted Infrastructure $ 220,000



Mervue Estate Stage 2
Younger Street South Warrnambool

21 Lot Subdivision.
Acceptance of Works provided in December 2018
Value of Gifted Infrastructure $1,231,835

Woolcorp
Aberline Rd North East Warrnambool

24 Lot Subdivision with Open Space.
Acceptance of Works provided in December 2018
Value of Gifted Infrastructure $341,387

Tooheys Estate Stage 4
Wangoom Road North East Warrnambool

16 Lot Subdivision with Open Space.
Acceptance of Works provided in December 2018
Value of Gifted Infrastructure $532,528

Road Management Plan Compliance Program

For the reporting period from 1 January 2018 to 31 December 2018 (inclusive), a total of 507 RMP defects were due to be completed. Of these, 1.4% were not completed or made safe within the required time (this is down from 1.9% in the 6 month period of July 2017 to December 2017.

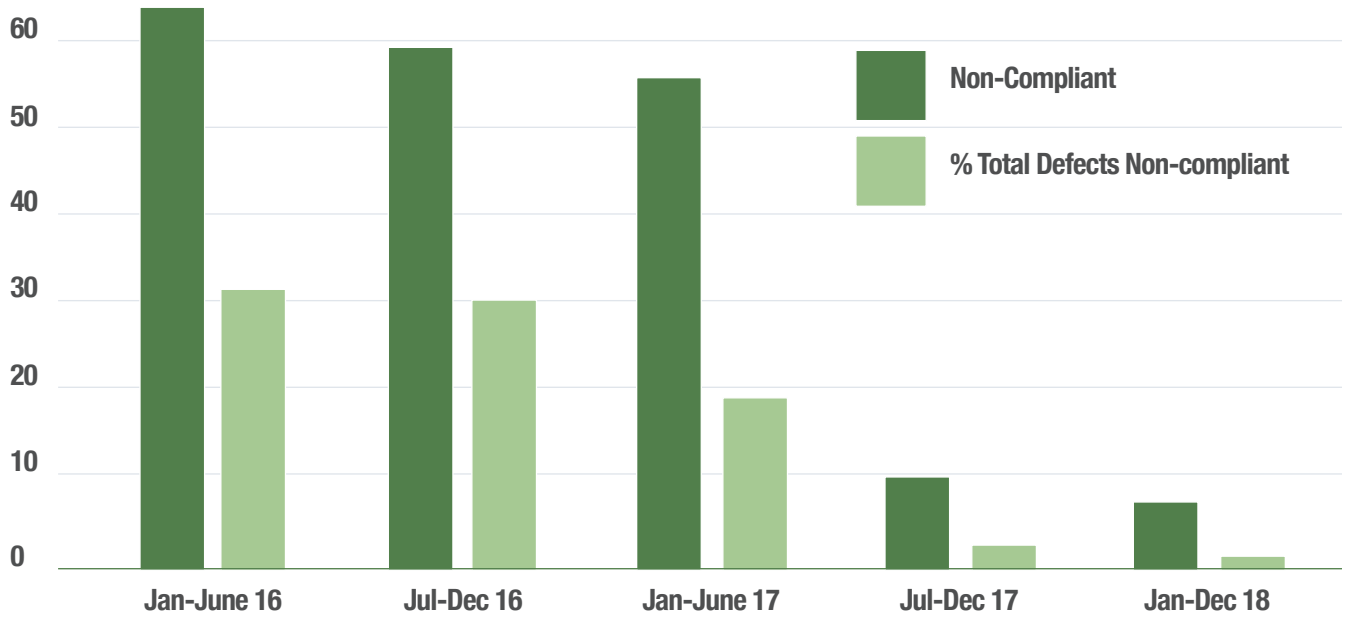
Status	Number	Percentage
Non-compliant	7	1.4%
Compliant – Completed in Time	473	93.3%
Compliant – Made Safe Only (not yet completed within reporting period)	8	1.6%
Compliant – Only by Making Safe	19	3.7%
Total	507	

Permits

Over the last 6 months we have received and processed close to 438 Permit Applications with the following breakdown:

Permit Type	Number
Heavy Vehicle Permit Applications	42
Asset Protection Applications	88
Road Permit Applications	210
Storm water Discharge Point Applications	98

The following graph to represent the comparison between previous reporting periods:



Roads Rehabilitation Program

The following road rehabilitation projects have been completed over the past 6 months

Location	Treatment	Budget
Harrington Rd: Baynes St (Intersection)	Deep Lift Int	$29,457
Hopetoun Rd: Raglan - McPherson (South)	Deep Lift Int	$37,290
Road-064: Kepler (65) - Bowl	Deep Lift Int	$30,000
Fitzroy Rd: Giffen St (Intersection)	Deep Lift Int	$20,358
Dickson St: Cooper St (Intersection)	Deep Lift Int	$42,010
Dickson St: Robson St (Intersection)	Deep Lift Int	$54,424
Taylor St: Ziegler - Bowl	Deep Lift Int	$44,768
Brown St: Railway Line - Carrolls	Cement Stabisation	$59,106
Balmoral Rd: Peter - Rockview	Cement Stabisation	$91,581
Simpson St: Ferguson - Jukes	Deep Lift Int	$22,489
Merrivale Dr: Scott St (Intersection)	Deep Lift Int	$80,165
Bostock St: Railway Bridge - Gladstone	Deep Lift Int	$17,890

Upgrade of Boiling Down Road commenced in January 2019.

The value of these works is budgeted for $850,000 where $675,000 is funded under the Regional Roads Victoria Fixing Country Roads Program.

Reseal Program

In November and December 2018, Inroads completed the reseal program under a joint Contract with Corrangamite Shire Council with 89 road sections resealed and a total of area of 84,559m2.

The works received minimal complaints from the community and were finished on schedule.
The budgeted expenditure for this project of the works is $711,000

INFRASTRUCTURE MANAGEMENT

Footpaths & Linkages

Construction of 170 metres of new concrete footpath along the north side of Pertobe Road (Price St – Stanley St) was completed in November 2018.

Road Safety

Over the past 6 months the following projects have been delivered under the Pedestrian Serious Causality Area Program (PSCA) within the City Centre

- Existing Pedestrian Operated Signals Wombat Grade Crossing upgrades at Lava St Midblock (Kepler – Liebig) and Koroit St Midblock (Kepler – Liebig).
- Zebra Pedestrian Crossing – Wombat Grade Crossings Upgrades at Timor St Mid Block (Liebig – Banyan) and Liebig St (Timor – Merri)

The Road Users Plan was updated and endorsed by Council in December 2018.

The Moyne and Warrnambool Road Safety Group

- Worked with Victoria Police to deliver Road Safety talks to Primary schools and kindergartens
- Hosted older drivers forum with Victoria Police.
- Promoted safe driving (fatigue and mobile phone use) on Connect Warrnambool over summer with a reach of 8350 people

Over the next 6 months the following projects are planned to commence.

- 40kmh speed zone city centre
- Roundabouts Zebra Crossings at the intersections of Kepler/Timor, Kepler/Koroit, and Timor/ Liebig
- New Zebra Wombat Crossing in Merri Street, outside Train Station
- Botanic Road Local area traffic management (LATM) Study

INFRASTRUCTURE MANAGEMENT

Small Infrastructure Projects

Under this program the following projects have been delivered.

• Dennington Bowls Club Carpark - $40,000

• Flagstaff Hill car park footpath link - $10,000

Sustainable Transport – Heathy Moves

- VicHealth funded Octobers walk to school, 10 Primary Schools and over 2000 students participated. This was linked with Healthy Breakfasts
- Promoted Part Way is Ok so students were dropped as safe points around the school and walked or cycled.

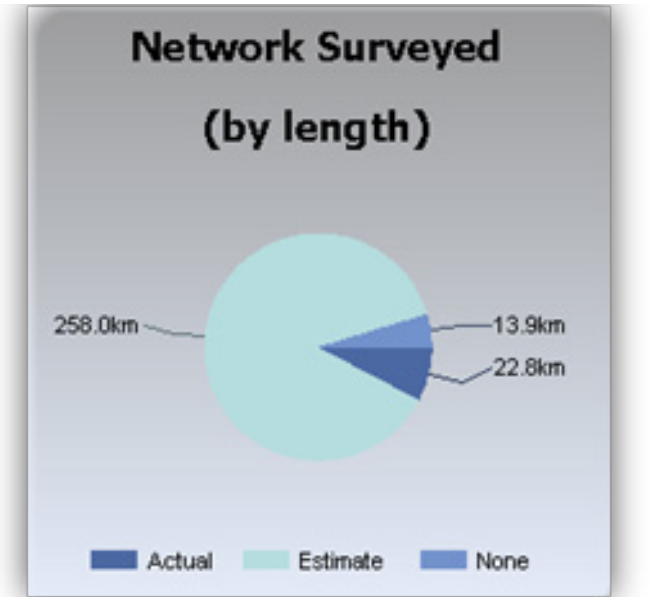
Drainage

Another 11km of Council's stormwater are planned to be condition audited using CCTV in the coming months. Each year this chips away at the great unknown, which is drainage. In lieu of total network coverage, we have undertaken a desktop condition assessment using factors such as age, size, material and soil profile and created a model based on known pipes. This has allowed us to put a value on our renewal requirement.

Road Condition Audit

IMG have again won the tender for the road condition audit. The vehicle covered in cameras drives all of the city streets and assesses the condition and regular intervals.

Planned to occur in March, this project will allow us to compare the existing road condition with that from four years ago to give some indication of rate of deterioration. This data is invaluable for maintenance and capital works planning as well as meeting financial and audit requirements.



Pavement Strength Testing

In order to further understand and predict the rate of degradation of roads, non-destructive testing is achieved using a falling weight deflectometer. This is carried out by ARRB – the leading authority in all things roads. It may also identify roads that look OK to the eye but due to poor base or subgrade may fail quicker than expected.

In addition to informing road degradation profiles and useful lives, this data also helps prioritise the long list of poor condition roads as some may last a few extra years than others and allows us to intervene with the faster failing roads.

Street Tree Risk Audit

The final phase of this five-year audit is underway with contractors already identifying high risk trees that need removal. By assessing the risk of every individual tree, and proposing remediation works, this audit has greatly improved the safety of anyone that uses Council's roads, footpaths and facilities.

This audit also provides insights such as the species composition, age profiles, health and identification of hotspot issues, allowing for programming works and replacement of trees reaching their end of life.

Strategic Planning

Aspec Project Award for Collaboration

Council received an Asia-Pacific Spatial Excellence Award for the Aspec Collaboration Project with Wannon Water. Collaboration like this is often talked about but there are very few examples of it being acted upon and even fewer that deliver a successful result.

This project allows us to obtain accurate "As Constructed" plans from developers by presenting a united front with the Water Authority.

This project included the provision of an online submission portal, which instantly validates the data submitted, greatly reducing staff time and increasing the turnaround on responses.

Engineers can now able to compare the fully attributed and validated As Cons with the endorsed design plans. Managing expectations with developers is ongoing, but data is now being received in a standardised, electronic format that is much easier and less time consuming to analyse.

Playspace Strategy

Community consultation for the playspace strategy has identified the most visited playgrounds. Not surprising Lake Pertobe is Number1, followed by Cramer St & Jubliee Park (Woodford).

This strategy intends to provide a hierarchy of service provision, renewal options and inspection regimes to better manage the existing 61 playgrounds throughout the municipality.

Drainage Strategy

Drainage strategy study had progressed to 3rd phase. The phase 1 completed had prioritised 20 major flooding hotspots from earlier identified 53 hotspots. The prioritisation process was associated with the flood damage assessment, depth and extends of flooding. The phase 2, completed with a draft report of proof of concept for each prioritised hotspots. Various flood mitigation options are modelled for each of the hotspots and came up with the most effective and viable mitigation option with their detailed cost benefit ratios. The phase 3 comprises of detailed plans and final drainage strategy report.

Drainage Network Prioritisation

We have developed a Criticality model for drainage which ranks assets according to its consequence and probability of failure. The various factors considered for consequence includes social, loss of service, financial, environmental and impacts on image and reputation of council. Probability of failure was assessed with pipe materials, age, soil properties and condition data including CCTV and desktop condition assessment. This in turn feeds to the risk assessment. The criticality model and risk assessment feeds into the Drainage Asset Management Plan which is under way. The model helps council to prioritise the assets for CCTV condition assessment, maintenance and renewal.

Deakin Link

Deakin link feasibility study was completed. The study has examined a number of potential routes to establish a pedestrian/ cycle link between Deakin University Campus at East Warrnambool and Warrnambool City Centre. The study concluded that Rail trail option is the most safest and efficient option for pedestrian and cyclists and is the preferred route at this time. There will be minimal contact with vehicles and minimal road crossing points.

STRATEGIC ASSET MANAGEMENT

Principal Pedestrian Network

The identification of Principal Pedestrian Network is completed. A Principal Pedestrian Network (PPN) is a strategic network of pedestrian routes to promote walking for transport. A walking route within the PPN will provide the highest level of service for pedestrians. The project includes the PPN route identification, fixing desired level of service for the PPN route, assessing the missing gaps including missing footpaths, intersection improvement projects and streetscape improvements.

The diagram above shows a section of principal pedestrian route. We are currently working on community consultation strategy for the PPN. Consultation strategy will inform the method of consultation and targeted groups. The projects identified through the study will be listed as capital projects for next few years.

Stock Underpass Policy

Council has adopted Stock Underpass Policy which ensures Council's guidance for the construction, approval, maintenance and ongoing responsibilities of stock underpasses. The Policy will act as a default set of responsibilities for all Stock underpasses which exist within the Warrnambool City Council including existing underpasses. The implementation of the Policy will designate the responsibilities of the Council and the users ensuring that both parties understand their respective responsibilities.

Albert Park Integrated Water Management Plan

The project to develop Integrated Water Management plan for Albert Park is commenced. Council joins hands with Department of Environment, Land, Water and Planning (DELWP) and Wannon Water for this project. The project has arisen out of a requirement to integrate and promote strategic water use in the area. One of the major driving factors was community garden's master plan for quarry revitalization.

The project includes developing a shared vision, opportunity identification, developing base case for integrated water management with options, shortlisting of options, draft and final IWM plan.

A stakeholder workshop was conducted to frame the shared vision and to identify the opportunities on 22nd January, 2019. The workshop was facilitated by Spiire, Melbourne.

The workshop was well accepted by various stakeholders including, Council, Wannon water, Sporting Clubs on site, Community Garden, DWELP, CMA, Southern Rural Water, other community user representatives.

IPWEA Practice Note subscription

Rather than continuing to purchase hard copy manuals that sit on shelves, Council has subscribed to IPWEA's practice notes library, which gives all staff access. These are guidance documents on all things asset management including condition assessments, financial management and service planning. It can be read on any device and keeps track of your progress. Find it here: https://elp.ipwea.org/learner

Asset System and Improvements

Visualising Maintenance Programs

By leveraging the asset spatial data that is now in Conquest, we can now graphically represent which assets that require work.

As these works are completed in Conquest they are automatically removed from the GIS. This is just an overview which can be used by management to tack progress or to draw attention to areas requiring attention; it is not reflective of the risk or cost of works required.

Shown above are locations of light poles found to require maintenance following the recent light pole condition audit.

In this same stream, we can now graphically represent Council's asbestos register in the GIS by highlighting any buildings or land with known asbestos. This is the first point of call for anyone doing maintenance or capital works within a council property. There is the potential to expand this to other hazardous materials and landfill sites as these become known.

This should not replace the requirement to contact the Building Services team to obtain a current copy of the Building Asbestos Register.

Fleet Servicing Records

The Assets & IT unit have further developed the Conquest tie-in app ("Trassetto") to allow the workshop mechanics complete vehicle service details during their inspections in real time. This removes the need to keep physical job cards, improves the detail captured, and allows for better reporting and identification of repeat issues.

Other Projects

Asset Accounting & Gifted Assets

Council's external auditors were extremely impressed by the thoroughness and governance placed around end of financial year reporting on non-current assets. Last year saw $8.2M spent on asset renewal and $1.4M of new gifted assets from new developments. Currently new gifted asset contributions for the 2018/19 financial year are sitting at $2.2M. The implementation of the Aspec project has been a great benefit to managing this continued growth.

Playground Renewals

The playground at Dennington Recreation Reserve has received some new equipment; the previous equipment was installed in 2000 and had become quite deteriorated with our harsh environment. The new equipment is made from plastics and will fare much better in the salt air.

Similarly, the Allansford Recreation Reserve play equipment was found to be rotted thoroughly and so was replaced by plastic and steel 'nature' themed equipment.

New Park Name

Goodall Street Reserve was recently gifted to Council though development of the North of the Merri growth area. This reserve is now named and signed Witham Park in recognition of the contributions made to the Warrnambool Community by three members of the Witham family: Mrs Betty Witham, Mr Ben Stansfield Witham and Mr Benjamin Hargreaves an ANZAC Gallipoli veteran who lived in the area for many years following WW1.

Russell Creek Estate - Soon to be playground

Residents of the Russell's Creek Estate were invited to participate in a survey to help inform the design of the proposed new playground. The neighbourhood play space will be located within the reserve at the corner of Whites and Aberline Road closer to the Rawlings Drive end of the reserve. The photo below is looking towards Rawlings Drive from Whites Road.

WARRNAMBOOL
CITY COUNCIL

The Community Development Directorate

Operations Report 2018

THE DIRECTORATE

This report provides an overview of work undertaken to progress the Community Development Directorate's Business Plans through the 2018 calendar year.

`The directorate comprises the following branches:
Recreation and Culture
Community Planning and Policy
Capacity, Access and Inclusion
Children's and Family Services

RECREATION AND CULTURE BRANCH

Warrnambool Art Gallery

Service information

The WAG (Warrnambool Art Gallery) is a free public art gallery and Warrnambool's premier exhibition gallery, presenting a professional program of local, Australian and international creative works and cultural stories.

WAG's public education and outreach programs deliver unique experiences of visual art, new media, design, popular culture, technology and art fusions within its five gallery spaces, and in public art projects and programs beyond the gallery walls.

WAG has a duty of care in relation to the Collection. As its custodians, on behalf of Council and the community, the WAG is responsible for the care and conservation of the Collection, the acquisition, management and placement of works, and for providing educational and research access. The collection is a significant cultural resource - besides its considerable intrinsic educational, historical and cultural merit, it represents a major asset of Council, comprising over 2000 objects with an overall value estimated at $9 million.

Service data

- Attendance to WAG in 2018 was 57,620.
- WAG produced 34 exhibitions of local, national and international significance of which 33 were curated in-house; and 80 public programs, activities, and workshops (not including education programs), attended by over 5,800 people.
- Education programs to the visiting public as well as primary and secondary education programs delivered 239 tailored sessions attended by 5,505 participants for pre-school and early years, primary, secondary, VCE and tertiary.
- WAG partnered with over 40 organisations including the Budj Bim Indigenous Protected Area Cooperative, Big HEART Film Company in celebration of Rex Battarbee and Albert Namatjira, Brophy Youth and Family Services, and the Art Gallery of Ballarat.
- 5 exhibition engagement programs with local indigenous groups were attended by over 200 people.
- WAG in partnership with Her Place Museum Australia, the Victorian Women's Trust, Dulux Warrnambool and Barwon Women's Health South West presented 2 public programs and a teacher's professional development session attended by over 300 people.
- WAG held a week long artists in residence program attended by over 300 people.
- WAG held 5 exhibition openings attended by over 1,700 people and supported 10 local artists' suppliers through the Designer of the Month Program.
- WAG provided professional outcomes for 130 artists; of which 75 were local artists and 28 were emerging artists.
- WAG acquired 17 new works in 2018 valued at $215,250.

RECREATION AND CULTURE BRANCH

Service highlights

- WAG launched a new digital art program that aims to give girls the skills and confidence to forge careers in science, technology, engineering, arts and maths, thanks to a $50,000 grant from the Victorian Government. The Girls are Full STEAM Ahead! program is a partnership between WAG and leading technology educators including the Melbourne-based Geek Girl Academy and Academy of Interactive Entertainment along with the Robotics Academy Warrnambool.
- The Helen Macpherson Smith Trustees approved a grant of $90,000 to WAG to develop a program of exhibitions and activities to understand, preserve and share Maar Nation culture of South-West Victoria and strengthen identity, cultural tourism and employment for local Indigenous youth.
- The Paul Jennings Unreal! exhibition has so far brought delight to more than 15,000 people as WAG welcomed locals, national and international visitors, to the show. The exhibition celebrates Jennings who wrote his first book while lecturing in language and literature at the Warrnambool Institute for Adult Education. Unreal! coincided with the launch of A Different Boy, the new book by Paul Jennings and illustrator Geoff Kelly, who undertook book signings to a crowd of more than 1,000 people.
- Local Natimuk artist and animator Dave Jones 'Seal' 2018, composed of faceted COR-TEN steel polygons, was installed in November 2018. The sculpture is a striking presence on Liebig Street, and has been strongly embraced by the local community.
- WAG commissioned a portrait by Vincent Namatjira celebrating the friendship between his grandfather, Albert Namatjira and Warrnambool local, Rex Battarbee. The portrait was unveiled by Battarbee's granddaughter Gayle Quarmby, and presented with a program of film screenings of 'The Namatjira Project'.
- WAG was a winner in the Museums Australasia Multimedia & Publication Design Awards for the poster 'Free to be Every me' designed by Sinéad Murphy of Lovelock studio.
- WAG curated quality exhibitions from Sam Leach, Marion Manifold, Carly Fischer, Mona Ruijs and Tokyo-based Shimura Nobuhiro. The artists' presence at public programs ensures that locals have access to high quality cultural experiences.
- WAG gained Accreditation by Museums Australia (Victoria) in April 2018 and was highly commended for our creative programming and active work in the community.

RECREATION AND CULTURE BRANCH

LIGHTHOUSE THEATRE

Service information

The Lighthouse Theatre is an important asset in the city's cultural precinct, and its programs provide opportunities to experience, create, celebrate and participate through the performing arts.

The facility is a performing arts complex that provides two performance venues, foyers, box office and backstage facilities, with the two venues being:

- The main auditorium is a 584 seat proscenium arch theatre with flytower, fully equipped to host a wide range of performances from opera and ballet through to drama, comedy and popular music.
- The Studio is a multifunction space which serves as a black box theatre, function space or meeting room capable of hosting intimate performances, dinners, conferences, meetings and training sessions.

Lighthouse Theatre's programs provide the community with access to performing arts in three main ways:

- As a venue for hire to community productions.
- As a venue for hire to commercial touring productions (mostly live music).
- As an active entrepreneurial presenter of professional artistic programs. The Theatre Season is the primary program stream of the Lighthouse Theatre, providing local audiences with high quality works across a broad range of performances.

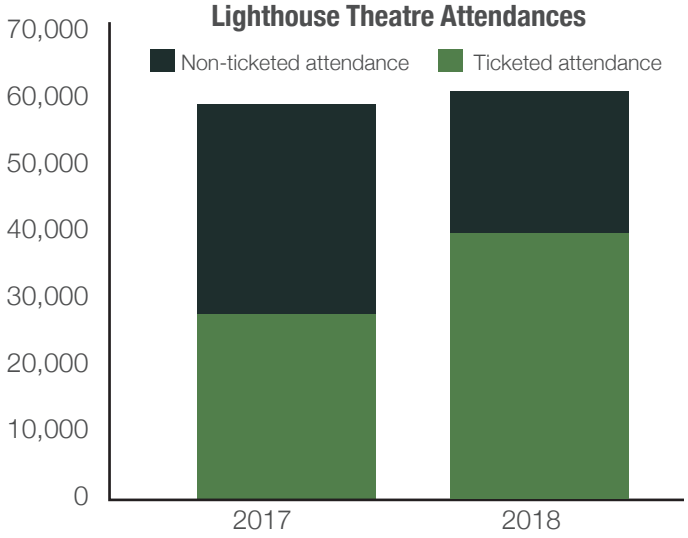
Service data

- The Lighthouse Theatre was very busy in 2018, with 471 activities occurring across 272 days of venue occupancy.
- The Theatre & Studio presented 168 performances; made up of 35 commercial hirer performances, 86 community hirer performances, and 47 entrepreneurial performances.
- Community hires increased, including:
  - Return of the City of Warrnambool Eisteddfod Dance, Music & Calisthenics competitions to the venue (10 hire days). Strong attendance to these events occurred with over 1000 dance competitors, over 300 calisthenics competitors, and over 3,100 audience tickets sold across the events.
  - Musicals from Holiday Actors, Warrnambool College and Emmanuel College saw over 5,500 tickets sold with most performances sold out.
  - Dogs Dinner Theatre Group came to the venue for the first time with four performances of their new play "Voices from the Fields", which coincided with Remembrance Day.
  - The 2018 Primary Performers program culminated in four performances (1,200 tickets sold) of The Mikado, involving 80 children and over 150 volunteer helpers.
- Lighthouse Theatre's own entrepreneurial program saw a sellout attendance for our season opener, Tapestry – the songs of Carole King; major performances from Circus Oz, Melbourne Symphony Orchestra and Opera Australia, with a highlight of the latter being the inclusion of 16 local children in the 'Children's Chorus'. Another season highlight was Damian Callinan's Swing Man, which performed twice in the Studio.
- Demand for space and services to support non-ticketed events including meetings, conferences, seminars and functions was strong in 2018, with 302 of these activities occurring at the venue.

RECREATION AND CULTURE BRANCH

Attendance snapshot for the period

- Total attendance surpassed the target by 3,029.
- Attendance is up on 2017, based on strong ticket sales and the Eisteddfod Dance & Calisthenics competitions returning to the venue.
- Total net cost to Council during the period was $251,530.47



Service highlights

- Ticket sales were very strong through 2018, and this led to a higher than usual number of sold out professional performances, including Tapestry, Julia Morris, The Waifs, Anh Do, and three performances of The Wiggles.
- The average audience attendance per performance has increased by 10.1% from 271.5 at end 2017 to 299 patrons per performance at the end of 2018. This is the result from the strong ticket sales outlined above.
- A range of educational and children's programming occurred across the year, including three full performances of Roald Dahl's George's Marvellous Medicine; and well attended performances of Monkey Baa's Josephine Wants to Dance and Eric Carl's The Very Hungry Caterpillar. Evening educational performances saw an excellent attendance from families, in part due to affordable tickets, and due to the well-known nature of the shows.
- Educational workshops were also run in local schools and with local clubs in conjunction with Circus Oz, MSO, Monkey Baa Theatre Company, and Australian Theatre for Young People; ensuring the joy of performance and the performing arts stretched beyond the theatre into classrooms. Inventi Ensemble, Intimate Spectacle, DW Projects & Damian Callinan all ran workshops in conjunction with their performances.
- Lighthouse Theatre hosted the major community presentations for South West TAFE's Innovate, Educate and Inspire events. The sessions presented by Australian of the Year Eddie Woo and Mat Bowtell were highly attended, with approximately 2,500 people attending the venue – making it the single largest one day attendance since the venue's redevelopment.
- The Resilience Project ran their first public workshop at the Theatre, and the event sold out and was very well received. They intend to return in future off the back of this success.
- Lighthouse Theatre was the production week rehearsal and preview venue for "Madiba the Musical", a major touring musical telling the life story of Nelson Mandela. This musical has now headed off on a multi-year capital city tour throughout Australia and Asia, and saw standing ovations during the two preview performances at the theatre. Warrnambool was the only regional centre to receive the show in Australia. This hire was able to showcase the high quality infrastructure and services provided at the Theatre, and the musical's producer was thrilled with the venue and the City's facilities.
- GenU's Theatreworx all abilities performance ensemble performed their 'Christmas Pagent' in the Lighthouse Studio. This is the first time it has been held in a professional theatre space, and the participants had a fantastic time – with the studio facilities being perfect for their needs.
- The 2019 Theatre Season launch in December saw the best attendance figures in the past five years with 407 attendees enjoying the launch, and a special performance of Damian Callinan's "The Wine Bluffs". Subscriptions have started strongly with 100 subscribers confirmed in the first three weeks following the season launch, and significant positive feedback received about the 2019 season.

RECREATION AND CULTURE BRANCH

AQUAZONE

Service information

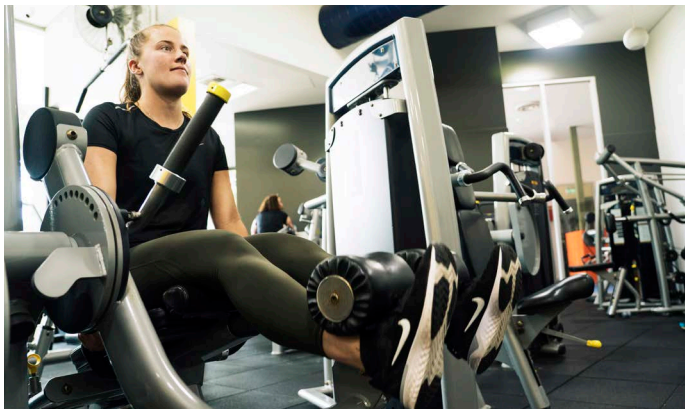
AquaZone is a regional aquatic leisure centre that provides facilities including four pools - indoor 25 metre, indoor program and indoor leisure and an outdoor 50m – a gymnasium, group fitness room, spin studio, boxing studio and crèche. It also provides a range of programs including learn to swim, health and fitness and recreational swimming, and also hosts a range of carnivals and events each year.

AquaZone is used extensively by its members and casual users. The centre's user groups, include two swim clubs, local schools, local clubs, and local organisations and agencies.

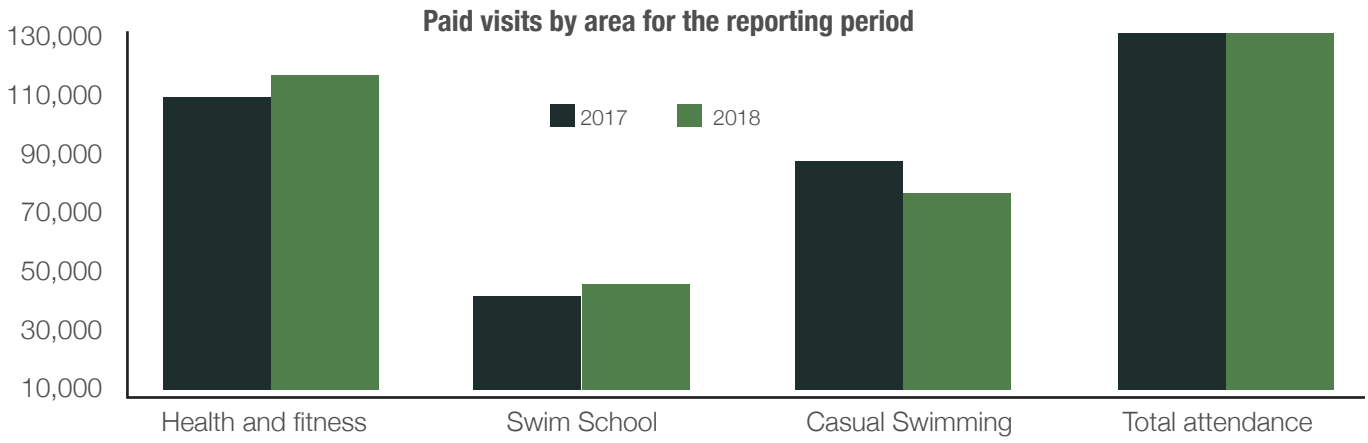
AquaZone has achieved over 3,500,000 visits since its opening in 2002, with the last 3 years recording the highest annual attendance levels.

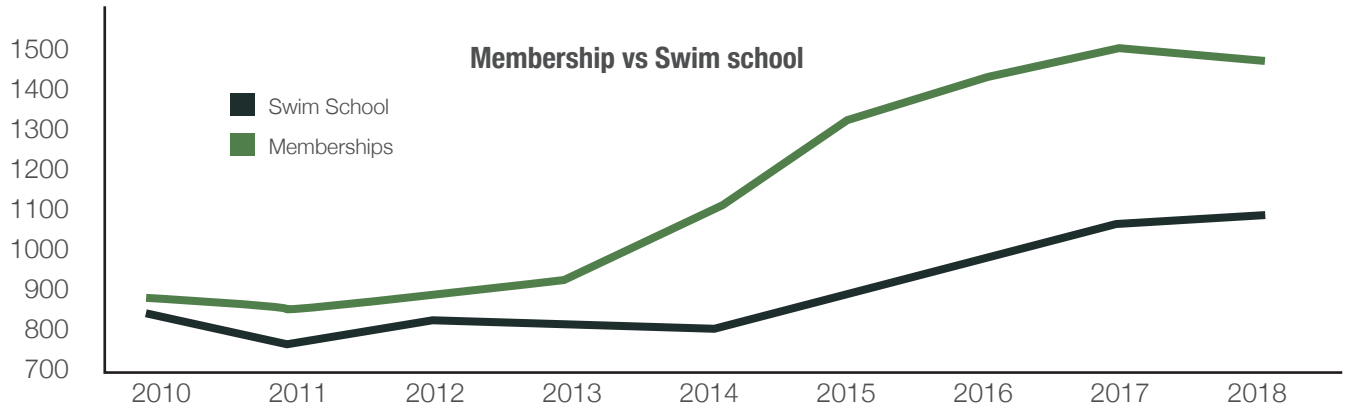
Note:

- Health and fitness data includes membership, casual gym/group fitness and crèche visits.
- Swim School data Includes Learn to swim and School swimming visits.
- Casual swimming data includes casual swimming, aquatic multi pass and casual aquatic hire visits.



Service data





RECREATION AND CULTURE BRANCH

AquaZone has achieved increases in the centre's annual membership over the previous 5 years, although there was a slight decline in membership growth in 2018. Over the same 5 year period there has also been a net increase of six fitness centres opening in Warrnambool, with a total of 10 commercial fitness centres now servicing the community. AquaZone's future membership growth will be impacted by a combination of increased availability of health and fitness services in Warrnambool, and the centre nearing capacity for its health and fitness programs, particualrly at peak times.

The annual Local Government Reporting Framework is used to benchmark the performance of Councils across a range of services including aquatic centres. The 2017/18 performance measures indicate that AquaZone has rated better than other Victorian councils in the efficient delivery of the service while also having a greater level of utilisation on a per capita basis.

Performance Measure	AquaZone	Similar Councils	All Councils
Cost of indoor aquatic facilities per visit	$1.76	$2.39	$2.79
Cost of outdoor aquatic facilities per visit	$3.63	$8.22	$11.66
Number of visits to aquatic facilities per head of municipal population	6.94	6.75	5.10

Service highlights

- Improvements were made to the group fitness program including:
  - Redesign of the group fitness studio including repainting and new lighting
  - An upgrade to the audio visual equipment to allow projection of workout data onto a screen
  - Capability to allow participants to monitor exercise intensity levels
  - Introduction of virtual group cycle classes allowing the centre to increase the group cycle classes without relying on instructor availability (and hence a more efficient way of providing the program).
- Complementing the previous year's upgrade of the gymnasiums cardio equipment, improvements were made to the free weights section of the gymnasium, including a functional training rig and functional training equipment.
- AquaZone introduced an online parent portal for the learn to swim program. The portal allows a parent to view real time information on their child's swimming ability, entered by instructors from iPads during swimming lessons.
- AquaZone has adopted Vic Health's Healthy Eating Guidelines for recreation centre cafes, with a decrease in food and drinks with high sugar content and fried food.
- With the introduction of compulsory swimming lessons into Victorian Schools, AquaZone is conducting a pilot program to assess grade 5 students against the competencies needed to be achieved by grade 6.
- In November, AquaZone hosted 'Get a Move on Warrnambool', a community physical activity challenge. The month event had over 250 participants, who averaged 20 days of exercise over the period.
- AquaZone joined over 500 swim schools in over 23 countries in participating in the annual World Largest Swimming lesson. Over 50 children participated from Warrnambool in what became a world record breaking event.
- AquaZone's popular Slip & Slide was lengthened by an additional 10 meters, providing a 40m slide experience for patrons.

RECREATION AND CULTURE BRANCH

WARRNAMBOOL STADIUM

Service information

The Warrnambool Stadium, including the Val Bertrand Netball Stadium, hosted domestic sports competitions for Badminton, Basketball, Indoor Bias Bowls, Netball and Volleyball. School sports activities from class size to major interschool competitions and casual public recreational visits utilised the Stadium's courts during the day prior to the peak sports competition usage from 4pm to 10pm.

The Warrnambool Gymnastics Centre continued to offer the competitive and recreational gymnast training programs alongside school and community group sessions. Preschool parent and child sessions and the birthday party program continue to bring increasing numbers to the centre across the 7 days of operation.

Council's Outside School Hours Care (OSHC) program participation has been maintained throughout 2018. The After School Care and Vacation Care programs continue to provide childcare for primary school age children that enable parents to work and to offer a holiday-time respite option for local families.

Service Attendance	2018	2017
Domestic Sports participation at the Warrnambool Stadium (40 weeks per annum)	24,181	25,226
Sports Training attendances at the Warrnambool Stadium (50 weeks per annum)	9,606	8,481
Gymnastics Centre attendances (50 weeks per annum)	25,710	25,932
Outside School Hours Care attendances (51 weeks per annum)	11,009	10,701

Service highlights

- Emergency management - The Emergency Relief Centre team, made up of Council and Moyne Council staff, successfully provided shelter and support for those displaced by the St Patricks day fire emergency over the 3 days/nights the Stadium was activated.
- In July, Council's After School Care service was relocated to St. Joseph's Primary School in Botanic Road after 8 years at the New Life Church site in Bromfield St. Families have expressed that they are happy with the new location and the continued quality care of their children by the Educator team.
- The Victorian Dance Festival returned to the Stadium, once again attracted hundreds of dancers from across the country to participate in workshops with world renowned facilitators.
- The Gymnastics Centre hosted the Regional Gymnastics Championships in July. Warrnambool was selected this year over Ballarat and Bendigo to host the championships that attracted 110 competitors with their coaches and families to the city.
- Strong crowds filled the stands at the Warrnambool Stadium to cheer on the Seahawks and Mermaids Basketball teams. The Mermaids were triumphant at seasons end taking out the Division 2 Championship.

RECREATION AND CULTURE BRANCH

RECREATION SERVICE

Service information

Council provides a range of sport and recreation facilities and services to local clubs, organisations and participants. This service coordinates management of sportsgrounds, municipal funding programs, recreation planning, and project planning and development for renewal and new community infrastructure projects.

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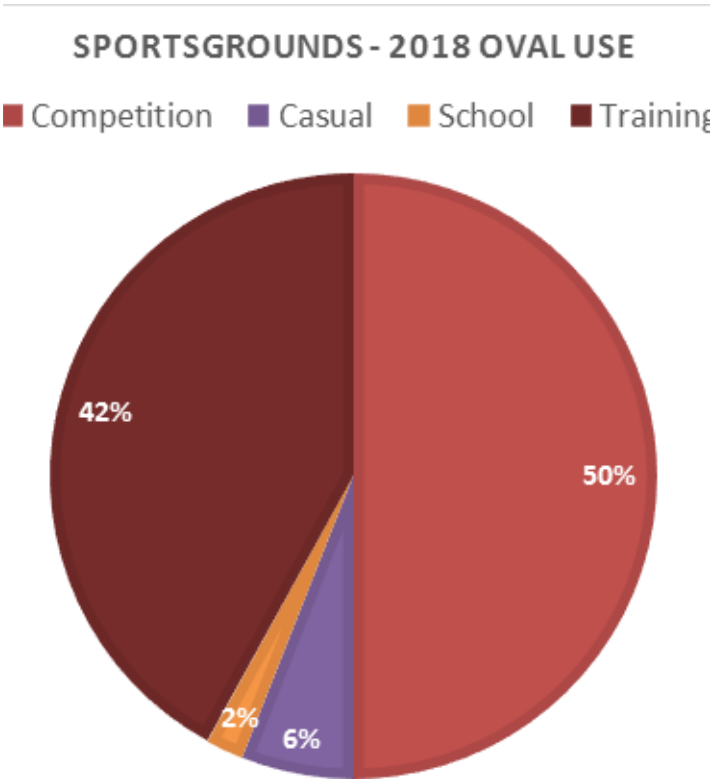
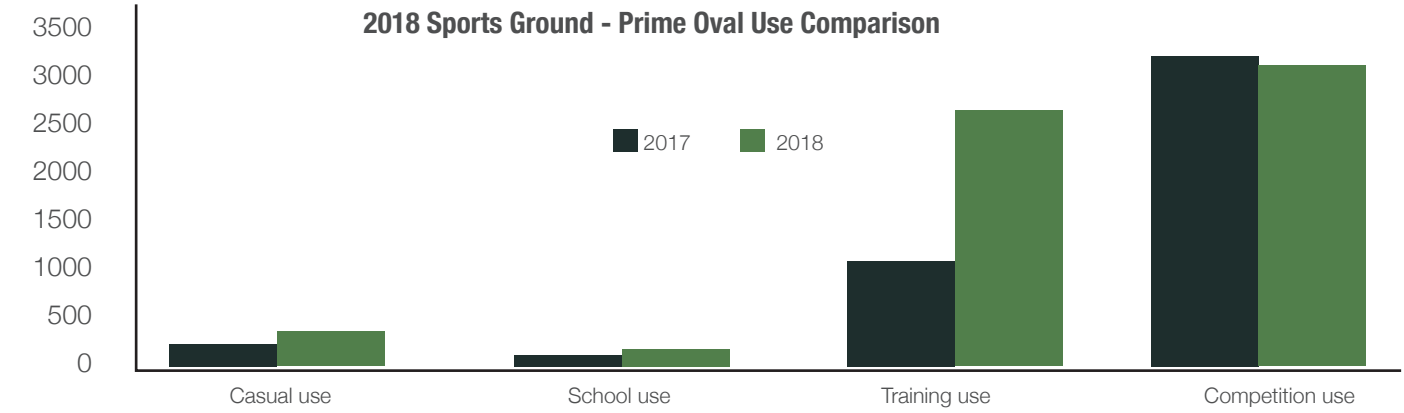


Sports Ground Usage

The graph below shows that Council's 15 sports grounds are predominately used for competition and training with casual and school use comprising the smallest percentage of time for which the grounds are used.

The graph below shows a comparison of usage (by hours used) during 2017 and 2018 at Council's 15 sports grounds. Training use has significantly increased due to data from all clubs being included for the first time in 2018.



RECREATION AND CULTURE BRANCH

Community Development Fund

A total of 34 Warrnambool clubs, groups and organisations shared in more than $76,000 through Council's Community Development Fund.

The total value of the projects undertaken by the successful groups topped $300,000 with the clubs and organisations contributing their own cash, labour and in kind support.

Grant recipients were:

- Warrnambool Camera Club Incorporated, replaced essential club equipment $3,000
- Warrnambool & District Historical Society, old films professionally converted and purchase an editing program to share files for education $3,000
- Community Radio Endeavour Warrnambool, upgrade facilities for disability compliance $1,500
- Warrnambool City Band, upgrade of kitchen appliances $2,471
- City of Warrnambool Eisteddfod Society, expand the Eisteddfod to enable all abilities to participate within the event $3,000
- Friends of Warrnambool Botanic Gardens, install labels to identify plants for compilation into GIS-based database $3,000
- The F Project, create The Art Trade - collectable art cards detailing local artists $2,256
- Warrnambool Symphony Orchestra, purchase of equipment for rehearsals and performances $1,516
- Friends of Swan Reserve, professionally design and print brochures promoting the water wise garden at Swan Reserve $1,000
- Clean Oceans Collective, purchase marine debris ID manuals, educational how-to postcards and social media promotion $3,000
- Friends of Platypus Park, revegetate sites along the Merri River $300
- Warrnambool Community Garden, conduct mid-week local produce market to promote local produce $2,000
- Friends of Victoria Park, to plant 1000 plants in Victoria Park $2,300
- The Trustee for Nature Glenelg Trust, Small Things Festival $2,500
- Warrnambool Coast Care Landcare Network, revegetate the Old Gun Club and Maam Reserve site and conduct education sessions $2,000
- Port Fairy to Warrnambool Rail Trail Committee, purchase of small spray unit $1,467
- Easter Arts Festival, advertising and brochure design $3,000
- Holiday Actors, Musical Theatre Production $3,000
- Warrnambool Gift Committee, purchase equipment to support the event $1,953
- Warrnambool BMX Club, support the BMX Classic $1,769
- Warrnambool Gun Club, purchase a Tow and Collect machine to use at shooting range $3,000
- Warrnambool & District Historical Vehicle Club, construct a new disabled access at the Clubrooms $2,400
- Warrnambool Gem Club, purchase equipment to attract new members $3,000
- Warrnambool Rangers Football Club, purchase movable partitions to support growing female participation $1,930
- Nestles Rowing Club, purchase a new set of Croker adjustable sweep oars to support attracting new members $1,787
- Russells Creek Club, a development plan for Mack Oval $2,992
- Warrnambool Wolves Football Club, purchase a second hand vehicle supporting players travelling together for competitions $3,000
- Old Collegians Football Netball Club, purchase safety equipment supporting female participation in football $1,087
- North Warrnambool Eagles Football Netball Club, minor refurbishment of social rooms at Bushfield Recreation Reserve $3,000
- Warrnambool Disabled Surfers Association, purchase safety equipment to cater for children and adults with paralysis $1,126
- Allansford Cricket Club, purchase club equipment and conduct clinics to support the female cricket team $1,666
- Warrnambool Little Athletics, purchase of equipment to support club activities $2,800
- Warrnambool Dog Training School, purchase equipment to improve the training environment $1,333
- South Warrnambool Football Netball Club, install goal post netting at the Friendlies Society Reserve $3,000

Individual and Group Assistance Fund

Council supported nine applicants through this program to participate in National and International recognised events. A range of sporting activities were supported such as World Street Dance, Netball, Football, Indoor Cricket, Indoor Bias Bowls, Athletics, Cycling, and Aerobics.

RECREATION AND CULTURE BRANCH

Capital Projects

Sports Ground Lighting Improvements, Friendlies Societies Park

A new football sports lighting system was completed in April. Six 25m LED lighting towers were installed, providing 133 lux average for the playing surface. The system uses state of the art LED technology, delivering more useable light at a 30% power saving over metal halide technology. The project, funded through Council, State Government and South Warrnambool Football Netball Club, was valued at $278,000.

Community Park project East Warrnambool

Completion of the outdoor all weather basketball court, shared pathways and installation of skate elements was finalised and opened to residents in June. The improvement works to Wavelinks Park, including recent installation of 64 solar lights, has provided a safe, attractive and well-designed park that will encourage physical activity by residents. Solar lighting has also been completed in six additional parks in East Warrnambool funded through the Department of Justice Public Safety Infrastructure Fund. The project, funded by Council, State and Federal Governments, was valued at $564,000.

Irrigation and Water Storage Project, Brierly Recreation Reserve

The installation of a new bore and sub-surface irrigation was completed in March. The provision of improved water supply and automated irrigation facilities will significantly reduce the costs associated with water and electricity to the tenant club and enhance the playing surface whilst reducing the volunteer time associated with manual watering. The project was funded by Council, the State Government and user groups and valued at $299,000.

Pavilion Redevelopment Dennington Recreation Reserve

The project has complemented the existing facilities at the reserve and provided:

- New home football change rooms including amenities
- Designated unisex umpire amenities
- Re-developed away football change rooms
- Redeveloped home netball change room and amenities
- Installation of a new sewer connection
- Upgraded fire services, gas connection and stormwater system

The project was funded by Council, the State and Federal Governments, a number of local Philanthropic Trusts, the Warrnambool & District Football Netball League and Reserve User groups and valued at $758,000.

Recreation staff also supported the development of the following Small Infrastructure Funded Projects - the new Petanque Piste constructed at Lake Pertobe and opened in December, and track signage at Thunder Point with the Warrnambool Mountain Bike Club.

Planning Projects

Reid Oval Redevelopment

A Business Case for the project was completed in July 2018. Advocacy to support the attraction of project funding secured a $7 million dollar commitment prior to the 2018 State Government election. Council was also successful in attracting $3 million dollars through the State Government's new Community Sports Infrastructure loan scheme in November.

Great South Coast Regional AFL, Cricket and Netball Strategy

The Great South Coast Local Government Authorities, State and regional sporting associations have partnered to deliver a project to support the future development, governance and growth of the three sports over the next ten years.

AFL, Cricket and Netball are the most popular organised sports in the Great South Coast attracting over 15,000 participants. Local Councils are the major providers of sports facilities (47 football/netball facilities, an additional 44 cricket venues and 10 netball association venues across the GSC). State Sporting Associations, Local Associations, Clubs and participants are the major users of these facilities.

This Strategy is the first to be delivered in Victoria where planning has considered the future needs of the three sports in an integrated manner.

Stages three and four of the project were undertaken in 2018:

- Stakeholder workshops, analysis of all AFL, cricket and netball facilities in the region

Delivery and feedback on the Key Findings report

- Delivery and feedback on the Draft Strategy Commencement of the public exhibition period.

The project is due for completion in April 2019.

RECREATION AND CULTURE BRANCH

Active Warrnambool Strategy

The Active Warrnambool Strategy is under development and will inform Council's planning and provision of sport, recreation and physical activity in Warrnambool to 2028.

Engagement to inform the Strategy has so far included conversations with five focus groups, key stakeholder meetings and written submissions. The engagement for Warrnambool 2040 also provided opportunities for engagement and data collection for the Strategy.

The Issues and Opportunities discussion paper was completed in April, addressing the following questions:

- What is successful and what needs improvement?
- What needs to be done?
- What are the key issues that the Strategy needs to address?

The Implementation report, providing a preliminary response to the identified issues and opportunities, was completed in October.

Work commenced on the final stage of the project in December with the development of draft recommendations.

The project is funded by the State Government and Council and is due for completion in 2019.

Playing Fair, Towards Equitable Sports Ground Management

A presentation to Council was made in January regarding Council's future management of sports grounds. A further presentation on the current arrangements and future options is planned for 2019.

Pick My Project

Council received requests for land owner/manager consent and auspice of twenty-five applications to the State Government's new Pick My Project program. The initiative funded projects ideas generated by the community with the successful projects decided through a resident vote. Three projects were successful in the municipality were; Wild v's Warrnambool – interactive public art pieces of the Wild taking back Warrnambool, Rehabilitation of the old quarry at the Warrnambool Community Garden; and Botanic Gardens Nature Play Space.

Council Consent

Council's internal Recreation and Assets Working Group continues to provide the mechanism to assess proposals/requests from clubs and organisations seeking consent associated with the use, enhancement or development of Council owned or managed community assets. Twenty applications were approved to proceed during 2018.

RECREATION AND CULTURE BRANCH

WARRNAMBOOL LIBRARY

Service information

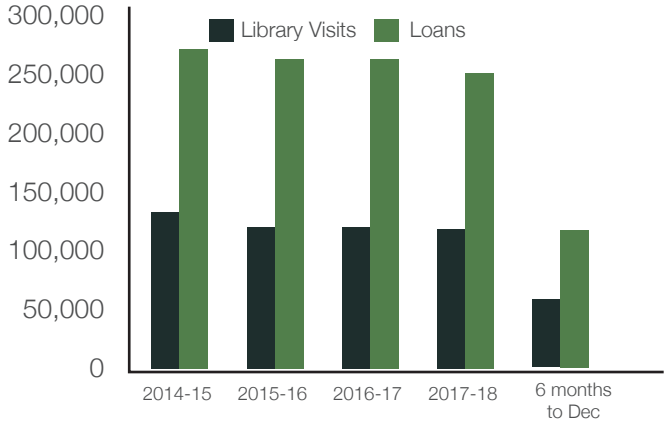
The Corangamite Regional Library Corporation (CRLC) is a regional partnership between the municipalities of Warrnambool; Moyne; Corangamite and Colac-Otway, offering public library services to these municipalities. The CRLC operates Warrnambool Library on Council's behalf.

The library currently houses a collection of just over 32,000 items and is at capacity. It currently has 16,200 registered library members.

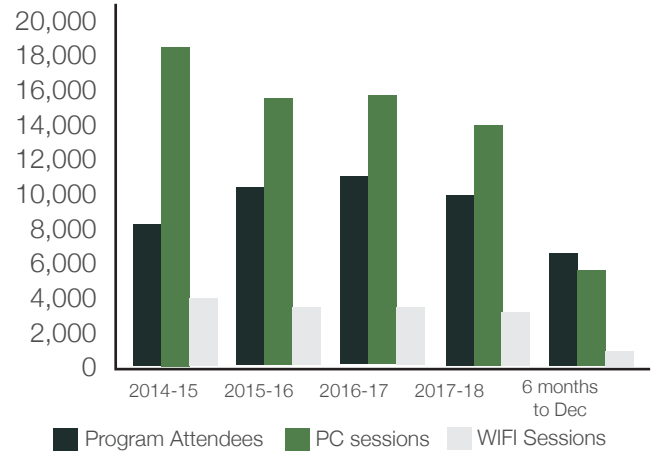
The Library operates multiple children's storytime sessions each week, school holiday activities, as well as regular programs and activities for adults. It also provides a Home Library Service to over 100 individuals and institutions, with the assistance of dedicated volunteers. Council provides a dedicated library vehicle for this service. The library also offers free PC, internet and wi-fi access to members and visitors.

Service data

Warrnambool Library visitor and loan comparison data for the past four and a half years are shown in the table below:



Program attendance, computer and WiFi bookings comparison data for the same period are also outlined below:



Data for 2018 follows:

Loans:	229,343
Visits:	107,439
Program sessions:	483
Program attendees:	10,884
PC Sessions:	11,939
WiFi Sessions:	2,534

Service highlights

- Self-service loans utilising RFID technology was introduced to Warrnambool Library in February 2018
- Library programs and activities have grown from 250 in 2015 to more than 450 in 2018.
- Regular author events which take place outside of the library due to space constraints are extremely popular, regularly attracting 50+ attendees. The latest event, celebrating local author Jodie Fleming's first book has 400+ bookings, and will be conducted at the Lighthouse Theatre.
- The announcement of $16.3 Million in State Government funding for a new Warrnambool library and Learning centre, in partnership with South West TAFE.

CAPACITY, ACCESS AND INCLUSION BRANCH

Capacity, Access and Inclusion Branch

The Capacity, Access and Inclusion branch comprises two units, the Home Support unit and the Community Support unit. These units manage a total of 21 programs and services that support and service both individuals and a range of organisations, with a key target group being people who experience some form of disadvantage.

The Capacity, Access and Inclusion branch performs a diversity of roles and functions that aim to improve the health and wellbeing of the community and its people.

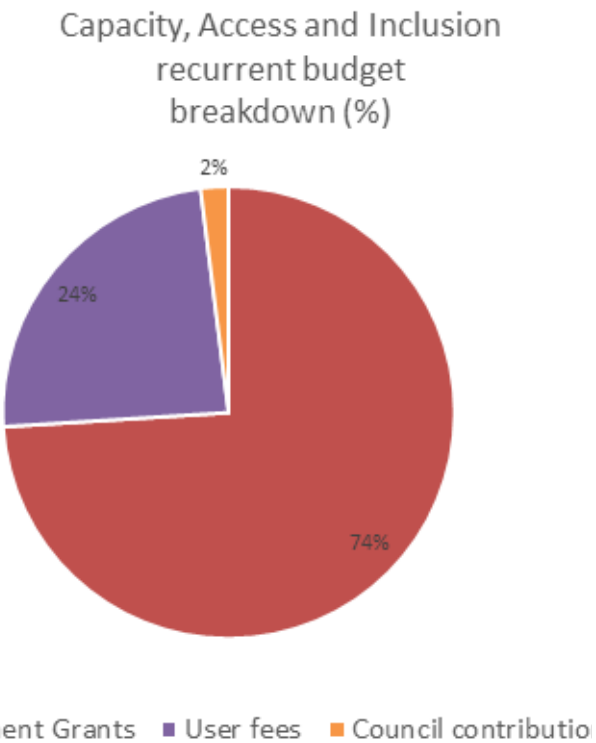
These roles include the delivery of direct services and programs, client assessment, sector advocacy, the provision of community facilities and an active role in supporting local communities and organisations to be inclusive of a broad range of community members.

During the reporting period the Capacity, Access and Inclusion branch:

- delivered 54,375 hours of services and programs.
- provided 9,919 meals.
- was represented on a total of 23 networks, committees and alliances.
- had 85 staff and 78 volunteers.

Total Branch budget: $ 5,236,201

The majority of revenue (98%) comes from Commonwealth and State grants and user fees, with Council contribution meeting the remaining 2%.



Additional Grants and Funding attracted during the reporting period

- $52,495 Commonwealth Home Support Program Growth funding
- $79,911 West Warrnambool Neighbourhood House
- $30,022 Women with Disabilities Victoria " Here We Are Project"
- $10,000 Youth Leadership

CAPACITY, ACCESS AND INCLUSION BRANCH

Rural Access Program

Rural Access is a program that works in partnership with other Council Branches, local organisations, community groups, businesses and the broader community to increase participation opportunities for people with disability. Examples of projects and initiatives supported by the Rural Access program that enhance the inclusion of people with disability are as follows:

- Rural Access was actively involved in the delivery of Passport 2 Employment (P2E), a seven-week program undertaken by young people with disability or other learning barriers who are at risk of disengaging from the education system, to further their knowledge, skills and opportunities for employment, further education and/or training. The 2018 program involved 21 students, with positive feedback being received from participants, their families and local schools.
- Rural Access has overseen the 'Here We Are' project, through which a Community Builder has been employed to develop opportunities for community participation for women with a disability. Project outcomes included:
  - Production of the 'Works for Me' video, featuring seven women with a disability sharing their personal experiences of employment and community inclusion. https://www.youtube.com/watch?v=xw_a2qN0kCY
  - Coordination of 'AccessAbility Day', which involved five Council Branches hosting five job seekers with a disability for a day each. One of these job seekers has now obtained employment with Council https://www.warrnambool.vic.gov.au/news/accessability-day-council
  - Participation in the 'Women of Warrnambool' project, which saw 52 visual profiles of women placed on the Civic Green, representing the number of women killed from domestic or family violence each year in Australia.
- Rural Access continued to strongly support All Abilities Advocacy (AAA), a self-advocacy group for people with disability which met bi-monthly to discuss a range of topics including member rights, decision-making, lobbying and the NDIS. The group has 60 members and aims to develop members' confidence and public advocacy skills.
- Many AAA members are also members of the all-abilities choir 'Find Your Voice'. Over 100 choir members regularly attended rehearsals and performed on the main stage at the 2018 Queenscliff Music Festival.
- Rural Access worked with a number of community groups and organisations to provide sporting and recreation opportunities for people with disability. The South Hurricanes, a team of footballers with a disability, again competed successfully in the Western District Competition. Originally a Rural Access initiative, the South Hurricanes is now auspiced by the South Warrnambool Football Netball Club. Rural Access supported the Disabled Surfers Association to run a successful all-abilities surfing day in Warrnambool, which attracted 35 surfers with a disability, supported by over 70 volunteers.
- Rural Access, in partnership with the Scope Communication Access Network, organised five accessible communication training / information sessions. Three Accessible Information Training sessions were run for Council staff who prepare written information for the public. An Accessible Communication Expo was held for carers and people with a communication disability, and an Augmentive and Alternative Communication Workshop session was conducted for Allied Health Professionals. A total of 85 participants and attendees provided very positive feedback about the sessions.
- Rural Access has continued to work positively with other Council Branches on a number of projects, including:
  - Monitoring the implementation of the Council Disability Action Plan 2017-26.
  - Involvement in the development of a Changing Places facility at Lake Pertobe.
  - Provision of information and advice regarding accessible parking bays in the Warrnambool CBD.
  - Organisation of information / training forums attended by Council staff, including Accessible Information Training sessions and a Universal Design Forum.

CAPACITY, ACCESS AND INCLUSION BRANCH

Regional Assessment Service.

My Aged Care is a single entry point and system for assessment for older people seeking support services so they can remain living at home.

Regional Assessment Services complete high quality assessments of the care and support needs of and eligibility for Commonwealth subsidised aged care services under the Commonwealth Home Support Program. Warrnambool City Council Regional Assessment Service received 264 My Aged Care referrals for new assessments during the 6 month reporting period.

The staff have recently commenced mandatory training in the following modules.

- Carers and the care relationship
- Working with Culturally and Linguistically Diverse People
- Working with Aboriginal and Torres Strait Islander peoples in My Aged Care.

Regional Assessment Service Client Experience Survey results distributed by Latrobe University in May 2018 indicated an overwhelmingly positive response for the Warrnambool Regional Assessment Service in their experience of assessment, gaining a rating of 4.8 out of 5.

Volunteer Connect

Volunteer Connect through its two key functions of coordinating Volunteers involved in Warrnambool City Council programs and external volunteer sector capacity building and brokerage has significant community involvement across the South West region. During this reporting period there has been continued growth in the number of volunteers and community groups the service supports. The key challenge for the service this year was a significant change to government data reporting, which required the development of new data collection tools and the application of new reporting software.

Service Activity – 1 July 2018 - 30 December 2018

Internal Warrnambool City Council Service	Number of Individuals
New Volunteers referred to WCC	51
Registered WCC Volunteers in ongoing roles	412
Registered WCC Volunteers in casual / event based volunteers	19
External Great South Coast Service	**Number of Individuals**
Individual Volunteers Supported (Warrnambool and region)	765
Volunteers referred to external agencies	208
New external volunteer positions registered	37
Volunteer managers and volunteers trained	214

CAPACITY, ACCESS AND INCLUSION BRANCH

Volunteer Connect facilitated or delivered 22 workshops to volunteers and community groups.

This included:

- 12 Strategic Planning and Governance Review workshops to the following groups:
  - Warrnambool Squash Club
  - Corangamite Kindergarten Committees
  - Moyne and Warrnambool Road Users Group
  - Camperdown Community House
  - Port Fairy Community House
  - Port Fairy Historical Life Boat Society
  - Portland SES
  - Lifeline South West
  - Future Leaders of Industry.
- 6 Grant Seekers Workshops in the Glenelg, Southern Grampians and Corangamite Shires.
- 1 presentation on National Standards for Volunteer Involving Organisations.
- 2 presentations on Legal Issues for Incorporated Associations.
- 1 presentation on Insurance and Risk for Community Organisations.

Volunteer Expos in Warrnambool and Hamilton.

These events are designed to connect clubs, organisations and volunteer groups with community members seeking to volunteer or join an organisation.

At the Warrnambool Expo, 52 organisations were represented and 312 prospective volunteers attended. At the Hamilton Open Day Expo, 13 volunteer organisations participated, with all these groups recruiting at least one volunteer through this activity.

Volunteer Connect promoted volunteering at a number of community expos and events across the region including Deakin University O'Week, and SW TAFE Open Days at Portland and Warrnambool campuses.

In addition to supporting individuals and volunteer organisations, Volunteer Connect actively works to promote volunteerism to all sectors of the community.

Youth Services

Council provides a diverse range of youth participation and capacity building initiatives to young people aged between 12 and 25 years. Key programs include Warrnambool Youth Council, FReeZA events and a range of school and community partnership based projects.

Future Leaders of Industry

A pilot program was successfully delivered in 2018 with 16 young people participating. The program received philanthropic funding and was supported through partnerships with Wannon Water, SWTAFE and Deakin University.

Brauer Girls

A group of female students from Brauer College formed a "Respectful Relationship Action Group" to deliver their second year of 16 Days of Activism campaign, raising awareness about family violence.

Another significant part of this program has been enabling the students to stay engaged in education. All the original members of the program completed secondary school in 2018 with most of the students indicating they never expected to complete Year 12.

Youth Council

Youth Council delivered a Mental Health Week project in conjunction with a local General Practitioner. The estab-

CAPACITY, ACCESS AND INCLUSION BRANCH

lishment of a Junior Youth Council in 2018 was deemed a success and will continue in 2019. To date 40 applications have been received for next year's Youth Council.

Youth Achiever Awards

The Youth Achiever Awards are delivered in partnership by the Warrnambool and Moyne Youth Councils. The 2019 Youth Achiever Awards are to be held on February 13. A total of 240 nominations across the four award categories have been received.

The Warrnambool East Primary School Community Crew (WEPS)

The WEPS program focusses on building positive engagement with students from the East Warrnambool area. Participation in the program has grown to 35 students, with 65 family members attending a dinner which provided students with an opportunity to showcase their work and progress. The program has created important links between school, family and the community.

The program has received funding from the South West Community Foundation to support an art project for the Wavelinks Park. Six art works will be designed and created by the students to be placed in the Park.

Multicultural program @ Warrnambool College

The program had a successful second year with increased numbers attending. Evaluation with students highlighted the strong connection between school attendance and program attendance. Additional funding has recently been received from the Commonwealth Bank.

FReeZA

The FReeZA program has continued its focus on engagement and promotion of youth in the Warrnambool music scene. Other events the program has facilitated included skate workshops and competitions, Battle of the Bands and song writing workshops.

Upskilling participants to move from simply performing at an event to being a key organiser of events has also been a focus of the program.

L2P Program

A total of 60 young learner drivers has been actively engaged in the program, with 23 gaining their licences.

The program is supported by 24 volunteer mentors who are actively involved in assisting learner drivers to achieve the 120 hours required to sit their driver's licence.

In the reporting period the manual car was replaced with a new Toyota Yaris vehicle.

Beyond the Bell

The Youth Development Officer provides secretariat support to the Warrnambool Local Action Group (LAG). The role also enables linkages back to the broader youth community.

CAPACITY, ACCESS AND INCLUSION BRANCH

Archie Community Graham Centre and Community Programs

Introduction

The Archie Graham Community Centre continues to be a place for people to access information and join in with community activities that keep them fit and healthy, independent and connected to others.
The Archie Graham Community Programs and Archie Graham Community Centre have continued to see a strong increase in participation levels.

Resources:

The Facility: The Centre has six rooms of varied sizes available for use for community activities and meetings during business hours and after hours. Hire rates are set at different rates for commercial versus community or not-for-profit uses. Fees collected from room hire offset facility and program expenses.

Staffing: The Community Programs team includes 15 staff working a total of 7.65 EFT in areas such as program co-ordination, office administration and reception for the Centre and administration support to other areas of the Branch.

Volunteers: Volunteers enable Archie program activities and events to operate smoothly as welcoming, inclusive and enjoyable activities. Volunteers assist in the following roles:

- Heart Foundation Walk Organisers
- Social Cycling Volunteers
- Computer Tutors
- Newsletter preparation
- Group Leaders for activities

Council's Volunteers Connect program assists in creating new volunteer roles and matching suitable volunteers.

Key partners include:

- University of the Third Age
- Warrnambool Library
- Warrnambool Senior Citizens Club
- Lighthouse Theatre
- Warrnambool Art Gallery (WAG)
- Healthy Exercise Network members: Southwest Health Care, St John of God Health Service, Lyndoch Living, Victorian Department of Health and Human Services
- Aquazone

HEALTH AND WELLBEING n=participants/ hours	July	Aug	Sep	Oct	Nov	Dec
Strength Training - General (2x week)	200	207	185	199	216	146
Men's Strength Training (2x week)	87	129	124	133	105	84
Heart Foundation Walking (2 groups/week)	121	104	117	180	129	104
Social Cycling (2x week)	232	300	192	256	312	80
Pulselite (2x week)	125	133	118	130	94	66
My Individual Strength Training (2x week)	N/A	N/A	N/A	68	67	43
Stepping Stones (HEN) (2x week)	48	42	50	57	76	58
Total Health and Wellbeing Programs	813	915	786	1023	999	581
Hydrotherapy Pool	554	586	474	531	534	357
Community Classes	32	44	30	87	66	44
Troubleshoot your smartphone/tablet – Kings College Students ^ School holidays	6	18	22	8 ^	15	9
Archie Programs	278	304	331	335	698	183.5
Celebrage Festival	0	0	0	723	0	0
Volunteers Hours	92	96	90	102	89	44
No of Seniors participant hours at activities held in AGCC by Seniors Club Repeat users	1043.5	1300.5	1110.5	1357.5	1360.5	619

CAPACITY, ACCESS AND INCLUSION BRANCH

Room Hire n= hours per month	July	Aug	Sep	Oct	Nov	Dec **
Commercial Room Hire ($35/hr)	32.5	22	24	33	31.5	9
Community Regular/casual Room Hire ($20 hire)	80	80.5	82	98.25	95	52
Community NO Charge Room Hire (zero)	25	72	70	20.5	29	22
Seniors NO Charge Room Hire	91.75	97	85	104.5	105.25	59
Internal WCC staff No Charge Room Hire	335	330.5	326.25	233.5	201.5	166.25

**December room hire is lower than other months due to organisations winding up their programs for the year by mid-December.
Fees collected from room hire offset facility and program expenses and are an important means of revenue for the facility.

CAPACITY, ACCESS AND INCLUSION BRANCH

Social Support Programs

The Social Support Program is funded by both the State and Commonwealth governments to provide people who are frail aged and socially isolated with a range of Centre and community based social activities.

Community Bus Program:

The Community Bus program is conducted 4 days per week and assists individuals over the age of 65 years who are at risk of becoming socially isolated to access the community in a supported environment. Each participant is collected from their own home and participate in a day out on the community bus, stopping for morning tea and lunch and at various sites around the district.
The program utilises the community bus which is modified with additional steps, grab rails and an electric hoist/lift for ease of access for participants with restricted mobility. A total 101 individuals participated in the program through the course of the 2018 year.

In-centre programs @ Archie Graham Centre:

Currently, two in-centre groups are provided at the Archie Graham Centre. One program caters specifically for individuals with vision impairment and another program is specifically targeted for male participants. Both programs run once a week and provide activities both within the Centre and in the community.

National Disability Insurance Scheme (NDIS).

Up until the end of September 2018, in-centre group programs were provided to individuals with a disability. The participants in these programs then transitioned to the NDIS, and delivery of the programs ceased.

Program	Target hours	Total hours delivered	% of target delivered
Commonwealth Home Support Program (CHSP)	16,363	18,960	115%
Home and Community Care Program for Younger People	5,559	8299	149%

Café Style Support Program:

The Café Style Support program provides social support to carers of people who have early stage dementia and people who are frail aged and the person they care for, together in an informal and relaxed environment. The program is conducted across the South West region with Café's being held in Portland, Hamilton, Camperdown and Warrnambool on a monthly basis. The program aims to provide an opportunity for carers to connect with others in a similar caring situation, to share experiences, gain support and minimise social isolation.

Provision of support service information, connection to community resources and participation in a range of activities such as lunches, reminiscence sessions, themed events and outings are all part of the program. Altogether, 130 individuals' carers were assisted during 2018.

CAPACITY, ACCESS AND INCLUSION BRANCH

Home Support Unit

The Vision and Consumer Outcome for this essential community service is to:

Treat consumers with dignity and respect, while supporting them to make informed choices about their care and services so they can live the life they choose.

Warrnambool City Council is the largest provider of 'In home' aged care services in South-West Victoria.

Council delivers six categories of Home Support, all aimed at retaining or improving the wellness of people (aged 65+) and younger people experiencing chronic health issues, to build on their individual strengths and abilities with the goal of continuing to live at home.

As at 31 December 2018, 2592 consumers were accessing the service and it is growing at a rate of 140 consumers every 6 months.

The services delivered under the program are:

- Home Care - Housework and cleaning
- Personal Care – Assistance with health and personal hygiene
- Home Maintenance – Lawn mowing, property maintenance and home modifications to ensure clients can live safely at home
- Carer Respite – To support carers and provide them with a break from their carers role
- Meals on Wheels – Nutritious meals delivered by volunteers
- Social Support Group – Group activities and socialisation

Over the past 12 months Council delivered 92,631 hours of home support to 3,184 individuals and delivered 20,020 protein enriched meals (385 per week) to 384 consumers. Meals are delivered every week day, including Christmas Day and Boxing Day.

A number of clients were contacted in the last three months to ascertain how they viewed the service. The following are some of their direct comments:

"We are extremely happy with our support worker who is a wonderful person and does a great job."

"The service we receive from WCC has made a huge difference to our lives."

Council's service is funded by both the Australian and Victorian governments. The funding from the Australian Government is guaranteed to June 30, 2020. Funding from the State Government is recurrent.

The levels of service delivered for the period July 1st to December 31st 2018 are as follows:

- Respite and carer support 8,145 hours
- Meals on Wheels 9,494 meals
- Domestic Assistance 9153 hours
- Home Maintenance 1,925 hour
- Personal Care 2,308 hours
- Social Support Group activities 11,451 hours

At December 31, Council is on track to meet its June 30, 2019 target.

During the period of this Operations Report, we have experienced significant change to the Home Support sector. This includes the transition of clients under the age of 65 to the National Disability Insurance Scheme (NDIS). The Home Support unit managed the transition of 118 clients to the scheme.

Highlights for the period include:

- Retaining an Australian Aged Care Quality Agency rating of 100%. The service met all compliance standards.
- Attracted $52,000 of growth funding for use across our Domestic Assistance service. This grant will enable Council to respond to residents who are currently waiting for service.

CAPACITY, ACCESS AND INCLUSION BRANCH

Sector Development

Warrnambool City Council is the auspice of two sector development positions: a Wellness and Reablement Consultant and a Regional Development Coordinator.

The positions support governments and funded organisations to manage change occurring across the aged and disability sectors.

The scope of the work undertaken by the team includes:

- Supporting organisations to be informed so that they can respond effectively to the Aged Care reforms.
- Gathering intelligence and informing Government on system-wide issues, risks and opportunities.
- Facilitating the embedding of a service delivery system change to put wellness and reablement first, increasing client independence, wellbeing and satisfaction.
- Enhancing access to services to those most marginalised.
- Supporting alliances, networks and partnerships to promote collaborative service delivery and share good practice.

The positions are funded by the Commonwealth Department of Health and the Victorian Department of Health and Human Services.

Capacity, Access and Inclusion Branch Projects

West Warrnambool Neighbourhood House

For some time, Council has been aware of the need to provide opportunities in West Warrnambool for people to connect, socialise and learn. Whilst Council has heard this need through consultation with the community and this has been translated to some of Councils strategic plans, the resources have not been available to deliver coordinated programming in a venue in the area.

In October 2018 Warrnambool Council was advised its application for Neighbourhood House Coordination funding was successful. Warrnambool City Council will now receive $79,911 for ongoing funding for 25 hours per week of coordination.

The Neighbourhood house will be co-located with the Beamish Street Kindergarten.

Age Friendly Communities project

In May 2018 Warrnambool City Council received a $100.000 Age Friendly Communities Grant from the Department of Health and Human Services.

The Age Friendly Communities Project seeks to improve the health and wellbeing of older adults in Warrnambool by building the capacity of local communities to be inclusive of older people. The two year project aims to improve levels of physical activity, healthy eating, social connection, lifelong learning, civic and economic participation and create a more accessible physical environment for older residents. Warrnambool City is registered as a WHO Age Friendly City one of the first in Australia, and this project will look to build on this and other Age Friendly City work currently taking place within Warrnambool.

Community Planning and Policy Branch

STRATEGIC PLANNING UPDATE: Warrnambool 2040 Community Plan:

- **Community Plan and Prospectus published**
- **Partnership drive launched with around 90 organisations contacted.**
- **30+ local partners express interest in being founding partners.**
- **Partnership agreement to be co-designed with partners in March 2019.**
- **Planning commenced for community focussed "Small Actions. BIG Difference" Campaign for 2019**

Health and Wellbeing Plan 2017-2021

- 2018/19 Action Plan developed with support from dozens of partners.
- Implementation of the plan has been extensive in 2018 – see following section for a snapshot of Council's actions.
- Strengthening alignment between W2040 community plan, WCC Council Plan and Warrnambool A Healthy City has been a priority this year.

Lake Pertobe Master Plan

The new Lake Pertobe Master Plan will guide future efforts to maintain, renew, improve and manage this unique community asset for the next 10–15 years.

Through an extensive community engagement process, there has been overwhelming community support for investment in and management of Lake Pertobe. Residents want to ensure it remains one of the best, freely accessible, parks/playgrounds in Australia, and becomes a more walkable and environmentally sustainable reserve, which is well connected to both central Warrnambool and the beachfront.

The masterplan suggests a significant number of improvements and management recommendations for Lake Pertobe over the next decade. These include improvements to infrastructure (paths, play, social and recreational), improved connectivity and wayfinding / information, environmental and landscaping works, changes to vehicle parking arrangements and improved drainage and stormwater management.

The detailed draft Plan was finalised and placed on exhibition for a final round of community input from December 2018 to February 2019.

A funding application was submitted to Federal Government's Building Better Regions Fund in November which would enable delivery of $2.3 million worth of priority projects.

Health and Wellbeing Plan – Activity Snapshot: Goal 1: Healthy Lifestyles:

10 of the 11 Warrnambool Primary Schools took part in the HEALTHY MOVES program in 2018 and VicHealth's Walk to School month in October.

2,225 students took part walking approximately 16,251Km. The schools had 83% participation rate (students taking part at least once over the month). Community messaging supported the program and included: Drivers Make Eye Contact; Stop Look Listen Think when crossing roads;

and Walking Some of the Way is OK. These encouraged families to feel confident in allowing their children to walk/ cycle or bus to school.

Campaign included:

Social media on Warrnambool Walks - 12 posts. Total Reach: 15,781. Engagement: 697 Post Clicks: 716 Campaign Video made by Woodford Students received 3,432 views

Radio–CoastFM supported the initiative to enable students with the best radio script to record their ad which aired during October.

Active Hubs:

After being renovated and improved by the Brauer College VCAL year 11 class during winter, the Active Hub trailer has been used extensively to support community activities during Spring.

Events included:
- Mental Health Week Launch @ The Fresh Market
- Mental Health Week events in Schools
- RUOK? Day at Warrnambool Special Development School
- Various community engagement events

In partnership with WAG the Active Hub will again be located on the Civic Green for the summer months. The Active Hub beanbags and games create a sense of activity and encourage people to spend time on the Civic Green, to linger and socialise in this important central space.

For the first time this spring community groups have been offered the Active Hub for their events. This free hire has been utilised by Dennington Day Out in November and Woodford Primary School Market in December. The Active Hub trailer has also been hired on a fee for service basis to Warrnambool Racing Club and a local business to offset the cost of renewing equipment.

Lake Pertobe Discovery Guided Walk:
In partnership with Nature Glenelg Trust, the team developed and trialled a 1 hour guided walk around Lake Pertobe highlighting flora, fauna, cultural information and also the history around the transformation of the site from ephemeral wetland (swamp) to renowned playground. The walk was trialled at The Small Things Festival in October and will feature in the 2019 BeachFest Program.

Warrnambool Walks: Social Media Overview:
- Health benefits– research, data and evidence to show why walking is good for everybody.
- Posts encouraged moving more and illustrated all the beautiful walking experiences in Warrnambool.
- #FindYour30 – promote the national campaign for people to include 30 minutes of activity in their day.
- Walking Promotion –Steptember, Walktober, 'Change to walking' behaviours (#someofthewayisOK, #3tripsaweek #parkandwalk), Victoria Walks Walking Maps, encourage local walks to new features (public art, murals, playgrounds, etc).
- Pedestrian/driver/cyclist safety – encouraged safer behaviour; raised awareness of risks; aimed to reduce parking demand and traffic congestion near schools.
- Community event information –sharing active community events which promote healthy lifestyles

WARRNAMBOOL WALKS: FACEBOOK PERFORMANCE

Page Likes – audience increased by 30% from 1,157 to 1512 during 2018.

Page Audience/Reach: Average 9,100 people per month in 2018

Many of the best performing posts in 2018 celebrated Warrnambool's environment and walking infrastructure. Page followers are very responsive to posts highlighting the walking opportunities in the city and encouraging the enjoyment of the local landscapes.
See examples overleaf.

Community Planning and Policy Branch

Goal 2: Inclusion, Safety & Social Connection:

This year developed and implemented Warrnambool's biggest Mental Health Week campaign. The successful and wide reaching campaign was designed by Warrnambool Youth Council to raise awareness of actions which support good mental health. The Mental health Week logo, campaign messages and designs were developed by Youth Councillors with the support of local psychologist Dr Jodie Fleming and graphic designer Sinead Murphy.

Five campaign messages "Be Kind; Be Playful; Be Social; Be Yourself & Just be" and the tag "Be good to yourSELF for good mental health" were promoted via posters, roundabout banners, stickers and badges which were distributed at schools, events and workplaces.

The week long campaign included an extensive social media campaign on Connect Warrnambool and a print advertising campaign in the Warrnambool Standard. The activities were subsidised with a funding grant from Wellways.

Connect Facebook Posts (28 Sep - 4 Oct)	Audience	Engagements	Click Throughs
Total from 17 posts	70201	1385	348
Average per post	4129	82	97

16 DAY OF ACTIVISM AGAINST GENDER VIOLENCE

In November 2018, Warrnambool's local campaign to promote gender equity developed local messages supporting the Victoria Against Violence campaign.

AquaZone, WAG, Lighthouse Theatre and Archie Graham facades all displayed signage to promote the campaign's key messages. Archie Graham Centre building façade was also bathed in orange each night as the new LED lighting was utilised in support of the campaign.

Council also supported the regional free orange shopping bag campaign, Women of Warrnambool installation

A social media campaign on Connect Warrnambool saw the campaign's 17 posts viewed 70,000 times, and there were approximately 2000 engagements (likes, click throughs or shares)

The Youth Team again supported young leaders in secondary schools to promote the campaign messages on stickers distributed to students and applied to canteen packaging.

Social Media Campaigns Summary:

- Externally funded community awareness campaigns included: Warrnambool Mental health Week, Gambling Harm Awareness Week South West Vic, Walktober and LastDrinks Warrnambool.
- Health & Wellbeing – Multicultural Week at WAG including Vicky the Truck; RUOK Day; Walktober and Walk To School; Ride To Work; #16DaysofActivism – gender equity campaign;
- Emergency management preparedness and awareness – extensive emergency preparedness messaging across both Warranmbool and Moyne Shire including bushfire and flood/storm - be prepared/have a plan messages; education and awareness raising building; and storm/flood/heat warnings. Connect Warrnambool FB was utilised extensively to communicate across the south west in the wake of the March Fires. Road safety – pedestrian safety, driver distraction and don't text and drive messages have featured.
- Community events – shared and promoted hundreds of local events which support Warrnambool's Health and Wellbeing goals (including – Mental Health Week, Gambling Harm Awareness Week, Walktober, and community markets and activities).

CONNECT WARRNAMBOOL: FACEBOOK PERFORMANCE

Page Likes – audience increased by 15% from 5026 to 5807 during 2018
Page Audience/Reach – Average 13,000 people per month

New Neighbourhood House for West Warrnambool

Council applied for state government funding to establish a new neighbourhood house in the west of the City. This is the first time an opportunity to secure ongoing funding for new neighbourhood houses has been available in a decade. The funding allows a neighbourhood house located at the Beamish Street Kindergarten to be open for 25 hours a week, and a range of community programs and activities to be delivered.

Strategic planning showed there is a significant gap in the provision of community infrastructure and public spaces in West Warrnambool. The Warrnambool Community Services And Infrastructure Plan (2013) identified the need for:

- additional meeting spaces,
- a neighbourhood house & associated activities,
- a community arts space and
- youth-focussed community facilities

A Neighbourhood Plan for the West, developed in 2005, identified the need (and desire) for a community meeting place and activities hub (a community house).

Goal 3: Improving Educational and Economic Outcomes

Beyond the Bell Inc has funded a 12 month project to be delivered by Council.

The project aims to respond to the issue of student absenteeism which has been identified by local schools as a factor impacting educational outcomes. A part time project officer has been appointed to deliver a community campaign to raise awareness of the impact of regular days off and arriving late.

This will commence in February 2019.

Children's and Family Services Branch

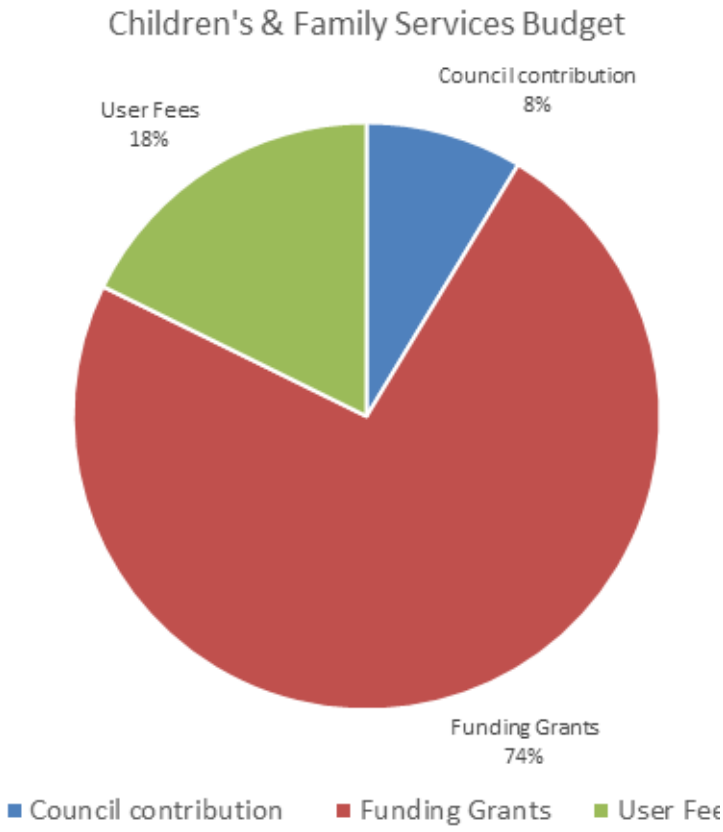
The Children's and Family Services Branch comprises two units, the Early Years Learning and Development Unit, and the Early Years Intervention and Support Unit

The Branch provides an integrated range of children's and family health, support and learning services across the early years continuum from Baby Makes 3+, Maternal & Child Health, Parenting Support, Long Day Centres, Family Day Care, Kindergartens and Pre School Field Officers.

The Victorian State Government has dedicated itself to being the 'Education State', and fortunately has invested heavily in that outcome over its first term. For Warrnambool and the Great South Coast region, the issues of poor educational attainment levels were identified as a serious impediment to the health, welfare and prosperity of all who live, and/or work here. A range of initiatives have been funded since 2015, and in particular increased investment in Early Years Learning and Development The investment and outcomes that flow from it would be expected to begin to be realised in the next 3 years.

Total Branch Budget $8,212,243.

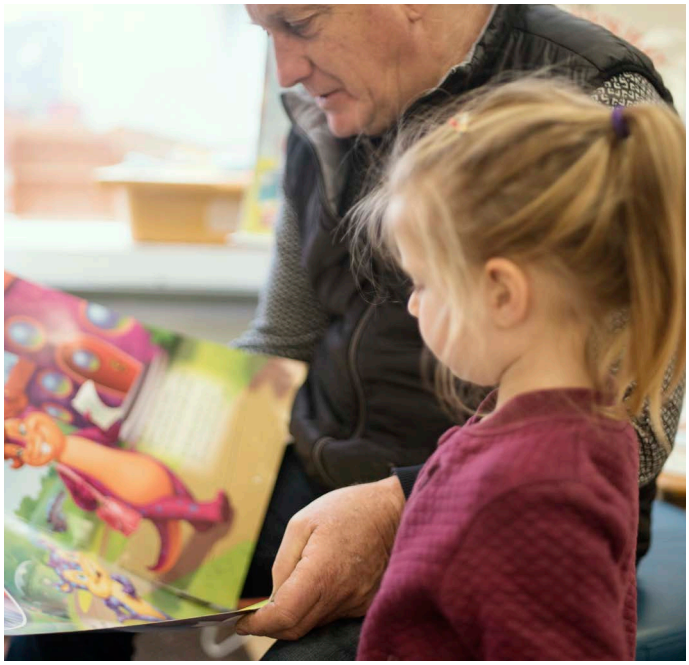
The majority of revenue 92% comes from Commonwealth and State Government grants and subsidies, user fees, and the Council contribution meeting the remaining 8%.



Children's and Family Services Branch

Additional Funding received during the reporting period

Inclusion Grants	$8,250
IT Grants	$14,400
School Readiness	$358,000
Administration School Readiness	$8,800
Indigenous Language	Total to be advised
Central Enrolment Project	$40,000
Intensive Targets	$184,832
Transition to School Statements	$7,000
Maternal Child Health Mentor	$10,000
Enhanced Maternal Child Health	$147,000
Baby Makes 3	$16,000
Supported Playgroup	$84,000
Family Violence	$7,464
Clinical Supervision	$3,026
Total extra	**$888,772**



Services	Kindergarten	Centre Based Child Care	Family Day Care
Number of children	362	265	98
Percentage of children with an additional need	14%	1.5%	0%
Number of children accessing Inclusion Support	7	2	0
% of families receiving the highest rate of subsidy	40%	51%	21%

Business Plan Outcomes

- Business plans developed and fully implemented across the Branch
- A new software program for Early Years Services rolled out across Centre Based Childcare and Kindergartens in 2018. It has proved challenging with ongoing impacts needing a higher level of resourcing and increased workloads for staff that will continue for the foreseeable future. The new program however, is a significant improvement on previous system
- Reportable Conduct training commenced for all Early Years services and staff
- Manager Children's and Family Services continued the rollout of Child Safe Standards Training for all internal Council Services as a one off commitment while Organisational Development staff develop the ongoing organisational training maintenance program for 2019 and beyond.
- Continued to support the Beyond the Bell Local Area Group, and strategy
- The joint State Government & Early Years Services Compact Agreement was developed along with an ambitious Joint Action Plan for the West Wimmera Area and commenced rollout across the region in late 2018.
- Partnerships with schools to increase school readiness is a key objective for the Branch. New programs have been funded by the State Government, and staff developed and introduced a range of new programs such as Kinder and School Readiness sessions for parents, along with greater emphasis on annual transition assessments and statements to improve the transition pathway and experience for children between early years learning services and primary school. It is early days but the program is achieving tangible benefits already and encouraging for all staff and families involved.
- Early Years Management and Service Improvement plans developed and delivered to plan
- WCCs Early Years Learning and Development Continuum developed, reviewed and now shared across the Early Years Compact stakeholder group as a model of best practice in the region.
- Developed and introduced the Supported Playgroup program which was funded by the State Government to increase support for children's early development, and provide support for parents. The program has proved so popular in Warrnambool that we have been supported by government to quadruple the program.

Children's and Family Services Branch

Client and Community Engagement

Social Media

Facebook Accounts – Children & Family Services updating/ maintaining the account has grown the account from 750 followers in December 2017 to over 1,221 followers at the end of December 2018. The page is used for information sharing, service updates, marketing, parenting tips, activities for children and families in the community, and vacancies in programs. Staff are monitoring and updating the page daily, nightly and over weekends.
Closed-Facebook groups were introduced and provided for the first time in 2018. The groups have been implemented for Parent Committees and Parent Advisory Groups to share ideas, feedback and events, and have been really well received as an efficient and effective means of participation and communication with the services.
2018 saw the introduction of Facebook as a means of contact between clients and service providers. Each Kindergarten now has their own Facebook group, and Early Years Management has been allocated administration support hours for these groups to ensure the mechanism is supported and maintained ongoing.

Indigenous Language Program

This is one of the team's proudest partnerships and achievements. The commitment from our local Indigenous members and communities has been remarkable when you consider the challenges of settlement across the region. The impact of the program on the ground is well beyond what was originally anticipated or imagined. Families regularly provide positive feedback in relation to what their children are learning from the Indigenous Language program, expressing their surprise at how quickly children are adapting and using the language at home when talking about day to day activity, or pets, places, or people. The language program would not be possible without the ongoing commitment of the Aboriginal elders, services, and communities that partner, lead, and help bridge the historic divides, and improve the socio economic and health outcomes for all of our communities Our thanks to Joel Wright, Robbie Lowe Snr, and Uncle Locky Eccles, and Bronwyn Ferguson.

Children's Week

Families participated in the annual United Nations Rights of the Child, Children's week celebration activities – the United Convention on Rights of the Child. Activities span the week and run across all Early Year's services.

Braveheart's – White Balloon Day National Child Protection Week - supported national child protection week with braveharts 22nd white balloon day.
Wannon Water Grants – The service won first prize in the preschool section of the annual Water it! Grow It! Competition. $500 worth of gardening equipment during National Water Week

National Family Week – was celebrated across the services with story time, yoga, teddy bears picnic, playgroup, and tours of our centres.

School Readiness Funding

WCC Kindergarten services are part of the State Government's first roll-out areas for School Readiness Funding, and will receive an additional $350,000. This funding is needs-based and assessed on the level of educational disadvantage of students within the services.

The funding is ongoing and can be used for:

- programs and services that target speech, language and literacy
- allied health (speech therapists, psychologists, occupational therapists)
- programs and services that support trauma informed practice, secure attachment and mental health
- resources and programs to support the social and emotional wellbeing of children
- support for cultural and linguistically diverse children and families
- support for parents to support their child's development.
- allied health (speech therapists, psychologists, occupational therapists)
- programs and services that support trauma informed practice, secure attachment and mental health
- resources and programs to support the social and emotional wellbeing of children
- support for cultural and linguistically diverse children and families
- support for parents to support their child's development.

All 12 WCC kindergartens have submitted plans to the Department of Education on how the funds will be best allocated to support the children attending Kinder in 2019.

Language

WCC Kindergartens have been successful in receiving funding for the next 3 years from the Department of Education to support the Indigenous Language program in Preschools

As part of this initiative, 150 Kindergartens across Victoria will offer weekly sessions in one of 15 languages including Mandarin, Arabic, Punjabi, Italian, Japanese, French, Greek, Hebrew and Spanish. Among these are 29 kindergartens which will offer Aboriginal languages, and 27 that will offer Auslan.

Children's and Family Services Branch

Out of the 29 that were successful to offer Aboriginal languages WCC has had all 12 Kindergarten services approved for funding.

The Early Childhood Language Program will provide additional staff to teach children a new language in partnership with existing staff – at no cost to parents or early childhood services.

Learning languages at a young age is shown to have benefits such as increased reading and writing skills, cognitive flexibility, strengthened brain development and improved problem-solving skills.

Inclusion Kindergarten Facilities Program

The Inclusive Kindergartens Facilities Program funds small upgrades to buildings, playgrounds and equipment that make a big difference to how Victorian Kindergartens can meet the educational and social needs of children with disabilities.

Allansford and Mahogany Kindergartens have been successful in their application for an electronic adjustable change table that can accommodate all children's needs at the Kindergarten. Each kindergarten received $4,115.00 in funding to cover the full cost of purchasing the equipment. Purchasing height adjustable electronic change tables was identified as a high priority / high cost recommendation from the Kindergarten Accessibility project, identified as an improvement from the Rural Access Audit.

Quality Improvement

Kindergartens achieve high quality standards for a second time.

City Kindergarten, Lions Hopkins Kindergarten, and Warrnambool East Kindergarten once again achieved the highest quality rating possible of 'Exceeding' the Australian Governments National Quality Framework for the second time. The definition of an exceeding rated service is a service that goes beyond the requirements of the National Quality Standards in at least four of the seven quality areas. WCC services are sitting in the top 34% of the State. As of February 2018, changes were made to the way quality area ratings are assessed.

To be rated Exceeding NQS, all standards in that quality area must now be rated Exceeding NQS.

The following three themes must be demonstrated in service practice for a standard to be rated as Exceeding NQS:

Theme 1: Practice is embedded in service operations
Theme 2: Practice is informed by critical reflection
Theme 3: Practice is shaped by meaningful engagement with families and/or the community

Lions Hopkin, City Kindergarten and Warrnambool East Kindergarten staff were able to demonstrate all 3 of the criteria within their service and quality areas. WCC staff and services are achieving outstanding outcomes for the children and families they work with.

Service Quality Improvement

- 13 Individual Services Quality Improvement Plans for 13 services were reviewed
- 13 Individual Services Emergency Management Plans reviewed and completed
- 13 Individual Site inspections and audits for MSD and OH&S reporting completed
- 95% of children attending Kinder in 2018 were school ready by the end of term 4.
- 343 Transition to School reports completed for children transitioning to primary school; 19 Second Year applications completed for children with developmental delays; 11 Early Start Children transitioned to 4 year old kinder in 2018.
- 576 families attended the Kinder Open Day held in 2018.

Children's and Family Services Branch

- Kindergarten Inclusion Support funding: an additional 44.5 additional hours received to support children within the Kinder program
- Speech Screening: 43 assessments undertaken (6 were provided with a home program to complete, and 31 were referred for ongoing assessment).
- Dental Screening – South West Health Care conducted free dental health screenings for Kindergarten and Childcare services for over 400 children

Pre-School Field Officers

The Preschool Field Officer (PSFO) Program is an early intervention outreach service that is universally available within State funded Preschools (Kindergartens) for any child with developmental concerns. The primary role of the PSFO Program is to support the access and participation of children with additional needs attending Preschool.

Preschool Field Officers visited 88 children over 2018, 66 of these were new referrals, and 22 were for returning children.

KidsXap

In October WCC Childcare Services migrated to a new online software program called Kidsxap. The program was fully funded by the Federal Government in 2015. The program is a significant upgrade that allows families a range of improvements such as: a simple sign in and sign out, real time communication with service staff, and access to data to process the Childcare Subsidy rebate online.

The system has been implemented at the service level using iPads for parent and educator use and can be accessed through desk top systems as needed.

Kindergartens migration occurred in November. Over 600 families have migrated to the system with new families being added each day.

The Benefits from using the software are:
The opportunity to communicate more effectively with parents through an app for smart phones. This allows parents and staff to communicate programs, routines, observations and children's learning through the app. The app offers:

- medication requests
- incident reports
- monitoring the child's day and health
- learning observations
- photo and video sharing
- communication platforms between services and guardians

Easy emailing of invoices to parents/cares, this is an ability we didn't previously have.

The option for automated payments via BPay or direct debit.

Removes paper based system

Supports the National Quality Framework Standards

Convenient online enrolments

The delay in rolling out the program has however caused a significant increase in workloads for all staff and created layers of complexity for families and payments, all of which is being worked through progressively but is a much slower process than desired. Occupancy, however, is high and services achieved budget for 2018.

Children's and Family Services Branch

Projects

Nature Kinder Program

298 children participated in Nature Kinder this year. Children from Mahogany and Sherwood Park Kindergarten groups visited Victoria Park spending 3 hours playing amongst the trees, climbing, building cubbies, rolling down the hill, making mud pies, collecting natural treasures, finding insects and other creatures while enjoying the fresh air.

Beach Kinder Program

This year also saw the introduction of Beach Kinder where 85 children from Lions Hopkins, Mahogany and Sherwood Park Kindergartens explored the local beaches, building cubbies, sand castles, playing games and collecting natural treasures over the year

We have seen a significant increase in the childrens social connection and language development over the past few months. They are becoming more confident in developing their own ideas, and sharing these with others.

Indigenous Language Program The Indigenous Language program has engaged over 1,500 children across Warrnambool, and Moyne, and 62 staff have been trained in the Indigenous language. Whilst funding for the project ceased in 2017 staff maintained the use of language throughout the program.

In 2018 funding for the program was reintroduced by the State Government, and the service was successful in its funding application for all Kinder services. In addition, inclusion of non-Indigenous students in language studies has delivered greater appreciation of Aboriginal culture and history, which has led to positive interactions between Aboriginal and non-Aboriginal students/people. Creating culturally safe environments in the Kinder space is an important outcome of the project.

Health & Wellbeing

Stephanie Alexander Kitchen Gardens

The Stephanie Alexander Kitchen Garden Program aims to provide positive food experiences for children by teaching them how to grow, harvest, prepare and share fresh, seasonal food.

Since its introduction 13 kitchen gardens have now been established across all Council's Early Years services. The outcomes of the program have seen children learn to plant, care for, grow their own food, and prepare meals from their own gardens. Children who may never have had the opportunity to grow food now have the skill and understanding. The program also teaches children about being healthy. A number of children have also taken their learnings home which has encouraged many families to start their own vegie gardens.

Early Years Intervention and Support Unit

Parenting and Children's Intervention & Support Service (PACS)

The Parenting Assessment and Skill Development Service (PASDS) is a 12 week intensive in home / in venue parenting program that receives referrals from the Department of Health and Human Services (DHHS) Child Protection Service. The program involves identifying the levels of parenting capacity of parents/ caregivers of vulnerable children aged 0-2 years who are currently involved with Child Protection. This includes the provision of intensive skills development to assist the family to enhance their knowledge and capacity to care for and nurture their children. At the conclusion of the program a parenting capacity report is provided to the DHHS and plays an essential role in informing decision makers about the care of a child and to ensure appropriate supports are provided to these vulnerable children and their families.

Parenting Advice and Education Service

Tuning into Kids

The Parenting Advice and Education Service provide parenting support and education programs to families of children aged 2-10 years of age. A new parenting program called Tuning into Kids was implemented this year. Tuning in to Kids™ is a parenting program that helps children learn to understand and regulate their emotions. It assists parents to build their skills to assist children build their emotional intelligence.

Integrated Family Services

Integrated Family Services (IFS) is an outreach service that provides case management for vulnerable families to support and strengthen the health, wellbeing and safety of children.

WCC is also responsible for the facilitation and governance arrangements for the South West Child and Family Services Alliance (SWC&FS).

Children's and Family Services Branch

Program	PASDS	IFS	Community playgroup/ simply singing, Community strengthening activities	PAES inc Tuning into Kids	Supported playgroup
Funding Targets	11 families referred to PASDS program with a target of 13 per financial year	38 out of 57	36	3 day groups were delivered	3 x playgroups per week.
Direct Face to face contact with clients	644 hours	1600 hours	60 hours of simply singing with 68 children at 4080 hours of service for the year. 80 hours of community playgroup 15 – 20 children per session at 600hrs of service for the year 80 Hours of young parents group 8-10 children per session at 400 hours of service for the year	258 hours of parenting courses offered approx. 17 families supported	200 hours of supported playgroup delivered over 3 separate sessions. 23 families serviced. 9 referrals to ESK 5 families with a total of 7 children referred back into MCH
Case work consult (client does not attend)	122 hours	250 hours	25 hours		
Case conference hours	35 hours	400 hours			
Location of Client	2 families in Portland 9 families in Warrnambool	Towns serviced: Port Fairy, W'bool, Mortlake, Bushfield, Woodford, Hamilton, Hawkesdale, Koroit, Woolsthorpe, Wallacedale, Merino, Casterton, Heywood	Children's service centre	Various locations W'bool area	Various locations in W'bool area
Total Hours of Travel not included in contact hours with client	213 hours	496 Hours			30 hours
Number of children	13	90	Combined total of 98 children attended community activities		Approx. 48 children
Staff/Contracts FTE	.6	.3	3	.9	.65

Children's and Family Services Branch

Family Services Team (FST)

The Family Services Team were successful in securing extra funding for the next 3 years to support children and families with a court order in relation to family reunification and family preservation. The total funding received was an additional $182,000.

The service provides vulnerable families with case managed support to strengthen the health, wellbeing and safety of their children.

The Family Services Team distributes food through Food Share to families in need, over the last 12 months 1,119 kgs were distributed this being 14.5% of Food Shares annual distribution.

Maternal and Child Health (MCH)

The MCH service is a universal service available for all families with children from birth to school age through a schedule of consultations at key ages and stages of a child's development, and other activities including parent groups. Through this schedule of contacts and activities, there is an emphasis on prevention, health promotion, early detection, and intervention where necessary.

The MCH Service is part of the broader service system that builds on the identification of individual, family and community need at a local level.

Program	Universal MCH	1St Parent groups	Additional consult
Birth notification	405		
MCH clinic visits and hours	3421key age stage visits = 2241 nurse hours	9 groups over 10 weeks 400 hours with 148 families attending the group	237
First time mums	148		
Referrals from MCH nurse for emotional support	28		
Referrals from MCH nurse for child related content i.e. visual, auditory etc.	258		
Staff/Contracts FTE	2.8		

Enhanced Maternal Child Health

Number of families receiving the service	95
Enhanced home visits to client	760
Total Service Hours	860
Hours of Travel Time	100

Enhanced Maternal Child Health is a more intensive in-home visit for families in need of additional support outside of the Universal Service the shows the number of families referred into the service and the amount of support needed

Special Projects/Highlights

WCC together with Gunditjmara developed a joint application for a pilot program for an Aboriginal Maternal and Child Health Initiative (AMCHI).The project was supported by the Department of Education (DET) and the funding has enabled WCC MCH and Gunditjmara to recruit an Aboriginal Health Worker to support Aboriginal mothers to engage with service at each MCH key age and stage visits.

The project includes a strong emphasis on MCH Nurses providing culturally safe services for Aboriginal families.

This concept has strengthened our current model of MCH outreach clinics to allow visits to occur at any location the family requests including our existing clinics, in home visits or ACCHO.

MCH Nurses received training from the Victorian Aboriginal Community Controlled Health Organisation for an informative cultural safety training session. MCH nurses and early year's practitioners valued the sharing of the sensitive and significant history of our Aboriginal peoples and communities.

Staff have used the learnings to ensure the services we provide to our children and families are culturally safe and respectful.

Training session with Victorian Aboriginal Community Controlled Health Organisation

A celebration of partnership between Gunditjmara Bec Clayton and Maternal Child Health nurses acknowledging the culturally safe service we are able to provide the Koori children and families of Warrnambool.

Children's and Family Services Branch

Baby Makes 3

Baby Makes 3 program was piloted at selected Maternal and Child Health sites 3 years ago; Warrnambool City Council was one of the selected pilot sites. Once again we have been selected to roll the program out over the next 9 months in partnership with Carrington Health. The program is being delivered in Warrnambool and aims to target 10 groups through the 9 month period. WCC will be part of the evaluation of the program with an aim of securing funds from the State Government for a more permanent commitment to funding the program across the State, as a preventive measure to reduce domestic violence.

The Baby Makes 3 program helps couples maintain healthy relationships after the birth of a baby. Its aim is to promote equal and respectful relationships between men and women during the transition to parenthood.

Baby Makes 3 gives mums and dads the opportunity to share their experiences and hear from others who are going through the same journey. For many Dads this is their first occasion to meet with other first time parents.
432 hours of Baby Makes 3 was delivered in the reporting period

Quality Improvement

Quarterly reporting to DET and Service improvement plan completed for DET.
The service has received additional recurrent funding of $84,000 from the State Government's Early Childhood Reform Program to expand and deliver Supported Playgroups to provide more support for parents, particularly those experiencing vulnerability and disadvantage

Domestic Violence Funding

MCH nurses will be provided with professional development and support so they can confidently discuss family violence with parents, assess risk, and respond in a timely and meaningful way, with the support of extra funding from the Department of Education.
Additional consultations will allow discussions to take place at a time and place that suits the mother and her kids

Maternal Child Health Enhanced

More new mums and dads will be able to access dedicated support to help them get through their first years of being a parent thanks to a funding boost to Enhanced Maternal and Child Health (MCH) Program announced in August 2018.

Enhanced MCH is a targeted service for families who need some additional help and may be at risk of poor outcomes due to factors like premature or low birth weight babies, children with a disability, parental mental health issues or family violence.

Previously, families who need an extra helping hand are provided free access to Enhanced MCH support until their child turns one. Now with the additional funding our MCH nurses can expand the program which means mums and dads will be supported for a further two years, or until their child turns three. All families can also access the free 24-hour MCH Line phone service on 13 22 99, which is available for those with children aged from birth to school age.

Community Services Customer Services and Administration

Tasks	Jan – Dec 2018
New Birth Notices	222
MCH - No shows	129
MCH - New KAS Appointments	393
MCH - Rescheduled Appointments	557
MCH - SMS reminders	1889
First Parent Groups Invitations	96
Parenting Program Invitations	193
Incident Reports – Kinders	432
Enquiries	2579

Children's and Family Services Branch

- All tasks within the MCH sector have increased from the previous year, with the most notable being New (+75%) & Rescheduled (+29%) appointments and SMS reminders (+52%).
- Continual Update to MCH at monthly meetings on CDIS improvements, during the first 6 months of the period. Implementation of automated SMS reminders.
- Enquiries have increased significantly (approx. 21%) over the previous quarter, mainly due to the Childcare Subsidy changes introduced by the Federal Government during this reporting period, and the implementation of the new KidsXap software & Kinder applications.

Centre Based Childcare Centres

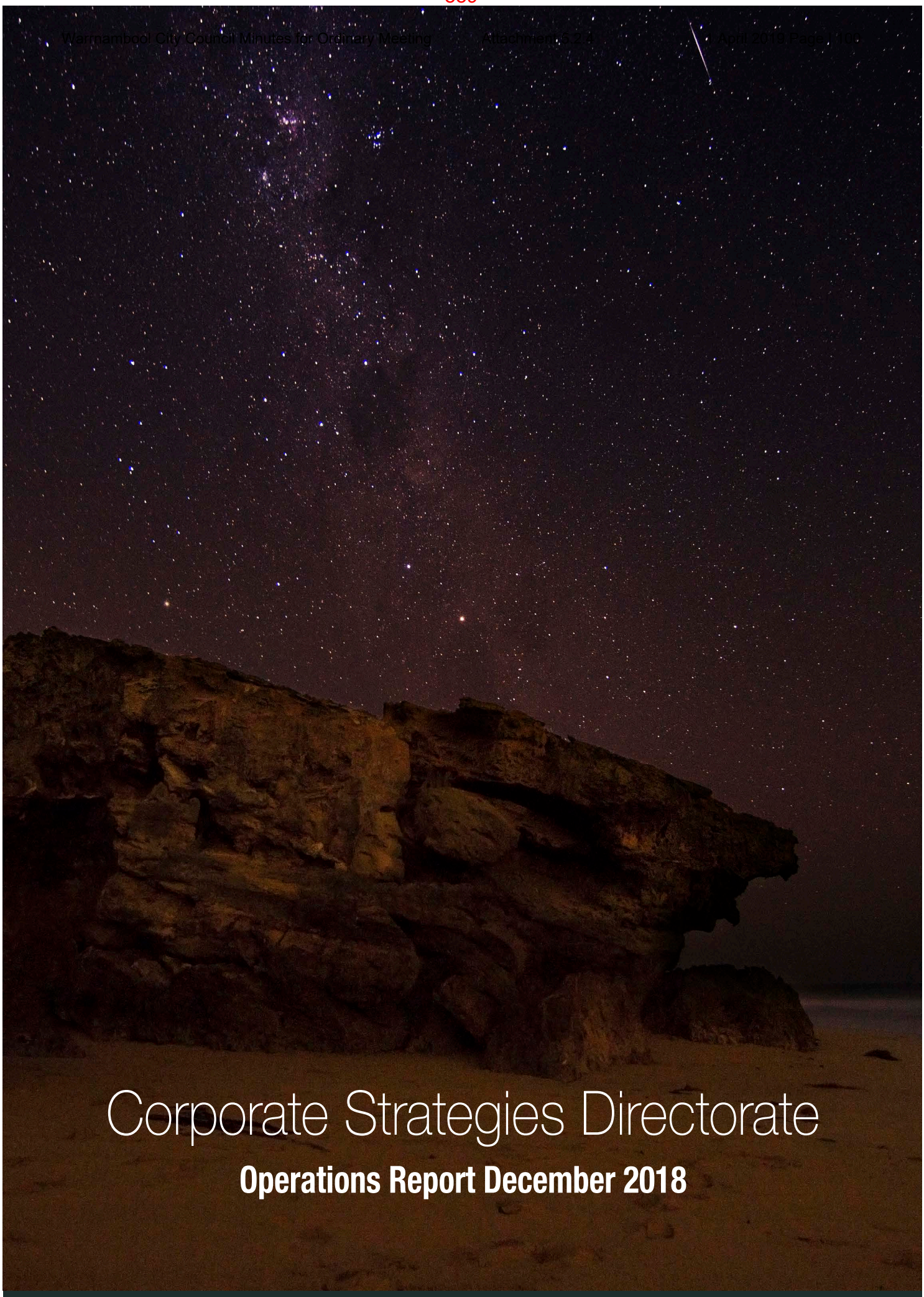
	Jan-Dec 2018
Enquiries – Florence Collins	2550
BPAY Payments	1669
Incident Reports – CBCC	390

- Enquiries & BPAY payments have increased by approx 30% per category from the previous quarter, due to the changeover to KidsXap and the issues in terms of accounts for customers with introduction of the new CSS. Re-enrolment forms for 2019 have also created extra enquiries. There will be efficiencies over the next 12 months as the new program becomes established.

Family Day Care

	Jan-Dec 2018
New Enrolments	14
Timesheets Entries	1899
Changes / Updates	352
FDC Enquiries	93

- The implementation of Digital Sign In / Out increased workloads and required increased hours to deliver the changes but should see efficiencies over the next 12 months.



Corporate Strategies Directorate

Operations Report December 2018

THE DIRECTORATE

The Corporate Strategies Directorate is a largely internal service provider to all parts of the organisation.

The directorate comprises Finance, Organisation Development, Rate and Property Services, Information Services, Communications and the South-West Victorian Livestock Exchange.

Organisation Development

The Organisational Development Branch provides the following services:

- **Human Resources**
- **Learning and Organisation Development**
- **Occupational Health and Safety**
- **Business Systems improvement**

The provision of organisation development services incorporates a large range of activity inclusive of industrial relations, workforce planning, recruitment, training and development, performance management, safety systems, worker compensation, and staff wellbeing.

In February 2018 the Business Systems Improvement Unit was established with the purpose of identifying and implementing systems improvement initiatives that enhance organisational capability and efficiency.

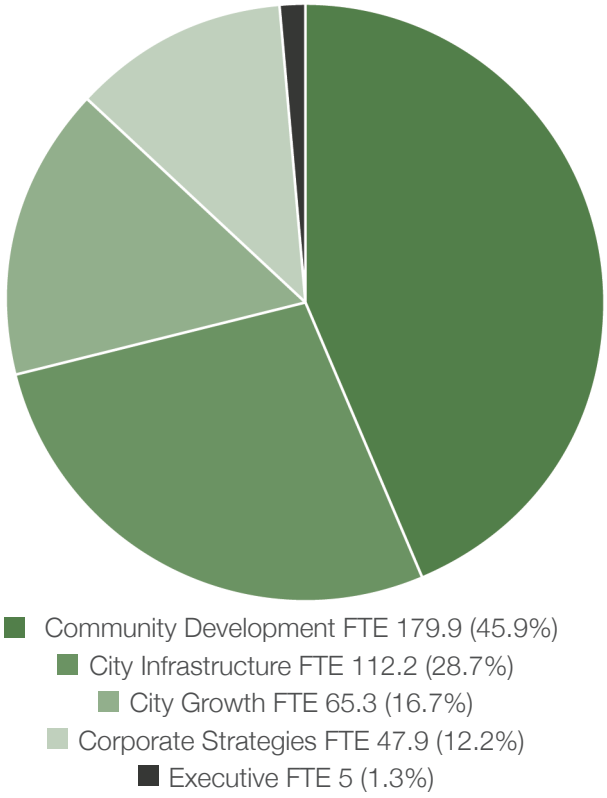
These services underpin the organisation and allow it to function effectively and meet necessary legislative requirements.

Human Resources

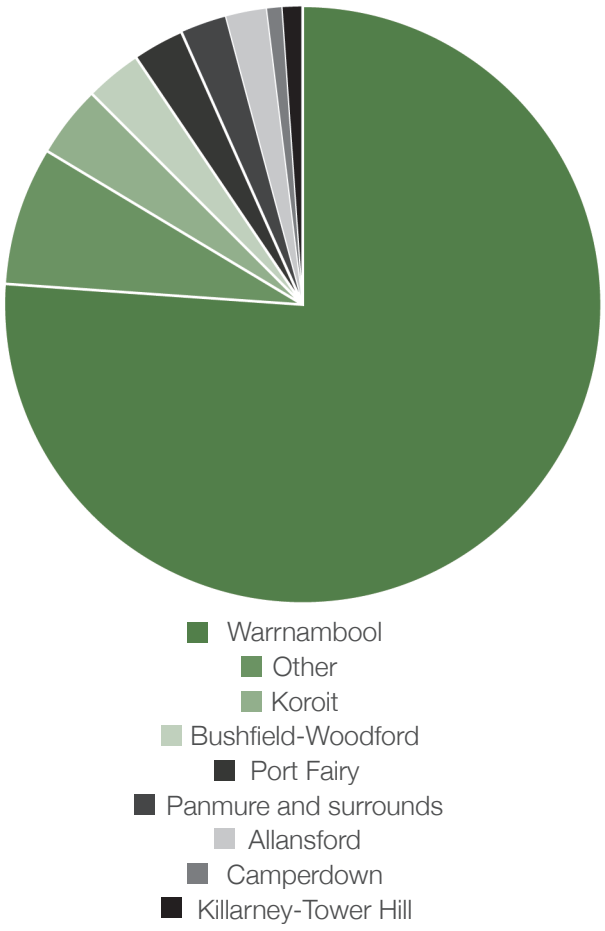
Council remains one of the city's major employers. As of December 31 2018, the actual number of Council employees was 755, with the full-time equivalent staff at 411.

Between July and December 2018 the Human Resources Unit facilitated the recruitment and induction of 69 new staff members, processed 893 job applications, and finalised 119 employment variations.

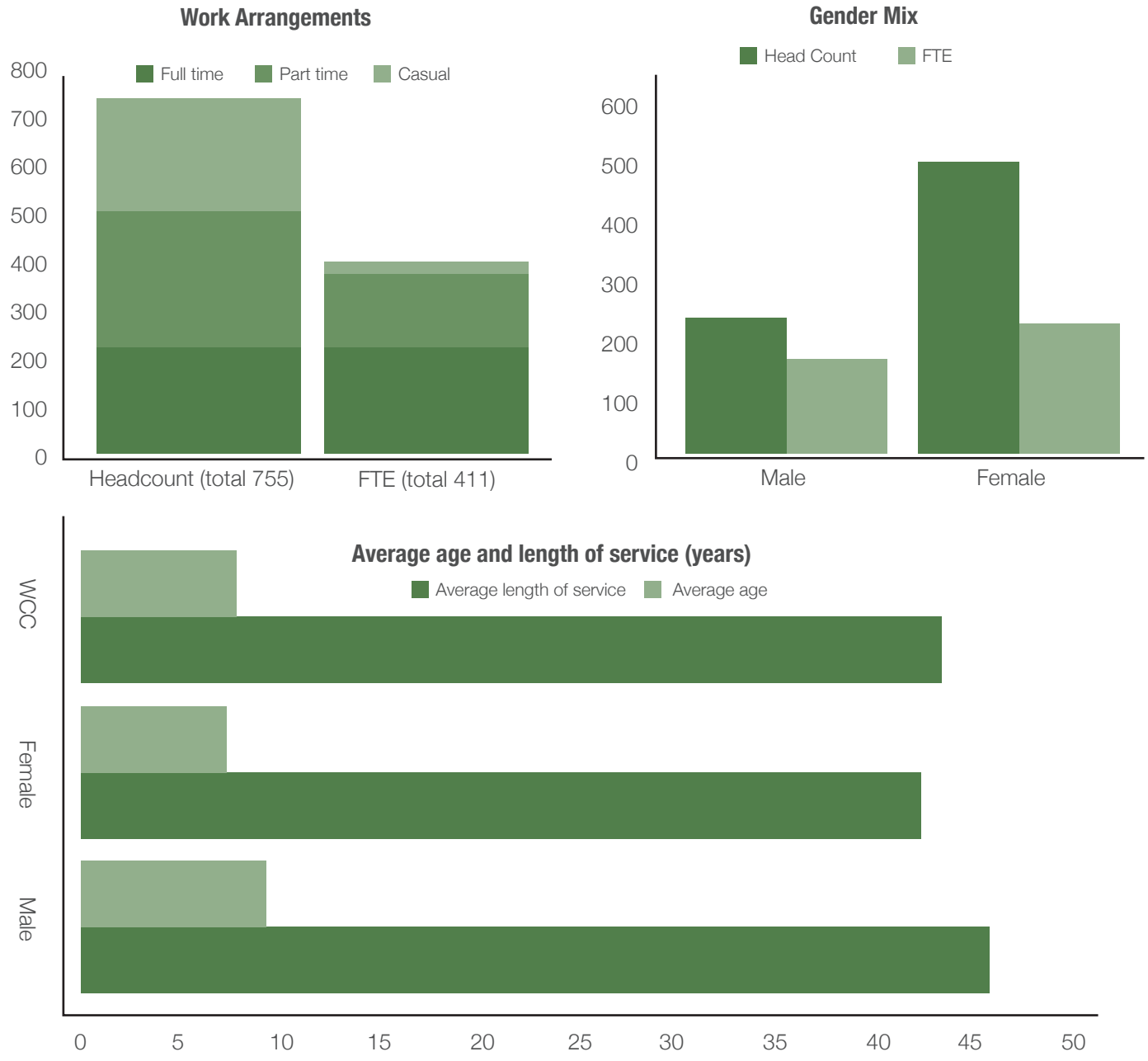
Where we work - by directorate
(Total FTE = 391.6)



Where we are from



Organisation Development



Learning and development

Council hosted 43 work experience students across a range of operations including childcare centres, kindergartens, AquaZone, Local Laws, IT, Flagstaff Hill, Lighthouse Theatre and engineering

A further 34 individuals were provided work placements as part of their vocational or tertiary study requirements in the areas of Childcare, Kindergartens & Parenting & Children's Services.

This year Council has seven trainees in the Traineeship Program employed in City Growth, Finance, OD/Risk, AquaZone, Parks and Gardens, Visitor Economy and Holiday Parks.

Council provides corporate training including:

- Leadership Great South Coast – one participant
- Child Safe Standards – Mandatory training for all staff was rolled out across various locations, including Kindergartens and Childcare, Civic Centre & Archie Graham staff, Recreation and Youth, Lighthouse Theatre, Warrnambool Art Gallery, ARC, AquaZone, School Crossing Supervisors/Local Laws, Depot, Community Care Workers and Holiday Parks
- Local Government Listen, Learn & Lead Gender Equity Program – 30 female staff attended with the aim of developing an insight into overcoming gender equity barriers including the development or enhancement of gender equity actions and identifying opportunities for sector-wide actions where combining efforts will lead to a greater impact.

Organisation Development

Induction Program

- 128 new staff participated in Council's Corporate Induction program.

A cost-saving initiative has included a shared services approach to the delivery of training across the Warrnambool, Moyne, Glenelg and Southern Grampians municipalities.

This led to the development of an online training portal www.counciltraining.com.au which went live in March 2018. Warrnambool City Council drove this initiative which aims to generate greater value from council learning and development budgets by sharing access to planned training programs. Training accessible through the website includes First Aid, leadership and inductions to Local Government.

The Business Improvement Unit has worked on a number of initiatives including:

- Implementation of the Pulse Corporate Performance Management and Reporting system;
- Process automation including Smart Forms, Building and Infrastructure Permits and Project Management Framework;
- Implementation of Kindergarten enrolment and Childcare Management solutions; and
- improved Staff rostering systems.

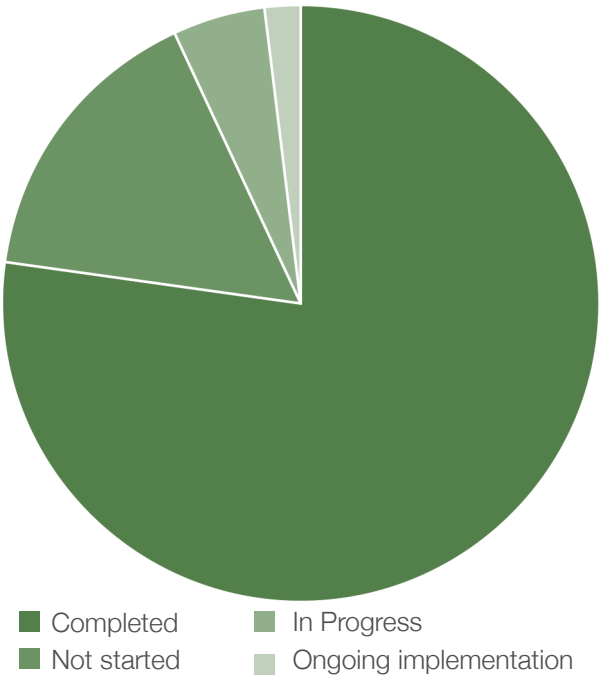
MAV Progress

Transition to the MAV workers' compensation self-insurance scheme continues to progress.

The three year process is broken into eight procedure development and implementation groups with four in each of the first and second year. The third year is dedicated to refining the previous two years policy and procedure implementation.

Each procedure group contains a series of require "actions" which are used to map the submission process. The graph below displays WCC progress (Note. the green area reflects group one):

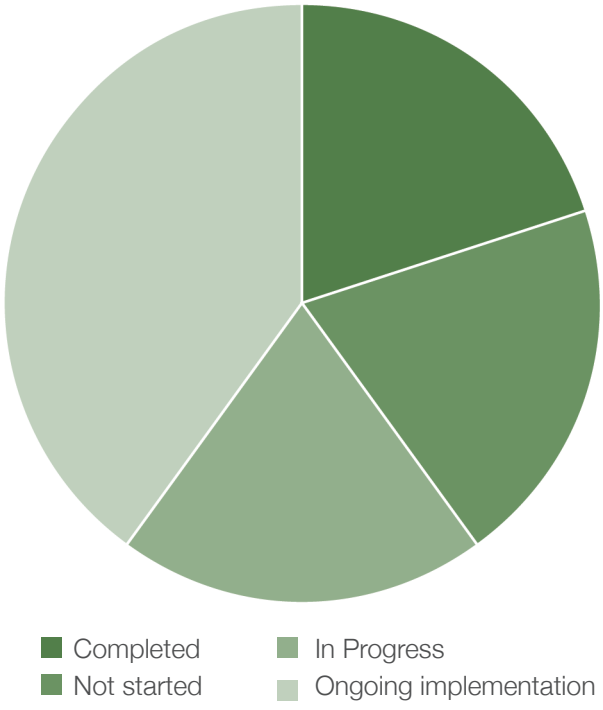
Action Status



WCC has successfully submitted the all of the required group one documentation and has had it deemed conformant by the July deadline stipulated by MAV's agent JLT. The focus is now on developing and implementing group two policies and procedure by the September deadline. Group two's requirements include:

- OHS Contractor Management Procedure
- OHS Planning Procedure
- OHS Risk & Change Management Procedure
- OHS Training Procedure

WorkCover Standard Claims



Revenue, Property and Customer Service

Revenue Services is responsible for the collection of Council revenue, particularly rates and charges including the Fire Services Levy.

- 17,361 rateable assessments.
- 473 non-rateable assessments.
- Issues 70,136 rate and instalment notices.
- Collects $38m million rate and charge income.
- 98.6% rate collection.

The City Assist Unit plays an integral role in the dissemination of information on behalf of all Council departments and branches. Working on the 'One Stop Shop Principle', the team aims to have most queries satisfied at this first contact.

Property Management is responsible for property valuations and maintaining a strategically focussed property management system. Leasing and licensing of all tenancies of Council – currently 135 – are administered.

Council continues to encourage customers to pay accounts electronically rather than over the counter.

While Council still provides an over the counter service for customers who prefer to manage their accounts face-to-face, a range of options are provided in order for people to pay Council bills, including BPay, Australia Post, direct debit and via Council's website.

These payment methods recognise that more people prefer to manage bills electronically and at a time of their choosing. These options also provide a cost-saving to Council. The move away from over-the-counter payments continues to grow (26,093 in 2015-2016, 20,888 in 2016-2017 down to 17,288 in 2017-2018) has saved considerable staff time in accepting and processing payments.

The promotion of receiving rate notices electronically achieves a more environmentally friendly delivery method and savings on postage for Council.

Payment Method

Activity	Oct 18	Nov 18	Dec 18	2018/19 Total YTD	2017/18 Total
Commonwealth Bank BPay	5,770	9,531	4,361	36,490	65,133
Australia Post	1,531	3,519	1,024	11,629	23,431
Internet	365	300	294	1876	2,512
Counter	1,603	1,963	1,123	10,795	17,288
Direct Debit	14	21	6	1,062	983

eNotice Registration

Notice Type (No Registered)	Oct 18	Nov 18	Dec 18	2018/19 Total YTD	2017/18 Total
eNotice (Electronic)	87	92	32	3141	2,591

Revenue, Property and Customer Service

City Assist

The City Assist Unit is Council's customer service team and operates at the Civic Centre front counter.

As Council's "one-stop-shop", City Assist aims to maximise service delivery at one location. The following tables reflect the variety of customer contacts to City Assist, along with the team's performance and responsiveness.

Popular topics included:

October 2018
1st Instalment Rate Reminders
Kindergarten enquiries regarding first & second round offers and information
Disabled Parking permit applications
Parking meter enquiries
Maternal Health Enquiries

November 2018
Kinder enquiries about information packs & enrolments & Kids App
Rates 2nd Qtr instalment
Parking meter inquiries
Maternal Health Enquiries
Health Unit letters Re: incorrect payment due dates

December 2018
Kindergarten enquiries including Kids App
Rate Reminders for 2nd Instalment
ARL enquiries/Enotice enquiries
Parking meter enquiries
Tourist Park Overflow calls
Waste Collection over Christmas

Total Customer Contact Summary

	July-Dec 2018	July-Dec 2017	Oct-Dec 2018	Oct-Dec 2017
Total customer contacts for City Assist Unit	40,058	47,326	19,354	23,196
Enquiries resolved at the first point of contact %	75%	64%	74%	63%

Telephone Contact Summary

	July-Dec 2018	July-Dec 2017	Oct-Dec 2018	Oct-Dec 2017
Total telephone calls answered in City Assist Unit	21,324	26,498	10,494	13,338
Average phone calls answered per day	172	205	175	222
Average waiting time before speaking to a customer service officer (Seconds)	39 sec	25 sec	46 sec	26 sec
Percentage of calls answered within 20 seconds	55%	62%	51%	60%
Percentage Calls resolved at the first point of contact	62%	46%	62%	45%

Face to Face Contact Summary

	July-Dec 2018	July-Dec 2017	Oct-Dec 2018	Oct-Dec 2017
Total in-person contacts in City Assist Unit	18,165	20,391	8,578	9,636
Payments made at front counter	7,537	8,805	3,789	4,291
Percentage Enquiries resolved at the first point of contact	93%	93%	93%	94%

Revenue, Property and Customer Service

Website

Customers continue to visit Council's website to gather information on Council services. Requests to Council for information and/or services can also be made online.

Web Site Contacts – Summary

	July-Dec 2018	July-Dec 2017	Oct-Dec 2018	Oct-Dec 2017
Customer Requests submitted online	97	89	55	51
Total Visits to the Website	161,971	119,574	89,286	67,793
Repeat Visitors	71,488	52,142	39,749	29,994
New Visitors	90,483	67,477	49,537	37,844
Live Support	209	96	116	62

Customer Request Management System

The customer request system records, tracks and monitors requests from both internal and external customers.

Customer Requests - Summary

	July-Dec 2018	July-Dec 2017	Oct-Dec 2018	Oct-Dec 2017
Total Customer Requests logged	7,237	8,860	3,398	5,133
Most requested subject (excluding phone messages) for external customers	Home Support	Parking	Home Support	Parking

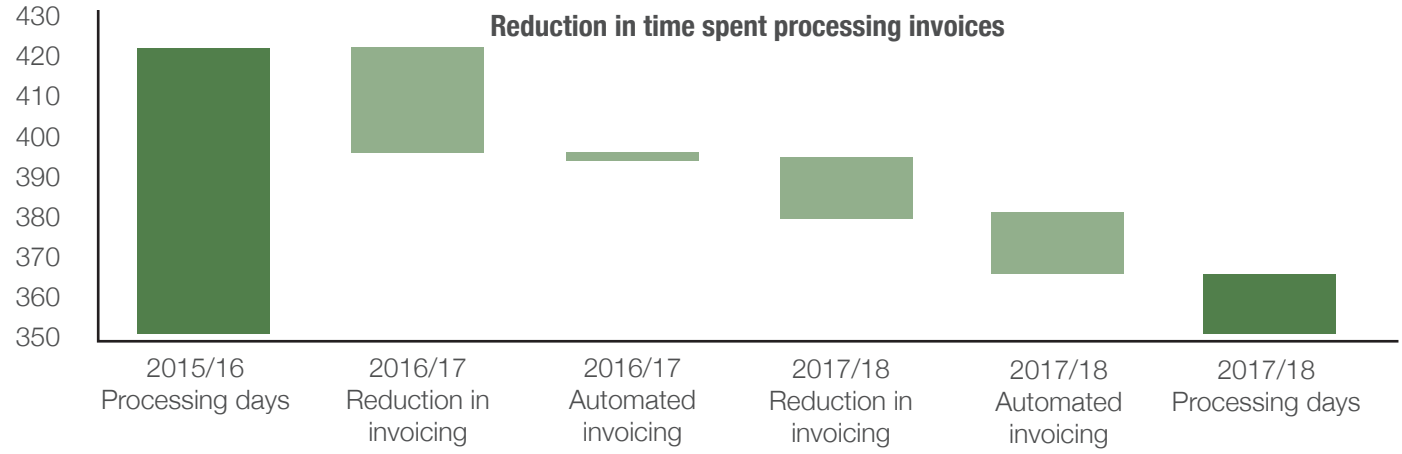
FINANCE

The Finance Branch prepares annual budgets, monthly financial reports, the four-year Strategic Resource Plan and long-term financial planning.

The branch also processes invoices, manages investments, ensures compliance with the rate cap and prepares the annual submission to the Grants Commission.

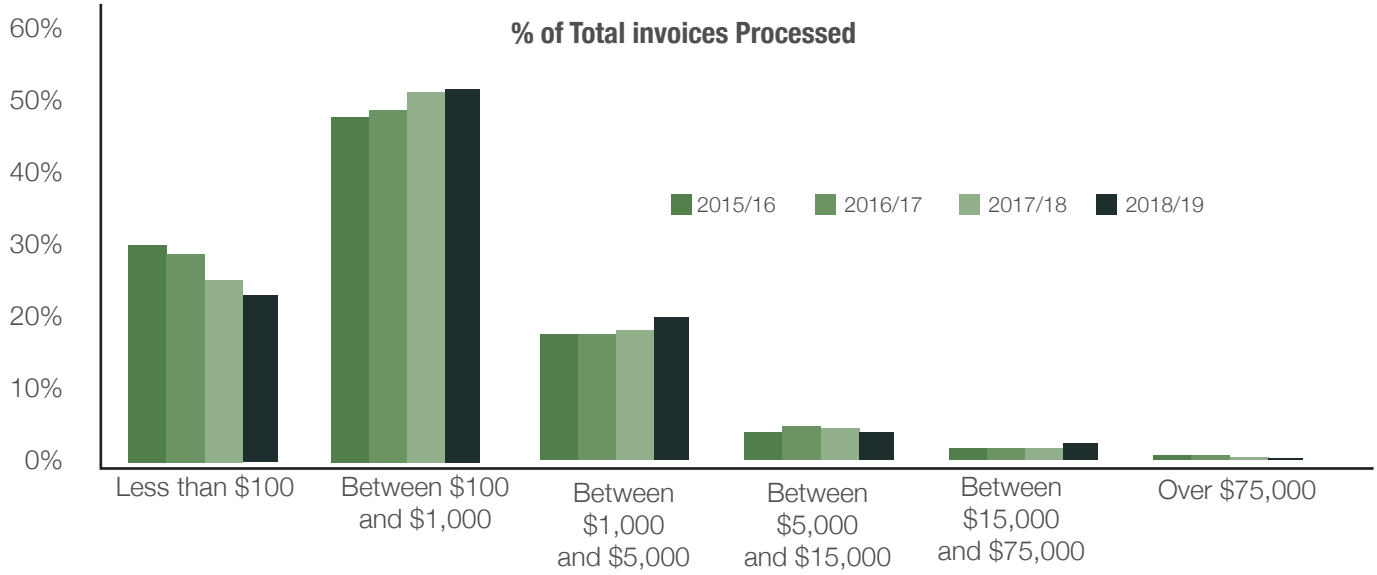
	Actuals Jul-Dec 2018	Actuals 2017/18	Actuals 2016/17	Actuals 2015/16
Total payments	$29.348m	$62.468m	$54.727m	$55.241m
Total number of invoices	9,104	19,051	19,796	21,101
Total number of purchase card transactions	2,969	6,199	4,562	2,853
% usage of purchase card transactions	25%	25%	19%	12%
No. of automated invoices	736	709	75	0
No. of active suppliers	2,716	2,438	3,664	4,227
No. of suppliers paid	1,290	1,745	1,782	1,874
No. of suppliers used only once	554	678	669	663
No. of invoices below $100	2,083	4,775	5,560	5,755
No. of suppliers for top 20 per cent of expenditure	2	3	5	7

The chart below indicates the days spent collectively by finance staff processing invoices.
The efficiencies have been achieved largely through the increased use of purchasing cards for transactions.



FINANCE

The chart below shows the decrease in the number of invoices processed for transactions of less than $100 in value. Staff have moved towards using more efficient purchase cards for these transactions.



Payroll	Actuals Jul-Dec 2018	Actuals 2017/18	Actuals 2016/17	Actuals 2015/16
Number of Employees Paid during the Financial Year	692	775	798	768
Value of Employee Payroll Transactions	$14.850m	$28.558m	$29.533m	$27.225m

INFORMATION SERVICES BRANCH

The Information Services Branch comprises the Information Management Unit, which ensures Council records are captured and managed to record Council business, comply with legislative and regulatory obligations, aid efficiency and are disposed of according to the Public Records Office of Victoria disposal schedule; and the Information Technology Unit, which provides IT tools to enable Council staff to have access to the information they require to efficiently perform their functions, enable the community to access information and services via the Internet and secure Council's information assets from accidental or malicious access, modification or destruction.

IT Infrastructure

Sites on corporate network	**28**
Desk phones	**393**
Standard (non-smart) phones	**30**
Windows tablets	**15**
iPads	**178**
iPhones	**181**
Android smartphones	**15**
PCs and laptops	**383**
Virtual servers	**74**
Physical servers	**13**

Public Wi-Fi is being extended to more of Council's facilities; Lighthouse Theatre, Art Gallery, Aquazone, Flagstaff Hill and the Holiday Parks. Orders have been placed to cover the Childcare Centres.

Council does more and more business via the internet. The internet connection has recently been updated to a 200/200mb unlimited data connection.

Protection of Council IT assets from cyber-attack is kept up to date;

- All servers, PCs and laptops must have Windows operating system patches applied in a timely manner – at least quarterly
- All firewall, switch and storage devices must have firmware patches applied in a timely manner – at least quarterly
- Disaster recovery fail over procedures are exercised as a part of the update process
- Firewall was recently replaced with new generation technology

During 2018 a Cyber Security Audit was conducted. 4 high, 10 medium and 6 low severity issues were identified. Most issues were addressed immediately. 2 high priority issues are not yet closed off, but are scheduled;

1. Replacement of Windows 2003 server. This server runs the Lighthouse Theatre ticketing system. Contracts have been signed to move the application to the latest cloud version. This will enable the decommissioning of the Windows 2003 server and provide a better outcome for Lighthouse Theatre staff and patrons alike.
2. Phishing Campaign targeting WCC staff resulting in 30% succumbing. Cyber security awareness training is being conducted using WCC's existing online training package.

The Office of the Victorian Information Commissioner has advised that local governments which act as committee of management for state government assets are now required to comply with the Victorian Protective Data Security Framework (this will apply to WCC). This will be a substantial piece of work over the next 2 years.

Council relies heavily on microwave radio links to connect to "remote' sites. The main microwave link is from the Civic Centre to the Liebig Street Water Tower. Because this link is vital, it is duplicated from the Archie Graham Community Centre to the Liebig Street Water Tower. This duplicate link was recently upgraded.

Network Monitoring has recently been upgraded. Council has in the past always used Apple iPhones and iPads for mobile work. This has been advantageous from a fleet management point of view. More recently it has been necessary to introduce Android devices to support specialised applications in Local Laws and Home And Community Care. Council uses the MobileIron tool to manage mobile devices. This tool has had to be reconfigured for the Android devices.

Council IT staff were involved in the procurement and installation of a new laser projector for the main Flagstaff Hill sound and light show.

IT have been working closely with Flagstaff Hill and the Holiday Parks to ensure patrons experience is the best

it can be. A program of routine checks and preventative maintenance along with a reporting mechanism has been implemented.

Council, like the rest of the community is swept up in the roll out of the NBN. Council has approximately 70 affected telephone services. Each service will be reviewed;

- Is it still required
- Should it be migrated to NBN
- Should it be brought onto the Council network, saving line rental each month and providing greater Disaster Recovery flexibility. Childcare Centres and Kindergartens have recently been brought onto the Council network.
- As at January 2019, this piece of work is complete.

Council routinely rolls over PCs and laptops to keep the hardware current. Council is now rolling out new equipment with Windows 10 and Office 2016. A small number of Dell 2-in-one laptop/table devices are being trialled.

Council IT Staff recently completed comprehensive documentation of Data Centre Disaster Recovery procedures.

Improvements to CCTV across Council are in progress. Aquazone was done recently. Repairs and small scale upgrades were conducted at the Holiday Parks during summer. A complete overhaul will occur at the Holiday Parks after summer.

Software applications

Council IT staff have worked with the Business Improvement Team and the Finance team to develop an automated file transfer system with the Commonwealth Bank for such things as Pays, Debtor Payments, Credit Card Statements etc

This automated facility improves efficiency as well as security and auditability. The facility will be extended to electronic transfer with other external parties.

Council IT staff have developed a web based application for use by Flagstaff Hill Staff to manage assets, recording relevant information about assets where it is easily located as well as tracking issues and defects and sending notifications to management.

Council IT Staff have worked with the Assets Team, field worker and mechanics to developed a web base application (Trassetto) which reads data from Council's corporate asset system Conquest and allows;

1. Field workers to track asset defects, fix and then update data in conquest in real time.
2. Field workers to track tree maintenance job defects, fix and then update data in conquest in real time.
3. Mechanics to service fleet and plant and log results in conquest in real time. Service failure create new actions in conquest

The new pay-by-plate parking system has been integrated into Council's corporate systems for infringement processing and processing into the finance system.

The Harmony software application used to run the Childcare Centres has recently been decommissioned and replaced by KidsXap, providing enhanced facilities to staff and guardians with online and mobile options for applications, bookings, communication and payments. Tablet devices have been mounted for use checking children in and out of the centres.

A software product called Doc Assembler has been installed to streamline the generation of meeting agendas (including reports) and minutes. This product is built around Word online, which is part of the Office 365 suite. This has been Council's first foray into Microsoft Office 365, Microsoft Azure and Active Directory/Azure integration.
Training has been arranged for mid-February to ensure we derive maximum benefit from this investment.

The Lighthouse Theatre currently uses an on premise system called Provenue to sell tickets, both over the counter and online. This system requires a Windows 2003 server to function. This server is a security risk (highlighted as a high risk item in the Cyber Security audit). In addition the features for staff and online customers are now below expectations. Contracts have been signed to upgrade to the hosted (online) version of the same product which will occur late February, resolving all existing security, usability and functional issues.

A project is underway to expand our Tech1 e-services offering to include various infrastructure permits and to refresh the processes around Building permits, moving them online as well.
The Australian Tax Office has mandated that all large employers (which includes WCC) must forward payroll data to the ATO after every pay run. This process is called Single Touch Payroll (STP). Council has engaged Tech1 to assist with this piece of work which must be completed by end April 2019.

Council has signed a contract with Whispir, a multi-channel communications and messaging platform. *"Whispir is the cloud-based communication platform that you've been searching for. Using cutting edge technology, Whispir brings all your text and voice messaging, email, social media exchanges and more together in one place that you can access across devices. It helps businesses connect*

INFORMATION SERVICES BRANCH

with clients and staff in new and engaging ways that encourage openness, innovation and feedback."
Council continues to work towards securing funding to implement shared Tech1 infrastructure across Warrnambool City Council, Moyne and Corangamite Shires with a view to being extended across all corporate services if deemed successful.

Information Professionals were engaged to help develop a business case during January to May 2018 for presentation to the participating Councils. An investment of $3.5million was anticipated over 2 years with an ROI of 19%. This business case was accepted by all the participating Councils and was subsequently submitted to Local Government Victoria for consideration for funding under a Rural Council Transformation Program. This has passed the initial selection stage and is being funded for a more developed business case in the LGV prescribed format.

The outcome of this process should be known by end may 2019.

Regional Councils in Victoria face a number of challenges:
- There is considerable financial pressure on expenditures, with rate capping and a reduced grant environment impacting Council balance sheets
- The scope, cost and complexity of IT systems is growing within Councils, driven by issues such as community expectations for online services, regulatory complexity, a digitisation agenda, and cyber security
- Access to skills is limited through a combination of small teams and distance from capital cities
- There is political pressure to collaborate, leveraging a viewpoint that there is waste and inefficiency through unnecessary duplication and repetition both within and between Councils

A change in structure and approach allows Councils to deliver in a number of areas:
- Improved community engagement and customer experience through flexible on-line and mobile services
- Improved staff engagement with better aligned and streamlined business processes
- Reduced costs for executing back-end processes through economies of scale and eliminating duplication
- Improved agility, allowing Councils to change their operations in responses to changes in legislation or policy
- Better cyber security through a highly sophisticated "cloud" model.
- Web browsing at Council offices is managed and monitored by the Zscaler tool;
- During the month of December 2018 there were a total of 28.8 million internet transactions
- Zscaler blocked 140,325 as being potentially harmful activities
- Advanced threats blocked included:
  - 38 instances of spyware
  - 66 cross-site scripting (Cross-site scripting (XSS) is a type of computer security vulnerability typically found in web applications. XSS enables attackers to inject client-side scripts into web pages viewed by other users. A cross-site scripting vulnerability may be used by attackers to bypass access controls)
  - 208 viruses
  - 17 instances of phishing (techniques to divulge private or secure information)

The Zscaler tool also blocks:
- Time-wasting sites – not related to work
- Resource-wasting sites – video, games, etc
- Gambling and pornographic sites

Emails

Council staff have a combined total of 670 email addresses.

In the 90 days to 29 January 2019 there were:
- 953,500 emails received
- 703,700 stopped by reputation
- 21,000 spam emails detected
- 206,300 emails were sent
- 52 virus were detected

RECORDS

Council staff use the Tech One Electronic Content Management (ECM) system for the storage of documents.

As at 29 January 2019 there are 3,496,500 documents in ECM. 143,448 of those are connected content, ie. Added by Tech One applications, not directly by users.

The Records Team has commenced a project to manage the lifecycle of "Controlled" documents. These are documents like policies, procedures, forms, templates, etc.

WCC participates in the MAV ECM Step program. The program is designed to improve the maturity of records management in participating organisations. WCC has improved in some areas, but areas for future effort have been identified. A report is being prepared for MEG.

3000 boxes of archived paper records are stored at our off-site facility at the Scott Street depot. Previously rented storage was used at a cost of $16,000/yr.

The Communications Branch

The Communications Branch exists to help inform the community about Council activities and initiatives, to provide internal communication support, help Council's advocacy efforts and assist in the delivery of key planning documents including the Council Plan and Annual Report.

Websites

The Communications Branch continues to maintain more than 15 websites including the main Council website and sites for AquaZone, the CBD renewal, community engagement, Connect Warrnambool, Fun4Kids, the WAG, Lighthouse Theatre, Surfside Holiday Park and Your Say Warrnambool.

Council websites use the Drupal content management system. Plans are under way to migrate websites to the next generation of Drupal.

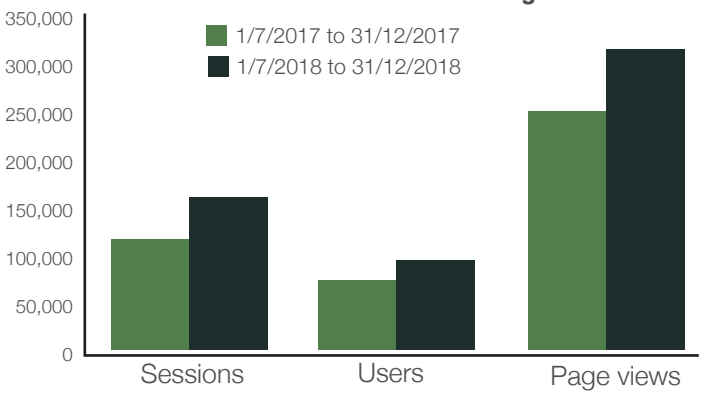
The main Council website, warrnambool.vic.gov.au, continues to attract the greatest number of users and sessions. The Local Government Act requires that Council has a website on which important Council information is posted along with key documents such as plans, policies and Council meeting agendas.

This website has now recorded more than one million unique users since analytics commenced in 2009.

The largest number of daily views in 2018 (3,746) took place on December 31 with most viewers viewing an article on the New Year's Eve fireworks display.

Aside from the home page the most popular pages over the second half of last year included those on whale watching, employment, calendar/what's on, contacts, Lake Pertobe playground, the sprint car classic and payments.

Traffic on www.warrnambool.vic.gov.au



Just over half of visitors to www.warrnambool.vic.gov.au are using mobile phones, just under 40 per cent are using desktop computers and about 10 per cent are using tablets.

Print

The Council newsletter, Promenade, continues to provide a more traditional means of communication and is distributed as an insert into a Saturday edition of The Standard at beginning of the month.

Along with information on Council projects and activities the community calendar has been used to promote events for community groups, organisations and schools including Warrnambool Community Garden, Warrnambool Toy Library, Warrnambool CoastCare LandCare, Premier Speedway and the Warrnambool Yacht Club.

Media

In the second half of 2018 Council media releases were issued covering a range of Council-related topics and functions including: the Great South Coast Business Festival, Reid Oval upgrade, Victorian BMX Championships, Merrivale Recreation Reserve upgrades, road resealing program, bulk buy solar program, Jurassic Creatures and 16 Days of Activism.

The Communications Unit also issues an eNews email to interested residents which includes information on major Council projects along with decisions from Council meetings.

Council receives regular media inquiries from The Standard, Ace Radio, ABC Radio, WIN TV and Channel 9 Western Victoria.

Local ABC Radio and Ace Radio also provide regular broadcast opportunities for the Mayor to answer questions and discuss Council projects.

Graphic design

Council's in-house graphic designer continued to produce work for a range of Council's branches.

Examples of work are on the following page

The Communications Branch

WARRNAMBOOL CITY COUNCIL

City Amenity | **Local Laws**

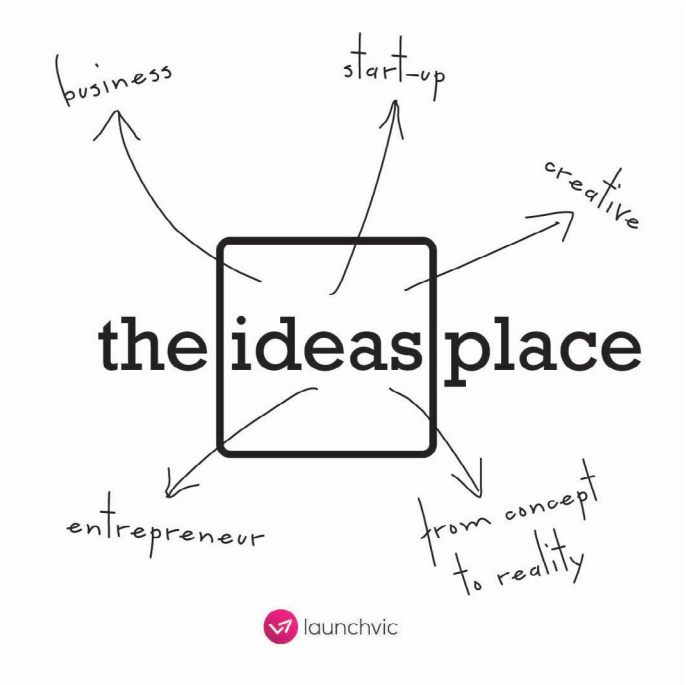
Dogs are great, in the right place.

To keep eveyone safe and happy,
Lake Pertobe is a dog-free zone.

WARRNAMBOOL
A Cosmopolitan City by the Sea

www.warrnambool.vic.gov.au

www.IAMWARRNAMBOOL.com.au



Warrnambool City Council

Kindergarten Parent Handbook

www.warrnambool.vic.gov.au | Connect to Council

A VERY
LIEBIG
CHRISTMAS
whalershotel
Warrnambool

Watch this nature play Space!
PICK MY PROJECT
VICTORIA
State Government
WARRNAMBOOL
WBG

GOOD HABITS LAST A LIFETIME
Help set your child up for the best life they can have.
Don't miss school. Make every day count

BELL SHAKESPEARE
MUCH ADO ABOUT NOTHING
TUESDAY 30 JULY 2019, 7.30PM
Lighthouse Theatre - Duration: 2 hours 30 minutes (including interval)
TO BOOK PLEASE CALL 5559 4999 OR VISIT
WWW.LIGHTHOUSETHEATRE.COM.AU

AFL Authorised GF Promotion: GFAFL18/107
FOOTY FEVER
COMES TO
WARRNAMBOOL
FRIDAY 21 SEPTEMBER, 2:30 - 5PM
WARRNAMBOOL
CIVIC GREEN
Kick start the school holidays
Giant AFL inflatables
Footy giveaways
Family activites
Face painting
PLUS - WINNER OF THE
AFL TOYOTA GRAND FINAL 2018
COMPETITION ANNOUNCED!
CBDme.com.au

The Communications Branch

Advertising

Radio was used to promote the Find the Five city centre promotion.

Council also continues to run "noticeboard" advertisements every week in The Standard which are drawn up by the in-house graphic designer.
Advertising on social media is proving to be a cost-effective means of reaching the community with the ability deliver messages through a defined geographic area.

Social Media

Council is active on social media platforms including Twitter, Facebook, YouTube and Instagram. Council Twitter followers now number 3,826, up from 681 in May 2013.

Council has 5,428 Instagram followers (up from 4,659 followers in June 2016) and 5,072 Facebook followers. Council also has 205 subscribers to its YouTube channel and Council videos have a combined 336,632 views.

Audio

Council provides audio recordings of Council's public meetings and these are made available for streaming or downloading via Council's main website, www.warrnambool.vic.gov.au

The first Council meeting recording to be made publicly available was the August, 2015 meeting. So far the 56 Council meetings have recorded 2,405 "plays" and 142 downloads.

Over July to December last year there were 496 "plays" of meeting recordings compared to 260 over the corresponding period in 2017. The most listened to meetings in the second half of last year were October 15 (96 plays) and August 6 (91 plays).

Community engagement

In the July to December period the Communications Branch supported community engagement efforts for the amendment to the Local Law, Allansford Structure Plan, city entrance statement, Banyan Street trees and the Lake Pertobe Master Plan.

The branch was also launched the engagement process for the discussion on Council rates and services. This involved the production of an online and printed survey, video, background material and radio advertisement (aired in January 2019). By mid-January there were more than 700 respondents to the survey.

Marketing and advocacy

City Centre Business Support Program

The Communications Branch works closely with the Economic Development Branch in the development of business support initiatives for the city centre.

An example was the Find the Five promotion which was run during 2018 included the design of posters, tokens, street banners and the production of videos which are promoted online and screened at the Warrnambool Cinema.

The branch also provided support for A Very Liebig Christmas which celebrated the completion of the Liebig Street renewal and ushered in the Christmas shopping season. This work included branding, a promotional video screened at the Warrnambool Cinema and a projection which screened on the wall of the Whalers Hotel.

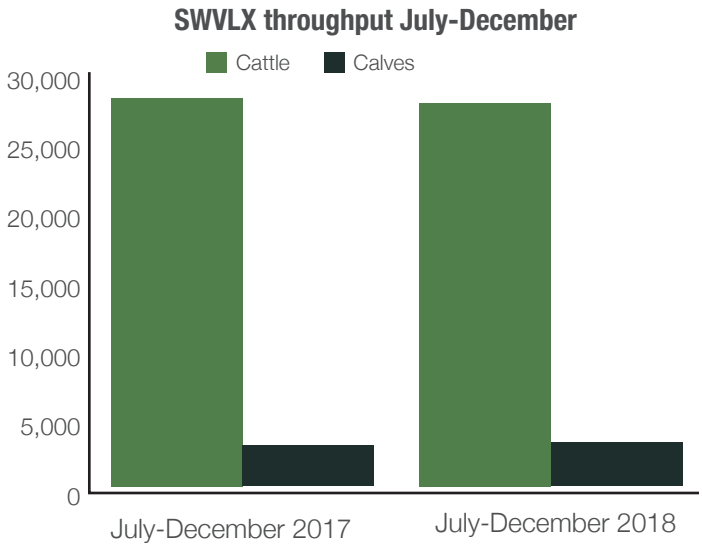
Advocacy

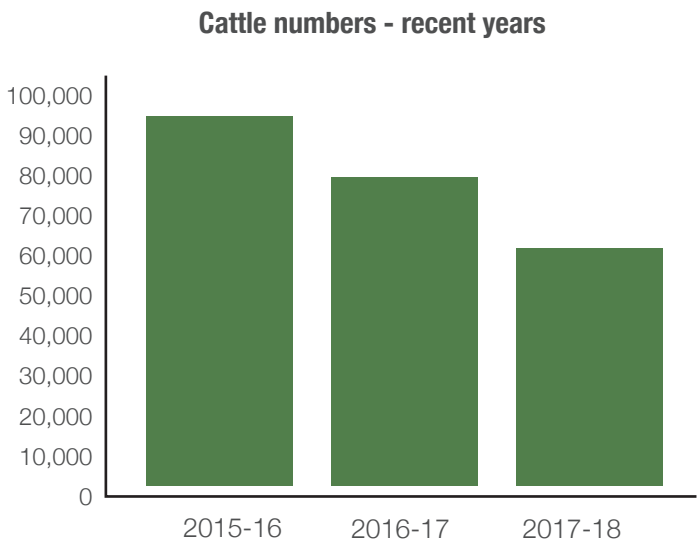
The branch supported Council's advocacy efforts with the production of a range of printed materials which detailed the issues and opportunities associated with each of the advocacy projects.

Among the issues Council lobbied for were an upgrade to Reid Oval, improvements to rail services and funding for a shared library/learning centre to be built at South West TAFE.

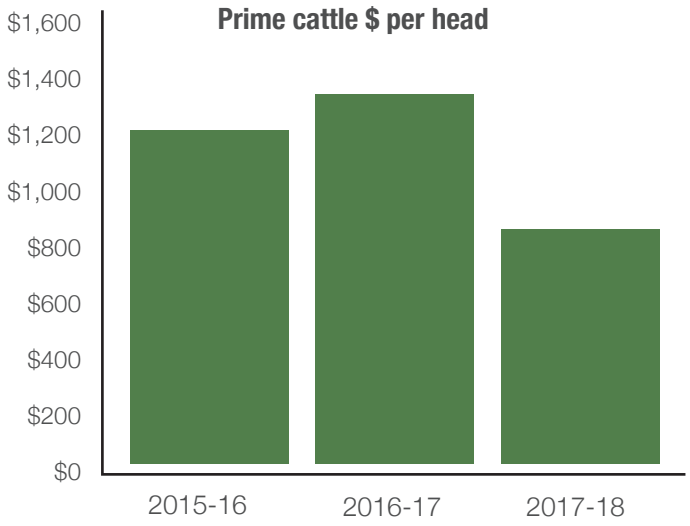
SOUTH-WEST VICTORIAN LIVESTOCK EXCHANGE

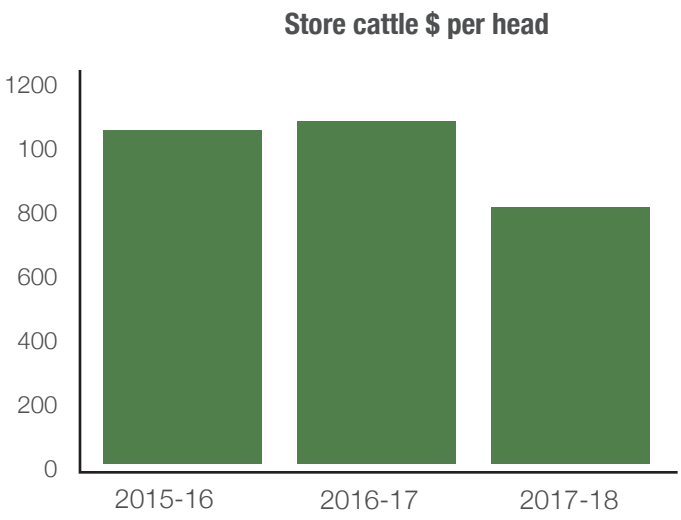
Throughput at the South-West Victorian Livestock Exchange (SWVLX) was steady which was particularly encouraging given the new facilities in the region and competition from direct selling to processors.

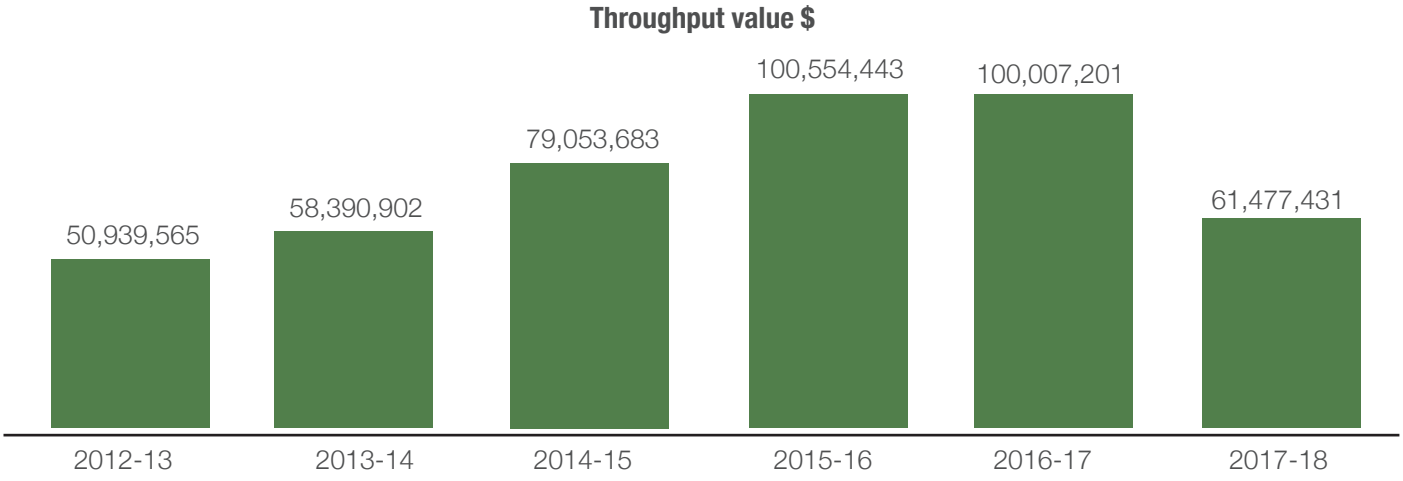




SOUTH-WEST VICTORIAN LIVESTOCK EXCHANGE







In addition to this, the State Government initiated Smart Planning program has introduced a new Planning Policy Framework (PPF) into all Victorian Planning Schemes. The PPF has replaced the former State Planning Policy Framework (SPPF). The new PPF structure will change the form and structure of the Municipal Strategic Statement and Local Planning Policies (LPPF). Council is scheduled to receive further direction from DELWP later in 2019 on translation of the current LPPF into the new PPF framework.

ISSUES

The Executive Summary of the Warrnambool Planning Scheme Review 2018 provides an overview of the review process and assesses what has been achieved since the 2014 planning scheme review.

Key findings of the review highlight that Council has:

Undertaken an extensive program of strategic investigation and strategy development since the 2014 Review. This has resulted in some significant amendments to the Warrnambool Planning Scheme, including implementation of a complete rewrite of the LPPF.

The review also notes progress on a number of other key projects including Logans Beach and Allansford strategic framework plans, Aberline to Horne Road Structure Plan, Environmental Significance Overlay review, Warrnambool Social Housing Planning Project, Warrnambool Eastern Activity Precinct Structure Plan, Housing Diversity Strategy, Open Space Contributions Policy, Advertising Signage Policy and South Merri River Open Space Precinct Plan.

Whilst progress has been made, several major strategic projects remain outstanding. Completion of these projects is imperative to ensure that clearer direction is provided for emerging and unresolved issues and that the planning scheme remains strategically robust.

The review provides a number of recommendations for further strategic work, policy review options, and statutory planning process improvement.

Additionally, the State Government managed Smart Planning reforms will have major implications for the Warrnambool Planning Scheme and Council processes, which will inevitably require a substantial re-write and restructure of the existing Municipal Strategic Statement and local policies (LPPF). Further refinement of zoning and overlay controls will also be required.

FINANCIAL IMPACT

Costs associated with the preparation of the Warrnambool Planning Scheme Review 2018 have been included within the 2018/2019 City Strategy and Development Budget.

LEGISLATION / POLICY / COUNCIL PLAN CONTEXT

The planning scheme review is a legislative requirement and has been undertaken in accordance with Section 12B of the Planning and Environment Act 1987.

TIMING

Routine

COMMUNITY IMPACT / CONSULTATION

The review has included consultation with relevant Council departments. The review builds on, and has been informed by, the comprehensive consultation previously undertaken as part of the development of Warrnambool 2040 Community Plan and Green Warrnambool. Each of these plans had a comprehensive engagement program that provided the community and external stakeholders opportunity to provide feedback regarding planning opportunities and challenges facing the municipality.

LEGAL RISK / IMPACT

Risk is mitigated through underaking the review within the provisions and timelines specified in Section 12B of the Planning and Environment Act 1987.

OFFICERS' DECLARATION OF INTEREST

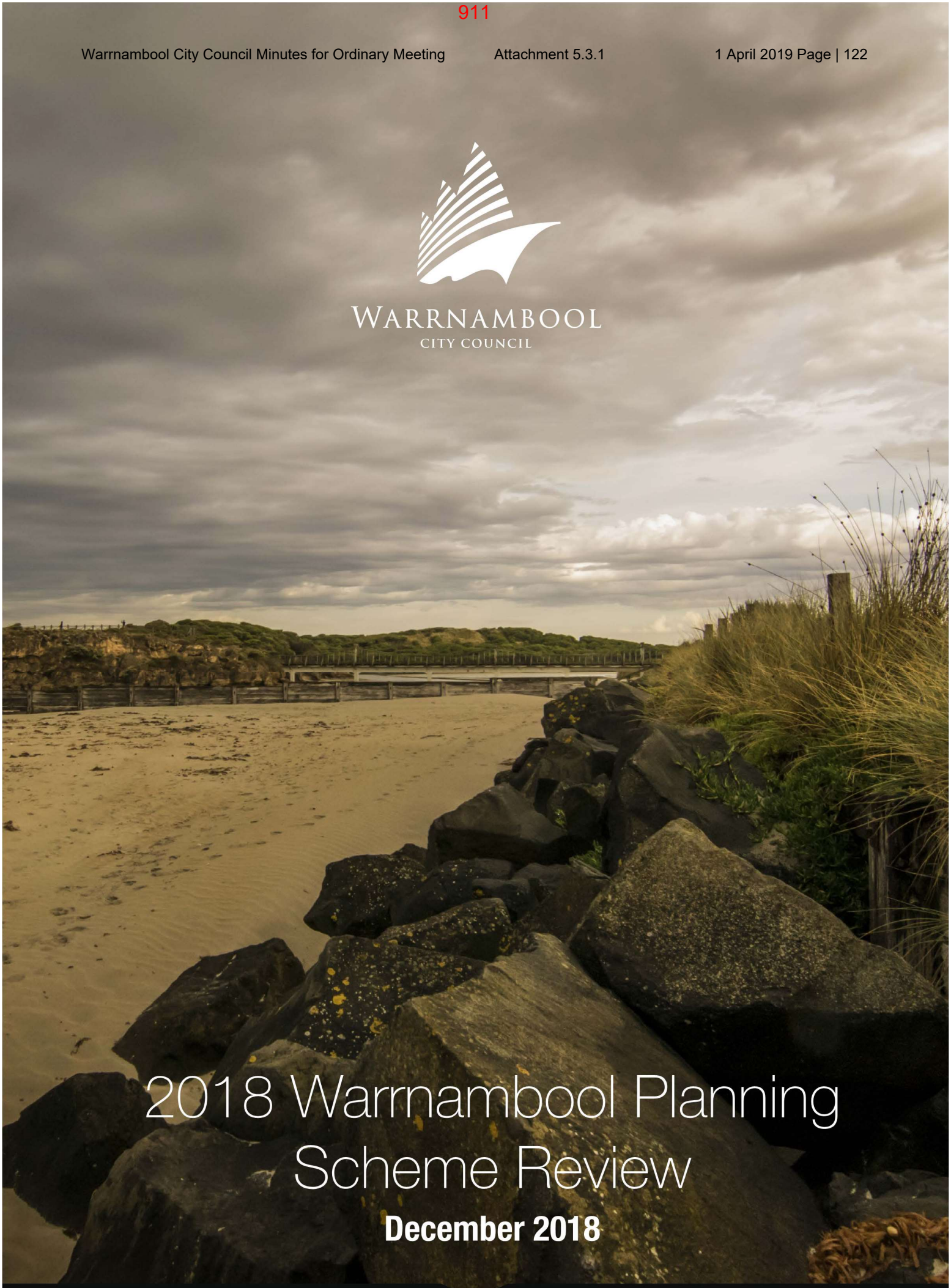
No declaration of interest.

CONCLUSION

The Planning Scheme Review 2018 has evaluated the Warrnambool Planning Scheme in accordance with the requirements of Section 12B of the Planning and Environment Act to ensure the planning scheme achieves the objectives of the Planning and Environment Act, and the objectives of the planning framework established by the Act.

ATTACHMENTS

1. 2018 Planning Scheme Review - FINAL **[5.3.1]**


WARRNAMBOOL
CITY COUNCIL
2018 Warrnambool Planning Scheme Review
December 2018
www.warrnambool.vic.gov.au
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EXECUTIVE SUMMARY

The 2018 Warrnambool Planning Scheme Review (2018 Review) is the fourth review of the operation and performance of the Warrnambool Planning Scheme since it commenced in 1999.

The Warrnambool Planning Scheme governs land use and development in the municipality of Warrnambool, covering some 120 square kilometres of land. The majority of the population lives in the urban areas of Warrnambool and in the smaller Townships of Allansford, Bushfield and Woodford. The municipality is the principle service centre for south-western Victoria and comprises a range of land uses, including rural, residential, educational, commercial, tourism, and industrial.

In accordance with Section 12B of the Planning and Environment Act, Council must review the Warrnambool Planning Scheme to ensure that it—

a. is consistent in form and content with the directions or guidelines issued by the Minister under section 7; and
b. sets out effectively the policy objectives for use and development of land in the area to which the planning scheme applies; and
c. makes effective use of State provisions and local provisions to give effect to State and local planning policy objectives.

The 2018 Review has evaluated the Warrnambool Planning Scheme in accordance with the above requirements. The review has been prepared in-house collaboratively by the City Strategy and Development Branch and seeks to:

- Determine whether it identifies and provides effective guidance on important strategic planning issues facing the municipality of Warrnambool, and is in line with the objectives of the Council Plan and Municipal Public Health and Wellbeing Plan.
- Assess whether it continues to implement State Planning Policy with regard to any changes that may have occurred in State policy since the previous review.
- Check compliance with relevant Ministerial directions or planning practice notes.
- Identify opportunities to streamline planning processes and reduce administrative burden.

In addition, the 2018 Review also:

- Includes an overview of outcomes and commitments following the 2014 Warrnambool Planning Scheme Review.
- Identifies achievements of, and any challenges faced by, the Warrnambool Planning Scheme and statutory planning processes over the previous 4 years.
- Assists in determining any gaps and priority projects for the future strategic planning work program.

The 2018 Review has been undertaken in the context that the Warrnambool Planning Scheme is in a state of transition. The previous planning scheme review undertaken in 2014 recommended a significant Local Planning Policy Framework (LPPF) rewrite which was implemented into the Warrnambool Planning Scheme via Amendment C93 in September 2016. Given its relatively recent implementation, a comprehensive evaluation has not been undertaken on the effectiveness of the changes from the LPPF rewrite at this stage. Furthermore, the State Government initiated Smart Planning program has introduced a new Planning Policy Framework (PPF) into all Victorian Planning Schemes. The new PPF structure will make substantial changes to the form and structure of the Municipal Strategic Statement and Local Planning Policies (LPPF).

Findings

Council has undertaken an extensive program of strategic investigation and strategy development since the 2014 Review. This has resulted in some significant amendments to the Warrnambool Planning Scheme, including implementation of a complete rewrite of the LPPF and important guidance on development in flood prone areas.

The 2018 Review also notes that a number of strategic planning projects are in various stages of progress including:

- Logans Beach Strategic Framework Plan
- Allansford Strategic Framework Plan

- Aberline to Horne Road Structure Plan
- Warrnambool Social Housing Planning Project
- Warrnambool Eastern Activity Precinct Structure Plan
- Housing Diversity Strategy
- Open Space Contributions Policy
- Advertising Signage Policy
- Environmental Significance Overlay Review
- Merri River Open Space Precinct Plan

Alongside the strategic land use planning work being undertaken by Council is the significant amount of State policy and planning reform which has been taking place. This significant volume of work has required the resources of both the Strategic and Statutory Planning Teams at Council in terms of staying abreast of policy change, understanding and implementing new policy and providing input into draft strategies and policy as a stakeholder prior to its implementation.

In particular, the State Government initiated Smart Planning reforms has had and will continue to have implications for the Warrnambool Planning Scheme and Council processes. It will be important for Council to liaise with the Department of Environment, Land, Water and Planning (DELWP) in relation to the reforms and their development, to understand the implications for the Warrnambool Planning Scheme and statutory planning processes, and to seek opportunities for State Government assistance to contribute resources to assist with implementation of the reforms.

RECOMMENDATIONS

Based on the Planning Scheme Review undertaken within this report, a suite of recommendations are made to improve the Warrnambool Planning Scheme. These recommendations are listed below:

Recommendation	Description
R1	Continue with Planning Scheme amendments, utilising the most up to date structural advice on form and content, to implement the following: • Logans Beach Strategic Framework Plan. • Eastern Activity Precinct Structure Plan.
R2	Complete the following strategic actions: • East of Aberline Structure Plan. • Allansford Structure Plan. • Native Vegetation Management Plans. • Industrial Buffer Review. • Advertising Signage Policy. • Housing Diversity Strategy. • Investigate Affordable Housing mechanisms (Warrnambool Social Housing Planning Project).
R3	Continue to explore internal and external funding opportunities to commence the following strategic actions: • Bushfield and Woodford Strategic Framework Plans, • Rural Land Use Assessment. • Identification and protection of significant exotic and indigenous trees. • Identification of Coastal Acid Sulphate soils and management plan • View Sharing Study. • Neighbourhood Character Assessment. • Mapping of flora and fauna biodiversity. • Review of Warrnambool Retail Strategy (2007). • Medical Precinct Study. • Review of Gaming policy
R4	Continue to maintain a Heritage Advisory service to undertake heritage assessments for individual places and / or precincts within established areas.

R5	Remove the following strategic actions from Council's strategic work program that are either completed or no longer required: • Preparation of Strategic Framework Plan for land north of Wangoom Road. • Logans Beach Strategic Framework Plan • Review the Eastern Activity Precinct Structure Plan (2004). • Preparation of a car parking strategy for the City Centre. • Review of Bushfire Management Overlay
R6	Prepare for a detailed review and restructure of the existing local planning policy framework for translation to the new Planning Policy Framework.
R7	Liaise with the Department of Environment, Land, Water and Planning (DELWP) in relation to the Smart Planning reforms to understand the implications for the Warrnambool Planning Scheme and statutory planning processes.
R8	Seek opportunities for Government assistance to contribute resources to assist with implementation of the Smart Planning Reforms.
R9	Update local content of the Planning Scheme to comply with Ministerial Direction – The form and content of Planning Schemes.
R10	Consider opportunities to further streamline simple applications through application of local VicSmart classes of application.
R11	Ensure the Warrnambool Social Housing Project is consistent with new Legislative framework on affordable housing established by the Planning and Building Legislation Amendment (Housing Affordability and Other Matters) Act 2017.
R12	Develop a position on new Integrated Water Management and Stormwater Requirements for commercial and industrial developments to ensure consistent application of the requirements.
R13	Ensure Clause 21.03-2 (Native vegetation management) provides for no net loss of native vegetation
R14	Commit to including the strategic vision and direction of the Warrnambool Council Plan 2017-21 as part of a future amendment to restructure the LPPF.
R15	Commit to reviewing the current Health and Wellbeing Plan 2017-21 as part of a future amendment to restructure the LPPF
R16	Continue to undertake an annual review of residential land uptake across the municipality in accordance with the City Wide Housing Strategy (2013).
R17	Remove reference of land to the north of Wangoom Road as a potential residential growth area from the planning scheme.

R18	Continue to pursue implementation of the Logans Beach strategic framework plan into the planning scheme.
R19	Continue to pursue implementation of the Eastern Activity Precinct structure plan into the planning scheme.
R20	Upon adoption of the Environmental Significance Overlay Review, update ordinance and mapping, as necessary.
R21	Upon adoption of the Open Space Contributions Policy, pursue implementation in the planning scheme.
R22	Review the Principal Pedestrian Network (once adopted) for implementation into the planning scheme.
R23	Consider the following strategic projects as part of future work program: • A biodiversity Plan (this is a recommendation of Green Warrnambool) • An assessment /mapping of tree canopy cover in Warrnambool. • An Environmentally Sustainable Design (ESD) Policy (this is a recommendation of Green Warrnambool.
R24	Undertake monitoring of commercial and industrial land supply to ensure the municipality maintains 15 years supply.
R25	Investigate how to provide guidance to developers with respect to preferred locations for community related uses including gyms, dance schools, and similar uses (through planning policy and/or advice).
R26	That advertising signs, and the effect of the new Advertising Signage Policy, when introduced, be reviewed as part of the next planning scheme review.
R27	That biodiversity controls in the planning scheme be reviewed having regard to the Victorian Biodiversity Strategy.
R28	Review the Development Plan Overlays (DPO) in accordance with Practice Note 23 – Applying the Incorporated Plan and Development Plan Overlays, August 2015
R29	Adopt the Warrnambool Planning Scheme Review 2018 as the review required pursuant to Section 12B(1) of the Planning & Environment Act 1987.
R30	Forward the Warrnambool Planning Scheme Review 2018 to the Minister for Planning as required by Section 12B(5) of the Planning and Environment Act 1987.

TABLE OF CONTENTS

EXECUTIVE SUMMARY **1**

TABLE OF CONTENTS **5**

1. INTRODUCTION **7**
1.1 2018 Review Purpose 7
1.2 2018 Review Methodology 8

2 CONTEXT **9**
2.1 Warrnambool Planning Scheme 9
2.2 Previous Planning Scheme Reviews 9
2.3 Conclusions and Recommendations 18

3 STATE PLANNING REFORM AND POLICY INITATIVES **19**
3.1 Overview 19
3.2 Process Initiatives 19
3.3 Policy Initiatives 22
3.4 Other Major Changes to the Planning and Environment Act 1987 & the Victoria Planning Provisions 27
3.6 Planning Practice Notes 28
3.7 Policy Initiatives Currently Under Consultation 28
3.8 Conclusions and Recommendations 29

4. LOCAL POLICY AND INITIATIVES **31**
4.1 Primary Governance Documents 31
4.2 Strategic Documents Adopted by Council 32
4.3 Current Strategic Projects 38
4.4 Other Strategic Plans 41
4.5 Conclusions 41

5 MAJOR PLANNING ISSUES FACING THE MUNICIPALITY **42**
5.1 Strategic Context (Warrnambool 2040 Community Plan and Green Warrnambool) 42
5.2 Planning Scheme Performance 46
5.3 Review of Planning Panel Recommendations 50

6. THE EFFECTIVENESS OF THE WARRNAMBOOL LPPF **51**
6.1 The role of the MSS 51
6.2 MSS Structure 51
6.3 MSS Content 52
6.4 Role of Local Policies 52
6.5 Existing Local Policies 52
6.6 Conclusions Regarding the MSS and Local Policies 53

7. STATUTORY PLANNING PROCESS REVIEW **54**
7.1 Background 54
7.2 Context and Trigger Points 54
7.3 Decisions 54
7.4 Performance Indicators 54
7.5 VicSmart Applications 55
7.6 Development Plans 55
7.7 Conclusions and recommendations 55

8 CONCLUSION & FINAL RECOMMENDATION **57**

Appendix 1 STATE AMENDMENTS SINCE 2014 ..... **58**

Appendix 2 New/Updated Planning Practice Notes Since 2014 ..... **67**

Acknowledgements: A number of council officers have contributed information to this review, including the City Strategy, City Development, Planning and Building Support, Economic Development and Asset Management teams.
Council acknowledges the Gunditj-mara and the Kirrae Whurrong people as the original custodians of the lands of this general area. Council also acknowledges the descendants of the ancestors of Aboriginal nations within the lands forming the Great South Coast and particularly the elders of the indigenous communities within both Warrnambool and this region.

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1. INTRODUCTION

The 2018 Warrnambool Planning Scheme Review (2018 Review) has been prepared to provide an overview of the performance of the Warrnambool Planning Scheme since its formal review in 2014.

The 2018 Review has been prepared to meet the requirements of Section 12B of the *Planning and Environment Act 1987* (the Act). The Act requires the planning authority (i.e. the Warrnambool City Council) to review its planning scheme within one year of adopting a new Council Plan, and must without delay submit the findings of the review to the Minister for Planning. Warrnambool City Council (Council) adopted the Warrnambool City Council Plan 2017-2021 in June 2017, and hence a review was due in June 2018.

Owing to recent structural and formatting changes to the Victoria Planning Provisions that have emerged through the State Government Smart Planning program (as discussed in Chapter 3), the Deputy Secretary, Planning, at the Department of Environment Land, Water, and Planning (DELWP) has granted Council an extension from June 2018 to 31 December 2018 to complete its planning scheme review.

1.1 2018 Review Purpose

In accordance with Section 12B of the Planning and Environment Act, Council must review the Warrnambool Planning Scheme to ensure that it—

a. is consistent in form and content with the directions or guidelines issued by the Minister under section 7; and
b. sets out effectively the policy objectives for use and development of land in the area to which the planning scheme applies; and
c. makes effective use of State provisions and local provisions to give effect to State and local planning policy objectives.

The 2018 Review has evaluated the Warrnambool Planning Scheme in accordance with the above requirements.

In addition, the 2018 Review has evaluated the Warrnambool Planning Scheme to:

- Determine whether it identifies and provides effective guidance on important strategic planning issues facing the municipality of Warrnambool, and is in line with the objectives of the Council Plan and Municipal Public Health and Wellbeing Plan.
- Assess whether it continues to implement State Planning Policy with regard to any changes that may have occurred in State policy since the previous review.
- Check compliance with relevant Ministerial directions or planning practice notes.
- Identify opportunities to streamline planning processes and reduce administrative burden.

The 2018 Review will:

- Include an overview of outcomes and commitments following the 2014 Warrnambool Planning Scheme Review.
- Identify achievements of, and any challenges faced by, the Warrnambool Planning Scheme and statutory planning processes over the previous 4 years.
- Assist in determining priority projects for the future strategic planning work program.

Once adopted by Council, this report will constitute the formal "Planning Scheme Review" of the Warrnambool Planning Scheme as required by Section 12B of the Act.

It should be noted that the Warrnambool Planning Scheme is not a static document and improvements are continually being made by both Council, through local planning scheme amendments, and by the State Government making changes to State policy. The 2018 Review forms part of this continual improvement program.

1.2 2018 Review Methodology

The 2018 Review has been prepared having consideration for the State Government guidance contained in Planning Practice Note PPN32: Review of Planning Schemes (2015) prepared by DELWP and the Continuous Improvement Review Kit (2006) published by the former Department of Sustainability and Environment (DSE) and the Municipal Association of Victoria (MAV).

The 2018 Review, whilst largely desktop, has included consultation with Council staff, specifically the Statutory Planning team. Consultation with the community and external stakeholders has not been undertaken as part of the review due to the recent development of Warrnambool 2040 Community Plan and Green Warrnambool (as discussed in Chapter 4). Each of these plans had a comprehensive engagement program that gave the community and external stakeholders multiple opportunities to provide feedback regarding planning opportunities and challenges facing the municipality.

The following specific tasks have been undertaken:

- An audit of the 2014 Warrnambool Planning Scheme Review.
- A review of recent State planning reform initiatives
- A review of local policy initiatives since the previous review.
- A summary of major planning issues for the municipality of Warrnambool.
- A review of the effectiveness of the Warrnambool LPPF.
- A review of statutory planning processes.
- Preparation of a Planning Scheme Review 2018 Report to present the findings of this research.

It is important to note that the previous Planning Scheme Review undertaken in 2014 recommended, amongst other matters, a significant local planning policy rewrite which was implemented into the Warrnambool Planning Scheme via Amendment C93 in September 2016. In light of this, the 2018 Review has not been as comprehensive given that Council has not had a significant amount of time to monitor the full impacts of the local planning policy rewrite, and given that other recommendations of the review are still in progress.

The State Government initiated Smart Planning Program has also introduced a new Planning Policy Framework (PPF) into all Victorian planning schemes (as discussed in Chapter 3). Council is scheduled to receive further direction from DELWP throughout 2019 on necessary structural and formatting changes to the planning scheme. For this reason, a detailed review of specific local schedules to zones, overlays, particular and general provisions has not been undertaken.

2 CONTEXT

2.1 Warrnambool Planning Scheme

The Warrnambool Planning Scheme commenced in 1999 and governs land use and development in the municipality of Warrnambool, covering some 120 square kilometres of land. The majority of the population lives in the urban areas of Warrnambool and in the smaller Townships of Allansford, Bushfield and Woodford. The municipality is the principle service centre for south-western Victoria and comprises a range of land uses, including rural, residential, educational, commercial, tourism, and industrial.

All planning schemes in Victoria have a standard structure, which includes:

- The Planning Policy Framework (PPF) - integrated State, Regional and Local content.
- Some Councils (including Warrnambool) still contain a separate Local Planning Policy Framework (LPPF), comprising the Municipal Strategic Statement (MSS) and local planning policies (where relevant) - solely local content. (Transitional until integrated with the PPF)
- Zones, overlays, particular provisions and general provisions, where schedules may contain local content but the overarching clause contains fixed State content. Council determines where and which zones and overlays apply to land.
- Incorporated documents, where schedules may contain local content.
- Maps showing the application of zones and overlays.

The local content of the Warrnambool Planning Scheme currently includes:

- The Municipal Strategic Statement (11 Clauses).
- 3 local policies.
- 18 zones and 19 schedules to zones, 6 of these schedules contain local content.
- 9 overlays and 37 schedules to overlays, all of the schedules are local content based.
- 4 schedules to particular provisions which contain local content.
- 1 schedule to general provisions which contain local content, including local referral provisions.
- 9 incorporated documents.

2.2 Previous Planning Scheme Reviews

The Warrnambool Planning Scheme has undergone 4 reviews since it commenced (in 1999), in 2002, 2005, 2010 and 2014. Most recently, the 2014 Review recommended a significant local planning policy rewrite which was implemented into the Warrnambool Planning Scheme via Amendment C93 in September 2016. The amendment updated the Municipal Strategic Statement (MSS) at Clause 21 and deleted the majority of existing local planning policies by translating policy into the MSS, where appropriate.

The updated MSS included identification of further strategic work that was recommended by the 2014 Review, and also identified through the local planning policy rewrite. The table below provides an audit of these actions.

Table 1: Audit of the Future Strategic Work Program from the Warrnambool Planning Scheme

Future Strategic Work Recommendation	Status	Current Position
Activity Centres (Clause 21.02-1) Review land uses and zoning within the Northpoint Village Neighbourhood Activity Centre (Clause 21.02-1)	Not Commenced	The Northpoint Village is part of an important Neighbourhood Activity Centre that serves the developing northern Warrnambool area. The Warrnambool Retail Strategy (2007) identified that the long term retail requirements of the centre may need to assessed to take account of the development of a new supermarket and speciality shops (completed mid-2007). The strategy recommended this action be completed by 2016. The current zonings and land uses within the broader activity centre precinct require review to ensure the correct mix of land uses can be accommodated to support the activity centre hierarchy. Council has monitored the retail requirements of the centre via development approvals and change of uses. No significant development pressure or changes in retail trends have been identified. It is likely that the future retail needs of the centre will be considered as part of a review of the Warrnambool Retail Strategy (2007).
Urban Growth (Clause 21.02-2) Investigate green wedge style planning controls for the purposes of protecting agricultural uses in urban/rural interface areas.	Not Commenced	At the urban/rural interface, amenity issues are the most common land use conflict issues, followed by environmental protection issues. Direct impacts from neighbouring urban land uses on farming operations can also cause conflict, and land management issues. As the urban growth areas of the municipality of Warrnambool develop, there is a need to examine land use management tools to prevent land use conflict. This work has not commenced due to funding availability.
Prepare a Structure Plan for the South Dennington Grown Area.	On-hold	Structure Planning in South Dennington is a proponent driven project. This project is on hold pending further investigations into drainage, open space, traffic, flora and fauna, and impact from nearby industrial uses. There are no immediate residential land supply issues in the municipality that requires this project to progress.
Prepare a Structure Plan to guide development within the long-term growth area (land East of Aberline Road).	In-progress	Structure Planning for land east of Aberline Road commenced in 2017 and is being prepared by Victorian Planning Authority (VPA) in conjunction with Council. Council has commissioned technical reports that will help inform future use and development options for the area. A comprehensive engagement process involving landowners, stakeholders and government agencies will commence in the first quarter of 2019 to landowners, and stakeholders (See Chapter 4 for further details).

Prepare a Strategic Framework Plan for land north of Wangoom Road;	**Completed**	Land to the north of Wangoom Road is identified as a potential residential growth area, subject to further strategic work. In 2017, Council commissioned Insight Planning Consultants Pty Ltd to assess the potential of the land to sustain increased residential growth. Due to infrastructure and other development constraints, the area was considered to be unsuitable for increased residential growth. Council adopted this recommendation in September 2018. It is now necessary to consider removing this land as a residential growth area in the Planning Scheme and updating this action as completed in the further strategic work section. (See Chapter 4 for further details).
Prepare a Strategic Framework Plan for the Logans Beach Area;	**Completed**	Following extensive consultation, the Logan's Beach Strategic Framework Plan was adopted by Council in 2017. It is planned to implement the plan as part of a future Planning Scheme amendment, which will occur in 2019 (See Chapter 4 for further details).
Prepare a Strategic Framework Plan for Allansford;	**In-progress**	In August 2018, Council was successful in obtaining funding from the Victorian Planning Authority (VPA) to commence a Strategic Framework Plan for the Township of Allansford. The plan will provide a long term vision and framework to guide land use and development and manage the future growth of the town. The project is due for completion in 2019 (See Chapter 4 for further details).
Prepare a Strategic Framework Plan for Bushfield and Woodford	**Not Commenced**	The townships of Bushfield and Woodford are smaller settlements offering rural living lifestyles on the northern boundary of the municipality. A strategic framework plan is required to explore the possibility of further development and to ensure any development considers groundwater and wastewater management, and any character impacts. This work has not occurred due to funding availability.
Biodiversity (Clause 21.03-1) Identify and map flora and fauna biodiversity values across the municipality	**Not Commenced**	The natural environment is a key defining feature of the municipality, with its rugged coastlines, and the Merri and Hopkins Rivers. These areas provide habitat for native flora and fauna, including rare and threatened species, and highly valued public open space for residents and visitors. Ongoing urban growth is expected in the municipality and appropriate planning is required to identify and protect biodiversity assets. This work has not commenced due to funding.
Native Vegetation Management (Clause 21.03-2) Prepare Native Vegetation Management Plans for land within the coastal reserve	**In-progress**	The development of the Warrnambool Coastal Vegetation Management Plan is a priority strategic project due for completion in 2019. This work has commenced through the development of Native Vegetation Precinct Plans, which is earmarked for completion in 2019.
Coastal Areas (Clause 21.03-3) Review existing and investigate the application of new SLO along the coast to reflect the	**No longer required**	At the approval of the new format Warrnambool Planning Scheme in 1999, the Minister for Planning identified the need for a coastal landscape review. In response, the State Government prepared a Coastal Spaces Landscape Assessment (2006). Since this time, Council has adopted the Warrnambool

recommendations of the Coastal Spaces Landscape Assessment (2006).		Coastal Management Plan (2013), which provides considerable progress in implementing a framework that adequately deals with coastal landscape assessment matters. As such, this work is no longer required. It is recommended this action be deleted.
Investigate the potential of Hopkins Point Road to be developed as a major tourist gateway to the city.	**Not Commenced**	The action to investigate the potential to link the Great Ocean Road to Hopkins Point Road, to further the journey along the coast, was identified as early as 2003. Whilst an investigation still has merit, this work has not commenced due to funding unavailability.
Prepare precinct plans to encourage coastal recreation uses between the Breakwater Activity Node and Foreshore Activity Node.	**In Progress**	The action to prepare precinct plans to encourage coastal recreation uses between the Breakwater Activity Node and Foreshore Activity Node will be addressed through the development of an overarching Foreshore Precinct Plan. It is anticipated this work will commence in 2019.
Significant Environments and Landscapes (Clause 21.03-4) Undertake a study to identify opportunities for sharing of views to the ocean, rivers, and surrounding rural areas.	**Not Commenced**	Landscape views of the ocean, Merri and Hopkins Rivers, and rural environs can be achieved from various public and private realms throughout the municipality. These landscape views are highly valued by residents, the community and visitors, contributing to the overall appeal and amenity of the municipality. The action has not commenced due to funding unavailability.
Undertake a study to identify and protect significant exotic and indigenous trees that contribute to the overall character of the city.	**Not commenced**	Warrnambool has a long and proud history of tree planting and is renowned for its extensive and diverse tree population, particularly the Norfolk Island Pines. There may be other species of trees that contribute to the character of the city, which require protection from removal and other development impacts. The action has not commenced due to funding availability.
Climate Change impacts (Clause 21.4-1) Monitoring and continuing to plan for the impacts of climate change on the local environment in the context of broader climate change policy.	**Ongoing**	The action to monitor and plan for impacts of climate change on the local environment in the context of broader climate change policy will be addressed through the Local Coastal Hazard Assessment project.
Identify coastal areas susceptible to coastal acid sulphate soils and implement a management strategy.	**On going**	If disturbed Coastal Acid Sulphate Soils (CASS) can be detrimental to the environment. The State Government has mapped land in Victoria that has the potential to contain CASS i.e., Prospective Land, rather than mapping individual bodies of CASS is difficult since they are often hidden below the soil). This mapping shows that parts of the Warrnambool coastline have the potential to contain CASS. Rather than undertaking a municipal wide mapping exercise to confirm the presence of CASS, Council

		currently requires developers in proximity to the coast to undertake site specific investigations before development commences, where relevant.
Soil Degradation (Clause 21.04-3) Identify land that is susceptible to erosion as a result of landslip	**Not commenced**	Limestone cliffs, steeper earth slopes and coastal dunes along the main rivers and coast in the municipality of Warrnambool are susceptible to erosion as a result of landslip. A significant problem is the existence of slopes in excess of 20 degrees where further development and vegetation removal would compromise land stability. Landslide susceptibility modelling is required to identify high risk areas. This work has not commenced due to funding unavailability.
Noise and Air (Clause 21.04-4) Undertake a review of land uses within recommended separation distances to existing industry to provide guidance on the how land uses can be managed.	**On hold**	Buffers and separation distances are considered important in protecting industrial operations and residential amenity. The development of an Industrial Buffer Review for the municipality has commenced but is on hold pending the outcome of the State Government policy review on buffer and separation distances
Bushfire (Clause 21.04-5) Investigate the Bushfire Management Overlay to areas at risk of bushfire.	**Completed**	Extensive review of the Bushfire Management Overlay mapping has been undertaken by the CFA and DELWP and implemented into the Warrnambool Planning Scheme under Amendment GC13 in 2017. It is recommended this action be deleted.
Agriculture (Clause 21.05-1) Undertake further work to provide guidance on rural land uses, including a review of the rural areas within the municipality to determine the most appropriate application of the rural zones.	**Not commenced**	Increasing pressure to use and develop rural land for purposes other than agriculture, and the need to protect productive agricultural land, are key issues facing the municipality. (See Fala Park Pty Ltd v Warrnambool CC in Chapter 5 for further details). A review of rural land uses is required to inform any changes to the rural zones, including subdivision and development controls. This action has not commenced due to funding availability.
Urban design (Clause 21.06-1) Develop a local policy to guide consideration of advertising signage in commercial and industrial areas, and areas of high sensitivity including areas of heritage significance and along City and township entrances.	**In-progress**	The preparation of an Advertising Signage Policy has commenced. It is anticipated the policy will be finalised and implemented into the Planning Scheme in 2019 (see Chapter 4 for further details).

Prepare urban design guidelines for the established residential precincts to promote high quality design responses that recognise neighbourhood character. Undertake a study to identify opportunities for sharing views to the ocean, rivers, and surrounding rural areas.	**Not commenced** **Not commenced**	The preparation of urban design guidelines for established residential precincts would be undertaken in conjunction with the development of a Neighbourhood Character Study and View sharing study. Refer to above.
Design for safety (Clause 21.06-1) Investigate appropriate planning control or local policy to guide consideration of planning permit applications for front fences.	**Not commenced**	This action will be progressed in conjunction with the development of urban design guidelines and a Neighbourhood Character study, which will explore the need for front fence controls.
Cultural identity and Neighbourhood Character Progressively undertake neighbourhood character assessments within established urban areas.	**Not commenced**	A Neighbourhood Character Study (NCS) is required to provide landowners, developers and Council with a common understanding about the key features of neighbourhood character to facilitate consistent decisions about design response, and the application of appropriate planning tools that respond to the neighbourhood character of a particular area. The demand for the NCS has increased due to State policy that emphasises the need for neighbourhood character assessments to underpin application of residential zones, and recent state policy changes that has introduced minimum garden area requirements. The study is also a critical component in underpinning other strategic work, including the housing diversity strategy, view sharing and controls for front fences. This action has not commenced due to funding unavailability.
Heritage (Clause 21.06-3) Continue to undertake heritage assessments for individual places and/or precincts within established areas.	**Ongoing**	Council maintains a Heritage Advisory service to undertake heritage assessments for individual places and / or precincts within established areas.

Location of Residential Development (Clause 21.07-1) Review residential areas in close proximity to industrial precincts to provide guidance on future residential development, including reviewing the extent of separation distances in conjunction with the EPA.	**In-progress**	The Industrial Buffer Review will assess residential areas in close proximity to industrial precincts.
Housing Diversity (Clause 21.07-1) Prepare a Housing Diversity Strategy to ensure housing growth in established urban areas occurs in the right way and in appropriate locations	**In-progress**	The municipality of Warrnambool is currently experiencing housing growth and change. Much of this growth and change is in new growth areas. Yet, there is increasing pressure to manage residential development within the established urban areas of the municipality. The Housing Diversity Strategy will set out a strategic framework to assist with managing housing growth and change in the established suburbs of the municipality. The strategy will also respond to the changing demographic profile of the municipality and shifts in household sizes. The development of the strategy has commenced.
Housing Affordability (Clause 21.07-1) Investigate methods for addressing the availability of affordable housing in the municipality. Identify opportunities and mechanisms to provide additional social housing.	**In-progress**	Funding has been received under the State Government Social Housing Investment Planning program to undertake a social housing planning project which will identify opportunities and mechanisms to provide additional social housing in the municipality. This work is underway.
Commercial (Clause 21.08-1) Undertake a review of the Warrnambool Retail Strategy (2007)	**Not commenced**	The Warrnambool Retail Strategy 2007 was implemented into the Warrnambool Planning Scheme in 2010. Significant changes have occurred in the retail sector in the last 10 years, and subsequently a review of the strategy needs to be undertaken. This action has not commenced due to funding availability.

Industry (Clause 21.08-2) Prepare industrial building siting and design guidelines to encourage improved attractiveness of industrial sites and landscaping.	**Not commenced**	This action has been partially implemented by the application of a local planning policy on industrial development. The effectiveness of this policy needs to be reviewed to ascertain whether more detailed design guidelines need to be prepared.
Prepare a Development Contributions Plan for the Eastern Industrial Precinct.	**Ongoing**	See comments below.
Continue to implement the Warrnambool Industrial Land Use Review (2010) by rezoning the balance of the Eastern Industrial Precinct to the appropriate zones, including the application of the Development Plan Overlay and Development Contributions Plan Overlay.	**Ongoing**	As development occurs and progresses within the Eastern Industrial Precinct, implementation of the Industrial Land Use review will continue, subject to monitoring of industrial land supply needs and analysis of land use requirements.
Gaming (Clause 21.08-4) Review the Warrnambool Gaming Policy (2011) and implement into the Planning Scheme, as appropriate.	**Monitoring**	Warrnambool has reached its State Government cap on gaming machine numbers. The 2011 Gaming Policy is now out of date due to changes in the State Government's implementation of gaming policies within the planning framework. A review of the Gaming Policy has not commenced due to funding availability.
Health Facilities (Clause 21.10-1) Investigate land use and policy requirements within the Medical Services Precinct.	**Monitoring**	The Warrnambool City Centre Revitalisation Structure Plan (2012) identifies the need to undertake a Medical Precinct Study to support South West Healthcare. Whilst this work has not commenced due to budget constraints, Council is monitoring health care land use trends in the area.
Water Supply, Sewerage and Drainage (Clause 21.10-3) Undertake a sewerage and effluent management strategy for Bushfield and Woodford, examining options and making recommendations regarding the most effective and cost	**Not commenced**	A sewerage and effluent management strategy for Bushfield and Woodfield would be undertaken in conjunction with structure planning for the Townships (see item 2 above).

beneficial way to enable growth to occur without environmental degradation.		
Waste and Resource Recovery (Clause 21.08-3) Undertake a review of land uses within recommended separation distances to waste transfer stations to provide guidance on the how land uses can be managed.	**In-progress**	The Industrial Buffer Review (see item 6 above) will review recommended separation distances to waste transfer stations.
City Centre (Clause 21.11.-1) Preparation of design guidelines for new development within the City Centre.	**Not commenced**	The City Centre structure plan contains recommended design parameters for new development within the City Centre. The development of more detailed design guidelines has not commenced due to funding availability.
Preparation of a car parking strategy for the City Centre.	**Completed**	Council has developed the City Centre Parking Strategy (2015) to provide direction and the strategic framework for the future supply and improved management of on and off street parking in the City Centre. It is recommended this action be deleted.
Review land use zonings across the City Centre to ensure the most appropriate mix of land uses can be achieved.	**Not commenced**	This action will form part of the review of the Warrnambool Retail Strategy.
Eastern Activity Precinct (Clause 21.11-2) Review the Eastern Activity Precinct Structure Plan (2004)	**Completed**	The Eastern Activity Precinct is Warrnambool's only major activity centre, second only in scale and importance to the City Centre. A revised structure plan was adopted by Council in 2016 and it is anticipated the structure plan will be implemented into the planning scheme in 2019. It is recommended this action be deleted.
Dennington Activity Centre (Clause 21.11-3) Review the need to apply a Development Plan Overlay across the wider precinct area	**Monitoring**	Council is monitoring trends at the Dennington Activity Centre and wider precinct area via development approvals and change of uses. No significant development pressure or changes in trends have been identified at this time, however monitoring of the wider precinct will continue.

2.3 Conclusions and Recommendations

The Warrnambool Planning Scheme addresses a wide range of issues facing the municipality. The Local Planning Policy Framework was significantly revised in 2016 as part of the 2015 planning scheme re-write project and provides a contemporary planning framework to respond to key issues and challenges facing the municipality and wider south west region.

Council has undertaken a comprehensive program of strategic work in response to the planning scheme review in 2014. A detailed audit has revealed that, whilst some items are no longer required, many of the recommendations from the 2014 review have been completed or substantially progressed.

Whilst substantial progress has also been made on many strategic projects, several projects remain outstanding, mainly due to budget constraints and funding unavailability. The following recommendations are made:.

Recommendations

R1 Continue with Planning Scheme amendments, utilising the most up to date structural advice on form and content, to implement the following:
- Logans Beach Strategic Framework Plan.
- Eastern Activity Precinct Structure Plan

R2 Complete the following strategic actions:
- East of Aberline Structure Plan.
- Allansford Structure Plan.
- Native Vegetation Management Plans.
- Industrial Buffer Review.
- Advertising Signage Policy.
- Housing Diversity Strategy.
- Investigate Affordable Housing mechanisms (Warrnambool Social Housing Planning Project).

R3 Continue to explore internal and external funding opportunities to commence the following strategic actions:
- Bushfield and Woodford Strategic Framework Plans,
- Rural Land Use Assessment.
- Identification and protection of significant exotic and indigenous trees.
- Identification of Coastal Acid Sulphate soils and management plan
- View Sharing Study.
- Neighbourhood Character Assessment.
- Mapping of flora and fauna biodiversity.
- Review of Warrnambool Retail Strategy (2007).
- Medical Precinct Study.
- Review of Gaming policy

R4 Continue to maintain a Heritage Advisory service to undertake heritage assessments for individual places and / or precincts within established areas.

R5: Remove the following strategic actions from Council's strategic work program that are either completed or no longer required:
- Preparation of Strategic Framework Plan for land north of Wangoom Road.
- Logans Beach Strategic Framework Plan
- Review the Eastern Activity Precinct Structure Plan (2004).
- Preparation of a car parking strategy for the City Centre.
- Review of Bushfire Management Overlay

3 STATE PLANNING REFORM AND POLICY INITATIVES

3.1 Overview

There have been several significant legislative and policy changes at the State level in a variety of areas since the last planning scheme review, including a reform of the Victorian Planning System via the State Government's *Smart Planning* program (the first such reform since the introduction of the Victoria Planning Provisions in 1996).

Initiatives particularly relevant to the Warrnambool Planning Scheme include:

- New integrated Planning Policy Framework
- Introduction of the 'VicSmart' system which is a streamlined permit application process for straightforward applications.
- Change to the Ministerial Direction on the Form and Content of Planning Schemes.
- New ministerial direction to consult with the EPA.
- Revised fee structure.
- Great South Coast Regional Growth Plan.
- A review of the residential zones.
- Development contributions reforms including the introduction of an Infrastructure Contributions Plan.
- Bushfire reforms.
- A revised Native Vegetation Framework.
- New standards for apartments.
- Housing affordability.
- Animal industries.
- New stormwater requirements.
- Several Amendments to the Planning and Environment Act 1987 and the Victoria Planning Provisions.
- Revisions to the majority of the planning practice and advisory notes.
- Reviews on solar energy facilities, buffer and separation distances, coastal hazards, and siting and design guidelines for structures on the Victorian Coast.

These initiatives will have varying impacts on the Warrnambool Planning Scheme and planning services and are discussed below:

3.2 Process Initiatives

3.2.1 Smart Planning Program

Launched by Department Environment Land Water Planning (DELWP), the Smart Planning Program is an initiative of the State government arising from a 2016 Budget commitment of $25 million to reform the Victoria Planning Provisions for the 21st Century.

The Smart Planning Program is being delivered in 3 stages, from 2016 onwards:

- Improve
- Reform; and
- Transform

DELWP has already implemented many of its 'Improve' and 'Reform' stages and is looking to identify and explore more substantial 'transformative' changes from 2018 onwards.
Among other things, the Smart Planning Program will re-design Victoria's planning system using a number of new digital tools. Amendment VC133 was gazetted in May 2017 and it prepares planning schemes to enable their migration into the Planning Scheme Information management System (PSIMS) to house, amend and publish planning schemes on-line. A new

Amendment Tracking System (ATS) has recently been implemented which requires Councils to prepare planning scheme amendment documentation within the State Government's software program.

Several State-wide planning scheme amendments have been prepared to implement various Smart Planning initiatives over the last two years.

The most significant Smart Planning amendment is Amendment VC148 (gazetted July 2018), which implemented the new Planning Policy Framework (PPF). The new PPF is the first stage of integrating the policy framework by replacing the State Planning Policy Framework (SPPF), as well as enabling the future introduction of the Municipal Planning Strategy (MPS) to all Victorian Planning Schemes. The amendment also includes the restructure of particular provisions, integrating VicSmart into applicable zones, overlays, and particular provisions. Specific zones, overlays, and particular provisions are also amended to improve their structure and operation, and to support the translation of the Local Planning Policy Framework (LPPF) to the MPS and PPF.

The Smart Planning reforms will have significant implications for the Warrnambool Planning Scheme and Council. The challenge for Council will now be to successfully integrate its local planning policy into the MPS. It will be important for the Council to liaise with DELWP's Smart Planning team in relation to the reforms and their development, to understand the implications for the Warrnambool Planning Scheme and statutory planning processes, and to seek opportunities for Government assistance to contribute resources to assist with implementation of these reforms.

Council is scheduled to receive further direction from DELWP throughout 2019 on necessary structural and formatting changes to the Warrnambool Planning Scheme.

3.2.2 VicSmart Reform

VicSmart was introduced into all Victorian planning schemes in September 2014 by VC114. It is a streamlined process for assessing straightforward planning permit applications. Classes of applications have been identified in the planning scheme as being VicSmart, and have specified requirements for information, assessment processes and decision guidelines.

VicSmart covers applications for:

- Minor subdivision.
- Buildings and works (in several zones and overlays).
- Tree removal and lopping.
- Small advertising signs.
- Car parking reductions.

Features of VicSmart include:

- A 10 day permit process.
- Applications are not advertised because the Planning Scheme provides for an exemption from third party and notice and review requirements.
- Information requirements for applications are pre-set.
- The Chief Executive Officer or delegate decides the application.

There have been four further amendments to the VicSmart provisions since its introduction.
Amendment VC135 and VC137 introduced additional VicSmart classes in March and July 2017 respectively. These were for:

- Building and works up to $1 million in industrial areas.
- Building and works up to $500,000 in commercial and some special purpose areas.
- A range of low impact developments in rural areas (up to $500,000 in agricultural settings and $250,000 in more sensitive rural settings).
- Small scale types of buildings and works in selected overlays.
- Subdivision, advertising signs and car parking.

- A single storey extension to a single dwelling where specific design criteria are met.
- Buildings and works up to $100,000 in residential zones, where not associated with a dwelling.

And most recently, Amendment VC142 in January 2018 amended VicSmart by:

- Deleting the loading and unloading of vehicles class of application.
- Including additional classes of development under the Heritage Overlay, including an electric vehicle charging station and services normal to a building (other than a dwelling).

Furthermore, as identified in Section 3.2.1, Amendment VC148 recently integrated VicSmart into applicable zones, overlays, and particular provisions.

The State Government acknowledges that there are further opportunities to expand the range of permit applications covered by VicSmart, particularly into rural zones and overlays.
There is some evidence that VicSmart has assisted with improvements to streamlining processes and faster timeframes for Warrnambool City Council (refer to Chapter 7). To date, Council has not pursued any local VicSmart classes of application. There may be opportunities for Council to expand the use of these provisions subject to further review.

3.2.3 Ministerial Direction on the Form and Content of Planning Schemes

Amendment VC133 was introduced in May 2017 which amended the Ministerial Direction on the Form and Content of Planning Schemes. The exact formatting, headings and content that the Planning Scheme must adhere to is stipulated, to ensure consistency across the State.

As an example of the changes introduced, a Schedule to the Environmental Significance Overlay (ESO) must now be written so that it deals with a maximum of one environmental objective. There are four Schedules to the ESO in the Warrnambool Planning Scheme, which include up to 21 environmental objectives. By limiting each Schedule to one objective, the permit requirements and decision guidelines can be drafted to directly deal with the environmental objective.

These changes are anticipated to remove ambiguity and ensure that local Schedules to Zones, Overlays, and other provisions are effectively dealing with their stated objectives. Current schedules in the Warrnambool Planning Scheme vary from these new requirements. Council will need to liaise closely with DELWP's Smart Planning team to explore opportunities for resource assistance, timing and to further understand compliance and redrafting requirements. Any future amendments will need to comply with the new format.

3.2.4 Ministerial Direction to Consult Environment Protection Authority

The Minister for Planning has issued new Ministerial Direction No.19 (October 2018) and a new Ministerial Requirement for information to ensure that a planning authority seeks early advice from Environment Protection Authority (EPA) when undertaking strategic planning and preparing a planning scheme amendment that may result in significant impacts on the environment, amenity and human health due to pollution and waste.

Ministers Direction No.19 applies to amendments which may:

- Allow the use or development of potentially contaminated land.
- Allow the use or development of land that could result in water, noise, air or land pollution impacts on the environment, amenity or human health.
- Allow the use or development of land within a buffer or separation distance for industry.
- Allow the use or development of land within a buffer or separation distance for an industry engaged in materials recycling, refuse disposal or transfer station.

In these cases, the planning authority must seek the written views of the EPA and the Minister will not authorise the preparation of such an amendment without being provided the written views of the EPA and an explanation of how the proposed amendment addresses those views.

The new requirements implement the Victorian Government's response to Recommendations of the Independent Inquiry into the EPA.

Council will ensure that the advice of the EPA is sought during the translation of the planning scheme into the new PPF format, and will continue to involve the EPA in strategic planning projects to ensure local issues are addressed.

3.2.5 Fees

Planning and responsible authorities provide services under the Planning and Environment Act 1987 which attract a fee in accordance with the *Planning and Environment (Fees) Regulations 2016.* These services include:

- Planning scheme amendments
- Planning permit applications
- Certificates of compliance with the planning scheme
- Certificates setting out planning provisions that apply to land
- Satisfaction matters – where the planning scheme says something must be done to an authority's satisfaction.

Amendments to permits or applications for permits, and combined applications also attract a fee. The state government introduced a range of new planning permit and related fees in October 2016 and these were most recently adjusted in July 2018.

3.3 Policy Initiatives

3.3.1 Great South Coast Regional Growth Plan

The Minister for Planning launched the Great South Coast Regional Growth Plan (Growth Plan) on 2 July 2014. The Growth Plan was endorsed by each of the five Great South Coast Region Councils following consultation with the community. It covers the municipalities of Corangamite, Glenelg, Moyne, Southern Grampians and Warrnambool.

The Growth Plan:

- Establishes a framework for strategic land use and settlement planning that can sustainably accommodate growth.
- Identifies important economic, environmental, social and cultural resources to be preserved, maintained or developed.
- Provides direction for accommodating growth and change including residential, employment, industrial, commercial, agriculture and other rural activities.
- Shows which areas of land can accommodate growth and which are to be maintained for other uses.
- Identifies opportunities for supporting regional level infrastructure, providing an essential contribution to the long-term sustainability of the region.

The Growth Plan identifies a number of drivers for growth for the region, and challenges facing the region. It is based on the following principles:

- Strengthen the region's economy through increased industry diversification, innovation and development.
- Attract more people to the region.
- Enhance our liveability through improved health, education and standards of living.
- Build on our network of towns and the roles played by them.
- Manage and utilise our strategic assets and support agricultural productivity.
- Sustainably manage our natural, cultural and environmental assets.
- Enhance equity of access to infrastructure, facilities and services.
- Strengthen connections to other regions.
- Ensure that land and infrastructure needed to support growth is identified and appropriately planned.

Objectives and strategies of the Growth Plan are contained in Clause 11.11-1R of the Warrnambool Planning Scheme. Local policy in the Warrnambool Planning Scheme was reviewed in 2015 to ensure consistency with the directions in the Growth Plan and decision making should continue to have regard to these directions.

3.3.2 Reformed residential zones

New residential zones were introduced into Victorian planning schemes in 2014. They were introduced into the Warrnambool Planning Scheme via Amendment VC116 on 1 July 2014. For Warrnambool, this allowed for any land previously zoned Residential 1 to translate to the General Residential Zone (GRZ).

More recently, the State Government conducted a review of the residential zones. A number of reforms to the zones were introduced to the Victoria Planning Provisions and all planning schemes by Amendment VC110 on 27 March 2017 and Amendment VC143 on May 2018.

The reforms:

- *Allow councils to define neighbourhood character and design objectives to be achieved.*
- *Strengthen building height controls in the Neighbourhood Residential Zone and the General Residential Zone.*
- *Introduce a new mandatory requirement for a minimum garden area to be provided in residential developments in the Neighbourhood Residential Zone and General Residential Zone.*
- *Remove the limit on the number of dwellings that can be built on land in the Neighbourhood Residential Zone.*
- *Updating the zones purpose to reflect the level of change anticipated by each zone.*

VC143 was accompanied by the release of a new *Planning Practice Note: 84 – Applying the Minimum Garden Area Requirement* to give guidance about the operation of the minimum garden area requirement in the Neighbourhood Residential Zone and General Residential Zone, as well as a new advisory note on the intent and contents of VC143 – *Advisory Note: 69 – Amendment VC143*.

The reformed residential zones highlight the need to develop statements about the preferred neighbourhood character for the municipality. In the absence of a neighbourhood character study, Council must rely on the broad 'purpose' of the General Residential Zone in its decision making. This may be insufficient to protect or implement a preferred character within established residential areas.

3.3.3 Infrastructure Contributions Reform

A new system to provide for levying and collecting contributions towards the provision of infrastructure was introduced by the State Government in October 2016 as a result of recommendations from the Standard Development Contributions Advisory Committee. It is anticipated that this new system will resolve many of the challenges with the previous Development Contributions Plan system.

The Infrastructure Contributions Plan (ICP) system has been designed to ensure:

- A more consistent and transparent approach to the application of infrastructure levies through access to new standard levy rates.
- Planning authorities, infrastructure providers and the development industry have more certainty about the levies payable and the type of infrastructure they will fund.
- A reduced risk of escalating infrastructure charges by specifying the rates of indexation for the levies.
- A simpler and faster process for preparing and approving infrastructure contribution plans to impose a levy.

The system is based on standard levies which are pre-set. They are to fund the provision of essential infrastructure necessary to support developing communities such as; roads, parks, local sports grounds and community facilities including kindergartens and child care facilities. The Ministerial Direction on the Preparation and Content of Infrastructure Contributions Plans identifies the types of land to which the ICP may be applied and the details of the new system, such as levy rates, indexation methodologies and allowable items.

The system is established through an Infrastructure Contributions Plan which must be incorporated into the planning scheme, and implemented through an Infrastructure Contributions Plan Overlay to become operational.

The *Planning and Environment Amendment (Infrastructure Contributions) Act 2015* has enabled the new system. It has initially been applied to metropolitan greenfield growth areas and strategic development areas however will be applied to regional growth areas identified in regional growth plans in the future.

The *Great South Coast Regional Coast Plan 2014*, which covers the municipality of Warrnambool, identifies Warrnambool as a key population and employment centre with high growth potential, and Allansford as a district town with medium growth potential. It is recommended that Council liaise with DELWP about these reforms as they provide a key opportunity to begin to collect contributions from future larger scale subdivisions.

Planning and Environment Amendment (Public Land Contributions) Act 2018

A further addition to the ICP system is anticipated by the introduction of recent legislation which introduces a land contribution model. This model enables land for public purposes to be provided as part of an infrastructure contribution when land is developed. It replaces the monetary public land component of the standard levy. The Government proposed that it would come into effect in mid-2018 however, this not occurred to date.

3.3.4 Bushfire Management Reforms

Following the Royal Commission into the 2009 'Black Saturday Bushfires', the VPPs and all planning schemes have been amended on several occasions to ensure planning provisions support communities in regions recovering from the bushfires, and help reduce the future risk of bushfires to settlements across Victoria.

Of most relevance to this Review is Amendment GC13 (3 October 2017) which updated the Bushfire Management Overlay maps across Victoria – including the municipality of Warrnambool – providing a comprehensive and accurate identification of extreme bushfire risk areas.

Amendment VC140 followed in 12 December 2017. This amendment modified the State Planning Policy Framework (SPPF) to introduce clear and direct strategies to ensure settlements become increasingly more resilient to bushfire, and that responsible authorities prioritise the protection of human life over all other policy considerations. These strategies require regional growth plans, precinct structure plans, planning scheme amendments and planning permit applications to assess bushfire hazards and include appropriate bushfire protection measures.

Advisory Note *AN68: Bushfire State Planning Policy – VC140* was released in March 2018 to clarify the operation of the updated framework and strategies.

There are a number of settlements across the municipality which are at significant risk from bushfire, including the townships of Allansford, Woodford and Bushfield, the coastal area of Warrnambool and the grassland interface of Warrnambool (Clause 21.04-5). These reforms will require a more robust level of assessment of bushfire risk when preparing future structure plans, planning scheme amendments and in assessing permit applications.

3.3.5 Native Vegetation Framework Updates

Amendment VC138 (12 December 2017) changed the VPPs and planning schemes in Victoria to implement reforms relating to the State Government's review of native vegetation removal planning provisions following the release of *Protecting Victoria's Environment – Biodiversity 2037*. The amendment made changes to policy, as well as modifying application requirements, decision guidelines and exemptions for the removal, destruction or lopping of native vegetation. Amendment VC138 also introduced the *Guidelines for the removal, destruction or lopping of native vegetation* (DELWP 2017) as an incorporated document.

This amendment has helped clarify many aspects relating to the proper assessment and management of applications to remove native vegetation. Overall, the amendment provides better protection for sensitive native vegetation within the municipality (and indeed across Victoria), enhances the operation of native vegetation removal regulations, and increases transparency by:

- Better accounting for the environmental value of large scattered trees, endangered vegetation types and sensitive wetlands and coastal areas in decision making;
- Making the system more equitable, by allowing some site based information to supplement mapped information, and ensuring the information used in the regulations better reflects the vegetation on the ground; and
- Improving monitoring and reporting on the implementation of native vegetation removal and offsets.

The review identified the need to clarify existing exemptions from the requirement to obtain a permit to remove, destroy or lop native vegetation for certain activities. VC138 changed the VPP as follows:

- Clause 12 (Biodiversity)
- Several overlays including Clauses 42.01 (Environmental Significance Overlay), 42.02 (Vegetation Protection Overlay), 42.03 (Significant Landscape Overlay), 44.01 (Erosion Management Overlay) and 44.02 (Salinity Management Overlay)
- Clauses 52.16 (Native vegetation precinct plans) and 52.17 (Native vegetation)
- Referral and notice provisions
- And incorporate the new *Guidelines for the removal, destruction or lopping of native vegetation* (Department of Environment, Land, Water and Planning, 2017).

The changes include a much stronger focus at Clause 12 of the SPPF on the importance of native vegetation from a biodiversity perspective, and provide much stronger language around protecting habitat for flora and fauna and other strategically valuable biodiversity sites. This clause also contains objective and strategies to ensure that there is no net loss in the contribution made by native vegetation to Victoria's biodiversity.

Further work is required to undertake a more detailed review of Council's vegetation controls. In particular, Clause 21.03-2 (Native vegetation management) of the LPPF to ensure it is consistent with the SPPF, particularly around no net loss.

3.3.6 Better Apartment Design Standards

As a joint initiative of DELWP and the Office of the Victorian Government Architect (OVGA), the Better Apartments Design Standards were introduced to improve the liveability and sustainability of apartments across Victoria. The Better Apartments Design Standards were implemented in the Victoria Planning Provisions and all planning schemes via Amendment VC136 on 13 April 2017.

Whilst the municipality doesn't have many apartment developments at this time, a few are starting to emerge in the CBD and the revised standards for apartments up to four storeys are likely to be more relevant in the future.

3.3.7 Introduction of the Planning and Environment Amendment (Housing Affordability and other Matters) Act 2017

The *Planning and Building Legislation Amendment (Housing Affordability and Other Matters) Act 2017* came into effect on 1 June 2018. The amendment effectively introduces a legislative framework into the planning system to allow for the provision of affordable housing via voluntary arrangements with the private sector, and to provide certainty in relation to how affordable housing can be provided.

Key changes to the Act include:

- The introduction of a new objective at section 41(fa) seeking 'to facilitate the provision of affordable housing in Victoria'.
- The inclusion of a definition of affordable housing at Part 3AA(1) as: '*housing, including social housing, that is appropriate for the housing needs of any of the following:*
  - *Very low income households,*
  - *Low income households, and*
  - *Moderate income households'.*
- A new section 3AA(3) that enables the Governor in Council to make an order published in the Government Gazette which may specify the above income ranges based on Australian Bureau of Statistics data.
- A new section 3AA(2) that requires consideration to be given to a Notice in the Government Gazette when considering what constitutes 'appropriate for the housing needs.'
- A new section 173(1A) allowing responsible authorities to enter into agreements for the provision of affordable housing.

Whilst DELWP released web-based guidelines around the new planning mechanisms for affordable housing on 7 June 2018, a number of matters require further clarification, including what, if any, policy directions will be added to the existing Planning Policy Framework to provide further decision-making guidance on the matter.

Given the elevation of affordable housing as an explicit objective under the Act, it is prudent that Council revisit its existing position on affordable housing as set out in the Warrnambool Affordable Housing Policy (2012) and update the local planning policy framework as necessary. It is anticipated that a review of the policy will addressed during the development of Council's Social Housing Planning Project (see Chapter 4).

3.3.8 Heritage

Amendment VC141 effects changes resulting from the Heritage Act 2017 which commenced operation on 1 November 2017. Requirement to obtain permits for certain activities has been removed to align within the processes for subdivision of land and referral under the Heritage Act 2017 and the Planning and Environment Act 1987.

3.3.9 Animal Industries

Amendment VC150 was introduced in September 2018 and enacts actions to support the projected growth of animal industries across the State. In recognition that the planning controls for intensive animal industries are out of date, the Victorian Minister for Planning and the Minister for Agriculture, in 2015, established the Animal Industries Advisory Committee (AIAC). They were asked to consider how the planning system could better support animal industries in Victoria, while balancing environmental outcomes and community expectations. They delivered their final report in 2016.

The Government has committed to 12 actions in response to AIAC recommendations with the view that much of this can be achieved by clearer rather than increased regulation. The 12 actions are focussed on improving the four main stages of planning: strategic planning; applying for a planning permit; assessing an application; and enforcement.

The reforms include:

- Introducing clear land use definitions and risk based planning controls for animal industries.
- Removing the Piggeries Code of Practice 1992.
- Referencing the 2018 amendments to the Victorian Code for Broiler Farms 2009.

This amendment has helped clarify many aspects relating to the proper assessment and management of applications for animal industries. It will also assist in enforcement matters related to animal industries when complaints are received.

3.3.10 EPA: Assessing planning proposals within the buffer of a landfill

Councils vary in how they address planning applications near landfills. The Victorian Auditor-General's report on 'Managing Landfills' (2014) identified that this variation is due to different interpretations of EPA guidance, principally the 'Best practice environmental management – Siting, design, operation and rehabilitation of landfills.' (the 'Landfill BPEM').

The EPA has prepared a new guideline to recommend a risk-based approach for Councils to use in applying the Landfill BPEM to planning permit applications and planning scheme amendments that would lead to development within the buffer of an operating or closed landfill.

The purpose of the new guideline is to address key questions faced by planners such as:

- Why are landfills (both operating and closed) an important planning consideration?
- What planning provisions and EPA guidance applies to planning around landfills?
- How can I tell if a proposal falls within the buffer of an operating or closed landfill?
- What level of assessment should I require for a development proposal within a landfill buffer?

The guideline clarifies existing obligations and does not impose any additional obligations. The risk-based approach should improve time and cost efficiencies for proposals where the environmental risks are deemed low.

3.3.11 Community Care Accommodation & Residential Aged Care Facilities

Amendment VC152 was introduced in October 2018 and enacts reforms to reflect new land use terminology and policy support for community care accommodation and rooming houses. The amendment delivers on the Victorian Government's housing strategy Homes for Victorians (2017) through the introduction of permit exemptions for community care accommodation to enable the streamlined renewal and development of these facilities. The amendment also provides clarity on the extent of permit exemptions for rooming houses.

Amendment VC152 also enacts reforms to planning provisions for Residential Aged Care Facilities (RAC). A new particular provision, Residential Aged Care Facility, has been inserted into clause 53.17. The control streamlines the assessment of RAC facilities by using tailored ResCode requirements.

This new provision response to several issues raised by the Advisory Committee (Managing Residential Development Advisory Committee – Residential Zone Review) in 2016 which found a need for residential zones to support greater flexibility for the design and development of RAC facilities.

3.3.12 New Stormwater Requirements for Commercial and Industrial Developments

Amendment VC154 was introduced in October 2018 and enacts significant changes to the consideration of stormwater in planning schemes.

Stormwater was previously considered primarily under residential subdivision. A new particular provision, Stormwater Management in Urban Development, has been inserted at Clause 53.18 to address commercial and industrial development. The clause applies to applications for subdivision and development (although a number of exceptions apply including non-urban zones, VicSmart applications, small floor areas, as well as transitional exemptions).

A new integrated water management policy has also been introduced into the Planning Policy Framework at Clause 19.03.-3S to embed integrated water management objectives and strategies in urban land-use planning.

The new provisions ensure that stormwater generated from all forms of urban development, not just residential subdivision and apartment developments, is managed in an integrated way to mitigate the impacts of stormwater runoff on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.

Given the elevation of integrated water management and stormwater considerations it is prudent that Council review its existing policy on stormwater management and update the local planning policy framework as necessary.

3.4 Other Major Changes to the Planning and Environment Act 1987 & the Victoria Planning Provisions

In addition to the changes made to the Act discussed above, there have been two other major changes since the last review.

Introduced in October 2015, the Planning and Environment Amendment (Recognising Objectors) Act 2015, requires responsible authorities and the Victorian Civil and Administrative Tribunal (VCAT) to have regard to the number of objectors to a permit application in considering whether a proposed use or development may have a significant social effect. The change was accompanied by Planning Advisory Note 63 to provide guidance in relation to the changes. It provides advice on how a significant social effect may be determined including:

"The fact that a large number of people have objected will not, by itself, establish that a proposal has a significant social effect. However, as held in Stonnington City Council v Lend Lease Apartments (Armadale) Pty Ltd, the number of objections may be a relevant fact (together with other facts) that indicates that a proposal may have a significant social effect on the community."

The State Government has also introduced several amendments to the VPPs to better facilitate telecommunications facilities and windfarms. A full list of State Amendments applicable to the Warrnambool Planning Scheme since May 2014 is provided at Appendix 1.

3.6 Planning Practice Notes

DELWP have led a comprehensive program to update or newly publish numerous planning practice notes over the previous four years (refer to Appendix 2). Regular reviews and ongoing monitoring of changes to the Practice Notes and Ministerial Directions will continue given the large volume of ongoing reforms in this area.

3.7 Policy Initiatives Currently Under Consultation

3.7.1 Draft Solar Energy Facilities

The State Government has developed the draft Solar Energy Facilities – Design and Development Guidelines to help outline the assessment and development process for large-scale solar energy facilities in Victoria.

The document was informed by a review of guidelines and best practice standards applied interstate and internationally and includes an outline of requirements for planning and assessing new solar energy facility proposal for Councils and developers.

The final guidelines will be developed through community and industry consultation with the aim of providing clear and technically robust advice on establishing well located, best practice facilities.

Council has a key interest in the provision of renewable energy given its commitment in Warrnambool 2040 Community Plan and Green Warrnambool (see Chapter 4) to significantly reduce carbon emissions and this is partly through installing renewable energy infrastructure, such as solar panels.

Council is currently considering its position on the draft siting and design guidelines.

3.7.2 Coastal Update Project

DELWP is leading a project to update the content of Clause 44.04 Land Subject to Inundation Overlay (LSIO) and Clause 44.01 Erosion Management Overlay (EMO) as well as changes to the policy framework to explicitly address coastal inundation and erosion.

This project builds on the recent introduction of the Marine and Coastal Act 2018 and Final Transition Plan 2018 and the Victoria Planning Provisions Smart Planning Changes (Amendments VC148- July 2018, VC142 – January 2018).

Coastal inundation and erosion is an issue affecting the South West. Whilst developed areas of Warrnambool are less prone to impact than other areas, coastal public land and infrastructure as well as certain areas of private land will be vulnerable.

3.7.3 Siting and Design Guidelines for Structures on the Victorian Coast

DELWP has released its draft Siting and Design Guidelines for consultation. The guidelines advise on the siting and design structures (buildings and infrastructure) on the Victorian coast.

The guidelines will replace the current Siting and Design Guidelines on the Victorian Coast 1998. They have been prepared as a requirement under the new Marine and Coastal Act 2018, aligned to the current Victorian Coastal Council.

Council is currently considering its position on the draft siting and design guidelines.

3.7.4 Planning for buffers and separation distances

DELWP has released its review of how land use buffers and separation distances are currently managed in the Victoria Planning System. The review provides an assessment of the current planning policy and tools in the Victoria Planning Provisions and analyses local and international case studies to understand how planning manages conflicting land uses.

The following principles have been identified to guide feedback and discussion about managing buffers and separation distances in Victoria and the future planning reforms.

Best practice: Priority should be given to preventing offsite impacts in the first place, acknowledging that even best practice emission control cannot guarantee such impacts will never occur.
Accessible and visible: Land used for a buffer or within a recommended separation distance should be easily identifiable and information in plain English about potential adverse impacts should be readily available.
Transparent and evidence-based: The intent of planning provisions and the way in which they operate should be transparent and based on reliable evidence and technical information. Associated responsibilities and decision-making criteria should be made clear.
Consistent: Requirements across planning and environment frameworks should be consistent and integrated.
Proportional: Regulatory requirements are proportionate to the planning and environmental risks.
Balanced: Land used planning outcomes balance the need to support industry and infrastructure with the need to minimise environmental and human health risks.

As part of the review, DELWP is consulting with Councils and other key stakeholders to inform options to reform the planning controls and how buffers can be better managed in the planning system. In particular, DELWP is focused on general industries and infrastructure uses with potential amenity and safety implications, and seeking examples of when buffers have or have not worked and an explanation of why.

As identified earlier, Council is undertaking a review of land uses within industrial buffers and therefore has a keen interest in the DELWP review.

Council is currently considering its position on the DELWP review.

3.8 Conclusions and Recommendations

Extensive changes have occurred at the State level since the 2014 planning scheme review, with significant implications for the Warrnambool Planning Scheme. Changes with the most profound consequences are:

- The new integrated **Planning Policy Framework** which will not only necessitate a restructure of the scheme's current LPPF, but a substantial review and re-write of content. Whilst the PPF has obvious benefits in terms of delivering a concise and user-friendly policy framework that creates clear links between State, Regional and Local policy, proper and well considered translation will be imperative in ensuring that the integrity of local policy is preserved. The restructure and transition into the PPF is likely to be quite resource intensive, and it is expected that this work will be required to by implemented by the end of 2019.
- The revised **Ministerial Direction on the Form and Content of Planning Schemes** which will require significant resources to update the local content of the planning scheme to comply with the revised format. .
- Introduction of **Housing Affordability legislative framework** to allow for the provision of affordable housing via voluntary arrangements with the private sector will be supported by Council's affordable housing position and associated policy directives in the new Warrnambool Social Housing strategy.
- Reforms to the **residential zones** require an appropriate local response to inform application of the zones, such as a, Neighbourhood Character Study. Seeking internal or external funding to commence this work is essential in this regard.
- Introduction of new **Stormwater Requirements** for commercial and industrial developments requires adoption of an integrated approach to the planning, design and assessment of new developments. Council will need to adopt a clear direction on integrated water management and stormwater management.
- Changes to the **Bushfire Risk policy** have provided a clearer direction on the management of this issue, however the policy implementation requires an additional level of assessment than previously required, ie.a bushfire risk and landscape assessment. This has resulted in additional resources being required to address and implement this policy direction.

Other changes at State level serve to assist Council in consolidating its policy positions and facilitating sound decision-making in key areas. Changes in native vegetation provisions provide greater certainty around the management of this key issue. Expansion of the VicSmart planning process will also continue to help streamline the planning process and reduce timelines in the processing of more simple applications.

Recommendations
R6 Prepare for a detailed review and restructure of the existing local planning policy framework for translation to the new Planning Policy Framework.
R7 Liaise with the State Department of Environment, Land, Water and Planning (DELWP) in relation to the Smart

Planning reforms to understand the implications for the Warrnambool Planning Scheme and statutory planning processes.
R8 Seek opportunities for Government assistance to contribute resources to assist with implementation of the Smart Planning Reforms.
R9 Update local content of the Planning Scheme to comply with Ministerial Direction – The form and content of Planning Schemes.
R10 Consider opportunities to further streamline simple applications through application of local VicSmart classes of application.
R11 Ensure the Warrnambool Social Housing Project is consistent with new Legislative framework on affordable housing established by the Planning and Building Legislation Amendment (Housing Affordability and Other Matters) Act 2017.
R12 Develop a position on new Integrated Water Management and Stormwater Requirements for commercial and industrial developments to ensure consistent application of the requirements.
R13 Ensure Clause 21.03-2 (Native vegetation management) provides for no net loss of native vegetation

4. LOCAL POLICY AND INITIATIVES

This chapter examines the local strategic context influencing the Warrnambool Planning Scheme. In particular, this chapter reviews the considerable array of local strategic documents that have been prepared and adopted since the 2014 Planning Scheme Review. Central to this analysis is the identification of key strategic directives arising from this work, and associated implications for policies and controls in the planning scheme.

The first part outlines Council's primary governance documents required under both the *Local Government Act 1989* and *Health and Wellbeing Act 2008*; being the Council Plan and Health and Wellbeing Plan.

The second section reviews numerous strategic studies, plans and policies that have been adopted by Council since December 2014.

The third section summarises those key strategic projects presently underway and nearing completion; some of which are major projects with significant implications for the Warrnambool Planning Scheme.

4.1 Primary Governance Documents

4.1.1 Warrnambool Council Plan 2017-21

Warrnambool City Council adopted the Warrnambool City Council Plan 2017-2021 (Council Plan) in June 2017.

The Council Plan includes the vision and values of the municipality, the key goals and strategies of the organisation and the manner in which the performance of the City is to be measured.

Council's Vision: A Cosmopolitan City by the Sea.

The Council Plan sets out objectives and target projects under the themes of:

- Sustain and enhance the natural environment
- Foster a healthy city that is socially and culturally rich
- Maintain and improve the physical fabric of the city
- Develop a modern economy with diverse and sustainable employment
- Practice good governance through openness and accountability.

Out of the 62 strategies within the Council Plan, 8 are directly relevant to town planning processes in the City, and are therefore considered in the 2018 Planning Scheme Review. All relevant strategies are discussed in this chapter.

Section 12A of the *Planning and Environment Act 1987* requires that the Warrnambool Planning Scheme and Municipal Strategic Statement (MSS) be consistent with the current Council Plan. The Warrnambool Planning Scheme currently references an older, outdated Council Plan in Clause 21.01-3. This Clause should be updated once the outcomes of the Smart Planning reforms for the planning policy framework are known.

Recommendation
R14 Commit to including the strategic vision and direction of the Warrnambool Council Plan 2017-21 as part of a future amendment to restructure the LPPF.

4.1.2 Health and Wellbeing Plan 2017-21

The *Public Health and Wellbeing Act 2008* requires all Victorian Councils to prepare a Municipal Public Health and Wellbeing Plan reinforcing the statutory role of Councils to 'protect, improve, and promote public health and wellbeing within the municipal district'. It is an integrated Plan that guides the work of Council and partner organisations to enable people living in the municipality to achieve maximum health and wellbeing.

Council has developed Warrnambool – A Healthy City 2017-2021. Nine priorities have been identified within the Plan:

- Physical activity
- Healthy eating
- Harmful use of alcohol & other drugs
- Smoking
- Violence against women and children
- Mental (social & emotional) wellbeing
- Access to programs and services
- Educational attainment and life-long learning
- Employment (economic participation)

In drafting new provisions for the Planning Scheme it would be appropriate to have regard for the priority areas of the Health and Wellbeing Plan and to identify any opportunities that might enhance Council's ability to meet its targets in the Plan.

The Warrnambool Planning Scheme currently references an older, outdated Health and Wellbeing Plan in Clause 21.01-3. This Clause should be updated once the outcomes of the Smart Planning reforms for the planning policy framework are known.

Recommendation
R15 Commit to reviewing the current Health and Wellbeing Plan 2017-21 as part of a future amendment to restructure the LPPF

4.2 Strategic Documents Adopted by Council

4.2.1 Warrnambool Planning Scheme Rewrite Project 2015

The purpose of the Rewrite Project was to facilitate a comprehensive review of the Warrnambool Planning Scheme, taking into account strategic work undertaken by Council since the last major rewrite project in 2006 (Amendment C43) and responding to continuous improvements identified to ensure the continued efficiency of the planning scheme.

An interim report was released for public consultation and in February 2015, Council endorsed the final Rewrite Project Report. The first stage key recommendations were to:

- Restructure the LPPF, and more specifically the MSS, to align it with the SPPF.
- Update the LPPF to reflect adopted Council strategies, plans and policies.
- Refresh the MSS to be a more contemporary document and reflect current issues and influences.
- Delete all but three local policies, and where relevant, incorporate and objectives, strategies from the deleted policies into the new MSS.
- Refresh the remaining three local planning policies to provide consistency in language and be consistent with the Department's Planning Practice Note on writing a Local Planning Policy (June 2015).

The first stage recommendations of the Rewrite Project were implemented into the Warrnambool Planning Scheme via Amendment C93 in September 2016.

In light of this relatively recent implementation, it is too early to determine the effectiveness of the rewrite on Councils statutory planning processes. However there are indications that there have been improvements as discussed in Chapter 7.

The following table brings together all the recommendations contained in the 2015 Planning Scheme Review Rewrite Project and their current status:

Table 2: Audit of 2015 Warrnambool Planning Scheme Rewrite Project Recommendations

CLAUSE	ACTION	STATUS
Proposed Clause 21.01 - 21.11	Restructure MSS in accordance with Appendix A.	Completed.
Proposed Clause 21.11	Urgent review of Eastern Activity Precinct Structure Plan.	Structure Plan review has been completed. Implementation into the Planning Scheme has commenced.
Clause 22.01 - 22.04	Delete all existing Local Planning Policies and incorporated within MSS as required.	Completed
Proposed Clause 22.01	Prepare new draft Signage Policy.	Commenced. Scheduled for completion in 2019
Proposed Clause 22.02	Prepare new draft Front Fences/Streetscape Policy.	Not commenced. Awaiting Neighbourhood Character study to inform review.
Proposed Clause 22.03	Review Warrnambool Gaming Policy 2011 and implement into planning scheme.	Not commenced.
Proposed Clause 22.04	Prepare new draft Rural Dwelling Excision Policy.	Completed.
Clause 32.01 - Residential 1 Zone	Translate existing Residential 1 Zone to General Residential Zone.	**Completed.**
Clause 32.04 - Mixed Use Zone	Review Mixed Use Zone provisions at former Woollen Mill Site, Harris Street, Warrnambool.	**Completed.**
Clause 34.01 - Commercial 1 Zone	Update map references to reflect reformed zones.	**Completed.**
Clause 34.01 - Commercial 1 Zone	Update Plan 1 to reflect recent development north of commercial precinct.	Completed.
Clause 34.02 - Commercial 2 Zone	Update map references to reflect reformed zones.	**Completed.**
Clause 35.03 - Rural Living Zone	Update Map 1 to reflect recent development.	**Completed.**
Clause 36.01 - Public Use Zone	Undertake review of all land zoned Public Use Zone.	**Completed.**
Clause 36.02 - Public Park and Recreation Zone	Undertake review of all open space and rezone as required.	**Completed.**
Clause 36.03 - Public Conservation and Resource Zone	Undertake review of waterways and rezone as required.	Commenced (as part of implementation of flood studies)
Clause 36.04 - Road Zone	Undertake review of category 1 and category 2 roads and rezone as required.	**Completed.**
Clause 37.01 - Special Use Zone	Reformat schedules.	Completed.
Clause 37.03 - Urban Floodway Zone	Implement South Warrnambool, Dennington and North Warrnambool Flood Studies.	Commenced (as part of implementation of flood studies)
Clause 42.01 - Environmental Significance Overlay	Review application of overlays.	Commenced. Scheduled for completion in 2019

CLAUSE	ACTION	STATUS
Clause 43.01 - Heritage Overlay	Undertake review of schedule to the Heritage Overlay and mapping.	Completed
Clause 43.02 - Design and Development Overlay	Delete schedule 4 to the Design and Development Overlay.	**Completed.**
Clause 43.02 - Design and Development Overlay	Review existing schedules to Design and Development Overlay and mapping.	Not commenced. Awaiting Neighbourhood Character study to inform review.
Clause 43.04 - Development Plan Overlay	Review existing schedules to Development Plan Overlay and mapping.	**Completed.**
Clause 44.03 - Floodway Overlay	Implement South Warrnambool, Dennington and North Warrnambool Flood Studies.	Partially completed (Amendment C78).
Clause 44.04 - Land Subject to Inundation Overlay	Implement South Warrnambool, Dennington and North Warrnambool Flood Studies.	Partially completed (Amendment C78).
Clause 45.03 - Environmental Audit Overlay	Review existing Environmental Audit Overlay.	**Completed.**
Clause 52.16 - Native Vegetation Precinct Plan	Prepare and incorporate Native Vegetation Precinct Plan in accordance with the Coastal Management Plan.	Commenced.
Clause 61.03 - What does the scheme consist of?	Amend schedule to list maps in alphabetical order.	**Completed.**
Clause 66 - Referral and Notice Requirements	Review Referral and Notice Requirements.	On Hold pending outcomes of Smart Planning reforms.
Clause 94 and 95 - Local VicSmart Applications	Review VicSmart provisions – identification of local classes of applications	On hold pending outcomes of Smart Planning reforms.

4.2.2 Warrnambool 2040 – Community Plan

The Warrnambool 2040 – Community Plan (W2040) was adopted by Council on 3 December 2018. The plan was developed over an 18 month period with extensive input from the community and external stakeholders. It captures the community's shared values, goals and priorities for the next twenty-plus years around four principle themes:

- Our People: Warrnambool will be a city where all people thrive.
- Our Economy: Warrnambool will be Australia's most resilient & thriving regional economy.
- Our Place: Warrnambool will be Australia's most liveable regional city.
- Our Environment: Warrnambool will be Australia's most sustainable city.

Key issues raised relating to this vision relevant to the Warrnambool Planning Scheme are identified and discussed in Chapter 5.

4.2.3 Green Warrnambool

Green Warrnambool was adopted by Council on 6 August 2018. Green Warrnambool sets a new vision for the municipality: That Warrnambool will be the most sustainable regional city in Australia. This is a high level, overarching strategic document that guides a suite of new and existing strategic plans and actions.

The plan contains six goals which are:

- *Zero Warrnambool* – Demonstrate innovative, smart solutions to achieve zero net emissions for a renewable future.
- *Adaptable Warrnambool* – Adapt to the impacts of climate change.
- *Wise Warrnambool* – Zero recoverable waste being sent to landfill by conserving, avoiding, reducing, recycling and reusing resources at every opportunity.

- *Naturally Warrnambool* – Build knowledge, skills and involvement in protecting biodiversity, waterways and the coast for the benefit of current and future generations of people, flora and fauna.
- *Blue Warrnambool* – Care for and regenerate our waterways, our coast and marine environment and support a natural water cycle. We will carefully use rainwater to contribute to the amenity of the city by bringing water management and green infrastructure together.
- *Green Warrnambool* – Become a city in nature, connected by green infrastructure and corridors of urban forest to support resilient and connected biodiversity.

The actions are a combination of policy and planning documents, data collection and on-ground implementation actions with over 50 Council led actions and 40 community actions.

The targets are ambitious and it is acknowledged that meeting them requires a cultural shift in how we live and develop as a municipality.

Green Warrnambool has been developed in conjunction with the Warrnambool 2040 Community Plan project and the Environment and Planning Advisory Committee and supersedes the previous Environmental Sustainability Strategy 2008-2013.

Key issues raised relating to this vision relevant to the Warrnambool Planning Scheme are identified and discussed in Chapter 5.

4.2.4 Review of Warrnambool Flood Controls

To ensure Council has accurate and up-to date flood information, Council and the Glenelg Hopkins Catchment Management Authority reviewed flood risk levels within the Russells Creek and Merri River catchments.

Implementation of the revised flood levels is anticipated to be progressed throughout 2019.

4.2.5 Infrastructure Design Manual

The Local Government Infrastructure Design Association is implementing the Infrastructure Design Manual (IDM) into regional planning schemes. The IDM is designed to clearly document and standardise Council's requirements for the design and development of infrastructure.

Council adopted the IDM on 7 September 2015 and has been using it ever since. The IDM is currently utilised by 44 Councils across Victoria. The inclusion of the IDM in the planning system will also provide certainty to the development industry around the requirements for the provision of infrastructure.

The IDM applies to all development and subdivision applications, including commercial, industrial, rural and residential.

It is anticipated the IDM will be implemented into the Warrnambool Planning Scheme in early 2019.

4.2.6 Warrnambool Residential Land Supply Monitoring 2018

A key directive of the Warrnambool City Wide Housing Strategy (2013) is to undertake an annual review of vacant residential land across the municipality to ensure supply meets projected population growth to the year 2031.

Council has undertaken consecutive annual reviews since 2015, which have all identified there is an adequate supply of residential land to meet projected growth based on consumption rates across the municipality.

Council adopted the Warrnambool Residential Land Supply Report 2018 on 4 June 2018. The report identifies that the municipality has a residential supply to satisfy 24 years of future demand. This supply does not place any pressure on Council to rezone more land.

The report demonstrates Council's ongoing commitment to maintaining access to affordable land for residential land for residential development.

Recommendations:
R16 Continue to undertake an annual review of residential land uptake across the municipality in accordance with the City Wide Housing Strategy (2013).

4.2.7 North Wangoom Road – Land Use Options Summary

Clause 21.02-2 of the LPPF currently identifies land to the north of Wangoom Road, between Mortlake Road and Wiggs Lanes, as a potential residential growth area.

In 2017, Council commissioned Insight Planning Consultants Pty Ltd to assess the potential of the land to sustain increased residential growth. The consultants prepared a report titled "North Wangoom Road – Land Use Options Summary", which considers a range of expert technical reports, including flood modelling and drainage, traffic impact, land capability, and infrastructure servicing.

The report recommends that further residential growth not be supported due to significant development constraints. Council adopted the report's recommendations on 4 September 2018.

Owing to the report recommendations and current level of municipal residential land supply (see section 4.2.3) it is recommended the area should be removed as a potential residential growth area from the LPPF.

Recommendations:
R17 Remove reference of land to the north of Wangoom Road as a potential residential growth area from the planning scheme.

4.2.8 Logans Beach Strategic Framework Plan

The Logans Beach coastal area is located to the east and south of the Hopkins River in Warrnambool, with land on either side of Hopkins Point Road. The area consists of land zoned Rural Living to the south of Hopkins Point Road including public land zoned Public Park and Recreation Zone and Public Conservation and Recreation Zone.

The area also includes land zoned Rural Living to the north of Hopkins Point Road and a small strip of General Residential Zone abutting Hopkins River (Riverview Terrace).

Council has developed a strategic framework plan for the Logans Beach coastal area, which was adopted by Council on 4 December 2017. The strategic framework plan provides guidance on planning controls within the area to facilitate further residential development, whilst considering the landscape qualities of the area, and climate change risks and opportunities.

A planning scheme amendment is currently being prepared which will implement the strategic framework plan into the Warrnambool Planning Scheme, including associated changes to the planning scheme maps, and overlays.

Recommendations:
R18 Continue to pursue implementation of the Logans Beach strategic framework plan into the planning scheme.

4.2.9 Warrnambool Eastern Activity Precinct Structure Plan 2016

The Warrnambool Eastern Activity Precinct is located at the eastern extent of Warrnambool and currently contains several sub-precincts, including the Warrnambool Homemaker Centre, Bunnings development, the Flying Horse Inn mixed use development, Gateway Plaza Shopping Centre and Woolworths supermarket/Dan Murphy development. The precinct is Warrnambool's primary eastern entrance (Princes Highway).

Council adopted the Warrnambool Eastern Activity Precinct Structure Plan in September 2016, which guides development within the precinct. The structure plan aims to develop the precinct as a mixed use activity centre, comprising a range of retail, bulky goods, office employment and diverse housing opportunities consolidating the precinct as a major activity

centre, secondary to and supporting the primary retail role of City Centre. The Eastern Activity Precinct will comprise a range of neighbourhoods, an urban core and network of linked open spaces.

The structure plan is also supported by a shared infrastructure plan which identifies infrastructure requirements and funding mechanisms.

A planning scheme amendment is currently being prepared to implement the structure plan into the Warrnambool Planning Scheme.

Recommendations:
R19 Continue to pursue implementation of the Eastern Activity Precinct structure plan into the planning scheme.

4.2.10 Warrnambool Floodplain Management Plan 2018-2023

The Warrnambool Floodplain Management Plan 2018-2023 was adopted by Council on 3 December 2018. The plan follows on from extensive flood investigations and works across the municipality. The plan has been developed in the context of the Victorian Floodplain Management Strategy (2016) and Draft Regional Floodplain Management Strategy (2017) in particular, but also in the context of a range of other strategic and technical studies.

The top 10 priority actions in the plan area as follows:

1. Establish an operating procedure for North Warrnambool flood levees.
2. Undertake Warrnambool coastal flood investigation.
3. Develop a flood response plan template for residents.
4. Undertake Woodford flood investigation.
5. Implement a Flood Warning System for Russell's Creek.
6. Undertake Allansford flood investigation.
7. Install backflow prevention for Tooram Lane outfall.
8. Undertake community flood education engagement activities.
9. Undertake Russell's Creek crossing assessment.
10. Warrnambool flood models integration.

It is likely that a number of these actions will have a direct relevance to matters in the Warrnambool Planning Scheme and key priority actions should be reviewed for inclusion when the next review of the local planning policy framework is undertaken.

4.2.11 Other Studies

Council has adopted other strategies that may have varying levels of influence on land use planning in Warrnambool City. These include the:

- **Belfast Coastal Management Plan (2018):** A plan to guide the direction and strategic approach to managing an area of public land between Port Fairy and Warrnambool known as the Belfast Coastal Reserve.
- **City Centre Parking Strategy (2015):** a strategy to provide direction and strategic framework for the future supply and management of on and off street parking in Warrnambool's City Centre.
- **Warrnambool Economic Development & Investment Strategy 2015-2020:** A strategy to provide direction and promotion of the many initiatives considered most necessary to ensure continued growth and prosperity of the local economy.
- **Warrnambool City Council Heatwave Plan (2012) – updated 2015:** A long term approach to reduce the scale of climate change and decrease its impact by adapting the built environment.
- **Resource Recovery, Waste Minimisation and Management strategy 2017-2021:** an operational document outlining practical actions and steps that will assist in achieving the waste hierarchy of avoid and minimise, reuse, recycle, and energy recovery and dispose.

- **Warrnambool Botanic Gardens Master Plan (2017):** A masterplan to guide future improvement, development, and management of the gardens for the next 15 years.
- **Warrnambool Harbour Master Plan (2018):** A plan to guide and coordinate future development of the harbour and adjacent foreshore through staged implementation by Warrnambool City Council and the Department of Transport, Planning and Local Infrastructure – Local Ports.
- **Road Users Plan:** A strategy to provide a summary of crash statistics, road safety issued identified in conjunction with stakeholders, and an action plan which includes guidance on road safety issues, and aims to provide a safe and connected City.
- **Pathways Asset Management Plan (2017):** a plan that outlines the processes and key elements required for achieving Council's vision for the service provided by pathways and infrastructure asset management.

It is likely that a number of these plans/strategies will have a direct relevance to matters in the Warrnambool Planning Scheme and key objectives, strategies and priority actions should be reviewed for inclusion when the next review of the local planning policy framework is undertaken.

4.3 Current Strategic Projects

4.3.1 Advertising Signage Policy

The development of an Advertising Signage Policy commenced in late 2017. The purpose of the policy is to guide decision making when considering planning applications for advertising signage. The Planning Scheme Re-write project in 2015 identified the need to undertake this work to ensure a high standard of signage design. This need has since been further highlighted by several applicant appeals to VCAT regarding Council's decisions on advertising signs.

It is anticipated the policy will be finalised in 2019 and, once adopted by Council, will be implemented into the planning scheme.

4.3.2 Warrnambool Social Housing Planning Project

Council is currently undertaking a Social Housing Planning Project. The project is funded through the Social Housing Investment Planning program run by the Department of Human Services. The project will explore mechanisms to increase social housing within the municipality.

The finalisation of the project is anticipated in the second half of 2019.

4.3.3 Allansford Strategic Framework Plan

In context of continuing to plan for strategic issues affecting townships within the municipality, Council is currently preparing a strategic framework plan for the Township of Allansford. The plan is partly funded by the Victorian Planning Authority (VPA).

The plan will build on work previously undertaken as part of the Allansford Urban Design Framework Plan (2003), Warrnambool City Wide Housing Strategy (2013), Warrnambool Open Space Strategy (2014) and Warrnambool 2040 Community Plan.

The plan will need to address stormwater, drainage and flooding constraints within the township, confirm infrastructure requirements to service development, and identify options to improve open space connectivity. The plan will also need to address flora and fauna and cultural heritage matters.

Work on this strategic framework plan has commenced and is anticipated to be completed within 12 months.

4.3.4 East of Aberline Precinct Structure Plan

In context of continuing to plan for long term residential growth of the municipality, Council is preparing a structure plan for the Aberline to Horne Road growth corridor. The plan is being prepared by the Victorian Planning Authority (VPA) in conjunction with Council.

Work on this structure plan commenced in 2017, with Council commissioning technical reports on flooding and drainage, traffic impact, flora and fauna, cultural heritage, infrastructure and servicing, bushfire and land contamination. These reports will inform land use and development options within the precinct. A comprehensive engagement process involving landowners, stakeholders and government agencies will commence in the first quarter of 2019.

The structure plan is anticipated to be completed within the next 12 months.

4.3.5 Flood Study – Part 2

A review of Warrnambool flood controls was undertaken by Council and the Glenelg Hopkins Catchment Management Authority. The review was used to assess changes required to flood risk levels within the Russell Creek and Merri River catchments.

Implementation of the revised flood levels is anticipated to be progressed throughout 2019.

4.3.6 Environmental Significance Overlay Review

A review of the Environmental Significance Overlay (ESO) was initiated in March 2018 based on a recommendation of the 2015 Planning Scheme Rewrite Project, which identified anomalies with the ordinance and mapping.

The ESO is a key planning tool in the Warrnambool Planning Scheme to assist Council, the local community, and key stakeholders to identify and address areas containing environmental constraints to development or other ecological values. There are currently four (4) Schedules to the ESO, which basically focus on significant water bodies within the municipality, including the coastline, rivers and wetlands.

The purpose of the ESO review is to ensure that the ordinance and mapping is consistent with other provisions of the Warrnambool Planning Scheme, including new strategic directions related to environment. The review will be the first major evaluation of the ESO since the Warrnambool Planning Scheme commenced in 1999.

The ESO review is being undertaken in consultation with DELWP and Glenelg Hopkins Catchment Authority and is anticipated to be completed in 2019.

As identified in Chapter 3, the new Ministerial Direction on the Form and Content of Planning Schemes will require substantial re-write of the four existing schedules.

Recommendation:
R20 Upon adoption of the Environmental Significance Review, update ordinance and mapping, as necessary.

4.3.7 Housing Diversity Strategy

The Warrnambool City-Wide Housing Strategy (2013) recommends the development of an Infill / Housing Diversity Strategy to address an identified lack of housing diversity in the municipality. This is further supported by Warrnambool 2040 which contains a strategic vision and direction on population growth, with further population growth to be guided to established areas to support the objective of creating a compact city.

The Housing Diversity Strategy will set out a strategic framework to assist with managing housing growth and change in the established suburbs of the municipality. The strategy will also respond to the changing demographic profile of the municipality and shifts in household sizes. The development of the strategy has commenced.

4.3.8 Open Space Contributions Policy

Open space contributions collected through the subdivision process are an important source of funds for purchasing and developing open space in Warrnambool. At present, Council uses a range of mechanisms to collect open space contributions, including via development contribution plans, Section 173 agreements, and in accordance with the requirements of the Subdivision Act. Contributions collected under the Subdivision Act must be justified and assessed on a case by case basis, and are open to the appeals process.

The Warrnambool Open Space Strategy (2014) recommends the development of an Open Space Contributions policy to provide a clear and consistent framework for the collection and spending of open space contributions.

A review of the collection, administration and spending of open space contributions is being undertaken, including a draft Open Space Contributions Policy. It is anticipated the policy review will be finalised in the first half of 2019.

Recommendation:
R21 Upon adoption of the Open Space Contributions Policy, pursue implementation in the planning scheme.

4.3.9 South of Merri River Open Space Precinct Plan

The South Merri River Open Space Precinct Plan is a recommendation of the Warrnambool Open Space Strategy (2014). A review of the Open Space strategy in 2017 identified it as one of the highest outstanding priorities yet to be implemented.

The purpose of the project is to improve the connectivity of open spaces between Manuka Drive Reserve and Queens Road Reserve on the south side of the Merri River in Warrnambool. The open spaces adjoining this section of the river are within walking distance of a large number of residents, but are currently underdeveloped. They also provide a potential link between the Russell's Creek walking trail and future North of the Merri walking trail.

Work on the South Merri Open Space Precinct plan has commenced and it is anticipated it will be completed in 2019.

4.3.10 Active Warrnambool

Council is directly responsible for the planning, development and management of a high number of sport reserves, and sports fields and supporting infrastructure located on them.

Council has commenced a comprehensive process to understand and analyse the current and future sporting needs of municipal residents, and to compare these with not only the current provision of facilities but also the distribution of these facilities throughout the municipality and their capacity to absorb the projected population.

The strategy known as Active Warrnambool will replace the Warrnambool Recreation Plan 2007-17. It will inform Council's planning and provision of sport, recreation and physical activity for the next ten years.

4.3.11 Play Space Strategy

The Warrnambool Play Space Strategy will help guide Council's investment in the city's play spaces for the next 15 years. The municipality has 58 public playgrounds in parks, recreation reserves and other open spaces areas. The strategy will provide a framework for the ongoing planning, design and management of the municipal public playgrounds and play spaces.

4.3.12 Principal Pedestrian Network

One of the key objectives identified in Warrnambool's Sustainable Transport Strategy is to strengthen the pedestrian network so as to increase walking trips. This would be achieved by identifying missing gaps in paths and pedestrian infrastructure, and ensuring walking paths are safe, convenient and attractive, and that guidance for walkers is clear.

Council is building on the above directive by developing a Principal Pedestrian Network (PPN) across the municipality. The aim of the PPN is to increase the amount of local trips undertaken on foot. The development and implementation of the PPN also aims to:

- Promote forms of transport with the lowest impact on the environment, health and well-being,
- Reduce the use of private motor vehicles transport for short, local trips, and
- Facilitate better access to, and greater mobility within local communities.

Once adopted, the PPN should be reviewed for implementation into the Warrnambool Planning Scheme. The PPN will also be used to inform the Housing Diversity Strategy (See section 4.3.7 above).

Recommendation:
R22 Review the Principal Pedestrian Network (once adopted) for implementation into the planning scheme.

4.4 Other Strategic Plans

Council is also in the process of development of a number of other strategic plans including:

- Warrnambool Coastal Management Plan – updated 2018
- Coastal Hazard Assessment (in conjunction with DELWP)
- Foreshore Precinct Plan
- Principal Bicycle Network
- Lake Pertobe Master Plan
- The Great South Coast Food and Fibre Plan
- The Great Ocean Road Regional Tourism Strategic Plan
- Wayfinding strategy

It is likely that a number of these plans will have a direct relevance to matters in the Warrnambool Planning Scheme, and once adopted, should be reviewed for future implementation.

4.5 Conclusions

The proceeding analysis clearly demonstrates that Council has advanced an extensive program of strategic work since the 2014 Planning Scheme Review. This work highlights Council's proactive approach to responding to State Government reform and addressing localised issues within the municipality through the planning system. Much of this work has immediate and future implications for the Warrnambool Planning Scheme. Council will continuously review the planning scheme to ensure it remains relevant and reflects current strategic directions, objectives and strategies

Implementation of the above strategic work should be prioritised and scheduled to ensure issues are addressed in a comprehensive and coordinated manner. This review report outlines a proposed in the Executive Summary.

5 MAJOR PLANNING ISSUES FACING THE MUNICIPALITY

5.1 Strategic Context (Warrnambool 2040 Community Plan and Green Warrnambool)

The Warrnambool 2040 – Community Plan and Green Warrnambool were adopted by Council in 2018. The plans set a vision for the City of Warrnambool and identify community and Council goals that will drive a series of priorities and actions over the coming years. These priorities have been developed following extensive community and stakeholder engagement processes.

A number of these initiatives have relevance to the Warrnambool Planning Scheme and planning processes, and are therefore considered in this 2018 Review. A number of these initiatives are currently underway, but some will require further strategic work.

5.1.1 Warrnambool 2040 Community Plan

As discussed in Chapter 4, Warrnambool 2040 Community Plan captures the community's shared values, goals and priorities for the next twenty-plus years around four principle themes: Our People, Our Place, Our Economy and Our Environment. Each of these themes and associated planning issues is discussed below.

Our People

In 2040 Warrnambool will be a City where all people thrive. Key directions relating to this vision includes:

- Providing appropriate community facilities to support population growth.
- Improving community connectedness and sense of place given the projected population growth, particularly in neighbourhoods that have a relatively stable population growth in the last decades.
- Providing strategies/objectives to increase health, wellbeing and safety outcomes through planning mechanisms.
- Increasing recognition of Warrnambool as a healthy city.
- Providing strategies/objectives to consolidate community facilities in and around community anchors.
- Ensuring access, inclusion and equity in the community underpins planning mechanisms.
- Delivering public open space that meets community active needs.

Our Place

In 2040 Warrnambool will be Australia's most liveable regional city. Key directions relating to this vision includes:

- Providing a compact city (compact, non-car dependent, city form) where population is accommodated within the growth boundary that existed in 2017
- Delivering a diversity of housing that is both accessible and more affordable and social housing is available.
- Providing greater direction for the preferred locations for housing growth and densities.
- Increasing the number of residents that live in Central Warrnambool from 3800 to 10,000 by 2040.
- Upgrading walking and cycling infrastructure across the municipality to improve safety and accessibility outcomes.
- Improving public transport connections to key locations to discourage use of private vehicles.
- All daily destinations (work, school, shopping, recreation, health services) are all accessible in less than 20 minutes of sustainable travel.
- Providing more guidance for parking requirements.
- Responding to emerging transport technology such as autonomous vehicles.
- Delivering more high quality, public places/facilities/infrastructure.

Our Economy

In 2040 Warrnambool will be Australia's most resilient and thriving regional economy. Key directions relating to this vision includes:

- Responding to digital/smart city concept.
- Providing greater support for local businesses throughout the municipality and not just in identified activity centres.
- Providing greater employment opportunities in activity centres and/or close to home
- Provide greater direction to achieve a minimum of 15 years supply of undeveloped land (commercial, industrial and residential).

Our Environment

In 2040 Warrnambool will be Australia's most sustainable city. Key directions relating to this vision includes:

- Improving tree canopy, including improving the biodiversity of the municipality's green spaces.
- Increasing the uptake of renewable energy and improving energy efficiency.
- Providing greater focus on sustainability and resilience to climate change impacts.
- Ensuring environmentally sustainable design principles used for all new developments and upgrades.
- Ensuring water sensitive design principles are used in all infrastructure and open space development and upgrades.
- Providing more guidance on waste management.
- Ensuring the significance of the Merri River as an open space corridor is recognised in planning mechanisms.

5.1.2 Green Warrnambool

As discussed in Chapter 4, Green Warrnambool sets an ambitious vision for the municipality of Warrnambool that by the year 2040: *Warrnambool will be the most sustainable regional city in Australia*. It guides a suite of new and existing strategic plans and actions over six themes: Zero Warrnambool, Adaptable Warrnambool, Wise Warrnambool, Natural Warrnambool, Blue Warrnambool, and Green Warrnambool. Each of these themes and associated planning issues is discussed below:

Zero Warrnambool

In 2040 Warrnambool will demonstrate innovative, smart solutions to achieve zero net emissions for a renewable future. Key directions to achieve this vision include:

- Developing and implementing strategies/objectives to ensure Warrnambool has zero net greenhouse gas emissions
- Developing and implementing strategies/objectives to achieve a Zero Net Carbon Housing Development.
- Developing and implementing strategies/objectives to ensure homes and businesses use renewable energy for their energy needs.

Adaptable Warrnambool

By 2040 Warrnambool will be adapted to the impacts of climate change. Key directions to achieve this vision include:

- Ensuring ESD principles are used for all new developments and upgrades.
- Recognising coastal risks in planning mechanisms.
- Ensuring there are climate resilient playgrounds

Wise Warrnambool

In 2040 Warrnambool is a wise city that wastes not. Key directions to achieve this vision include:

- Investigate automated and centralised resource collection systems to integrate across the City to reduce waste to landfill.
- Development of the Warrnambool Pollution Solution Plan and information program to prevent littering, air pollution, and wastewater or waterway pollution.

Natural Warrnambool

In 2040 Warrnambool will restore, maintain and enhance its natural environment. Key directions to achieve this vision include:

- Develop Warrnambool's Biodiversity Plan including the collation of baseline data.
- Develop Pest Plant & Animal Management Framework.
- Ensure the protection and maintenance of existing established vegetation.
- Develop a Cultural Landscapes and Heritage Strategy.

Blue Warrnambool

In 2040 Warrnambool will care for and revegetate our waterways, our coast and marine environment. Key directions to achieve this vision include:

- Develop a Green-Blue City Plan for Warrnambool to provide a framework for integrated water management and incorporate Water Sensitive Urban Design into residential and commercial development.
- Neighbourhood scale solutions for stormwater treatment and reuse.
- Contribute to management and protection of groundwater systems.
- Develop strategies for increasing riparian protection activities.
- Develop policy that recognises the Merri River as a significant open space corridor.
- Implement the North Dennington and North Merri Structure Plans.
- Undertake an Open Space Precinct Plan for public land on the Merri River between Queens Road and Manuka Drive

Green Warrnambool

In 2040 Warrnambool will be connected by green infrastructure and corridors of urban forest to support resilient and connected biodiversity. Key directions to achieve this vision include:

- Warrnambool urban areas will have 30% vegetation canopy cover through greening of infrastructure and tree planting.
- Provide a strategic framework for agricultural and rural land use so that productive agricultural and rural land is protected.

5.1.3 Conclusion and Recommendations

The Warrnambool 2040 Community Plan and Green Warrnambool contain a number of directions around a range of issues. Several of these directions are already the subject of strategic work currently being undertaken by Council which is likely to inform changes to the Warrnambool Planning Scheme.

The major issues raised include:

- The challenges of balancing population growth and economic development with managing environmental risks and protecting environmental, heritage, character, amenity and cultural values.
- Existing and emerging issues with community infrastructure, facilities and services, particularly in relation to the need for such items to keep pace with population growth and changing community expectations.

- The provision and availability of affordable and social housing.
- Land use and built form guidance to facilitate a compact city. Need to ensure population growth is accommodated within existing settlement boundaries, close to public transport and high amenity areas such as open space, and within 20 minutes of all daily destinations. It must also include the delivery of a diversity of housing types and forms and respond to demographic changes and changes to household sizes
- Increasing tree canopy cover in association with residential growth.
- Emerging issues of digital/smart city. Need to consider the nature, challenges and opportunities to accommodate changing technology and materials.
- Maintaining a minimum of 15 years supply of undeveloped land for commercial, industrial and residential purposes.
- Consideration of increasing the uptake of Renewable Energy.
- Consideration of Environmental Sustainable Design (ESD) in all new developments to ensure that developments are sustainably designed and minimise impacts on the natural environment.
- Consideration of Climate Change and likely impacts to ensure the municipality is sustainable and resilient, in particular coastal risks (e.g., sea level rise).
- Increasing tree canopy across the municipality to improve biodiversity and reduce urban heat island effects.
- Providing walking and cycling infrastructure across the municipality.
- The costs and community expectations for improved infrastructure, including new roads and pathways.
- Community expectations on open space and recreation facilities.
- Consideration of elevating the significance of the Merri River as an open space corridor in the planning scheme.
- Stormwater guidance in the municipality. How to incorporate integrated water management and incorporate Water Sensitive Urban Design in new residential, commercial and industrial developments.
- Rural land use guidance. Need to consider rural land use trends and issues to inform a strategic framework for agricultural and rural land use.

As discussed in Chapters 2 and 4 the following strategies that are currently underway will go some way to address a number of these issues.

- **Warrnambool Housing Diversity Strategy**. Whilst this primarily focuses on housing, the strategy will consider a framework that will contribute to the creation of a more compact urban form.
- **Warrnambool Social Housing Planning Project**. The project will consider how the supply of social housing can be increased.
- **Principal Pedestrian Network** (note this is a recommendation of Warrnambool 2040 Community Plan) – This should address pedestrian infrastructure and identify priorities to improve pedestrian networks.
- **Principal Cycling Network** (note this is a recommendation of Warrnambool 2040 Community Plan) – This should address cycling infrastructure and identify priorities to improve cycling networks
- **Active Warrnambool** (note this is a recommendation of Warrnambool 2040 Community Plan) and Play Space Strategy will address changing demands and expectations on open space and recreation facilities.
- **Open Space Contributions Policy** will provide equitable mechanisms to collect and spend open space contributions from new subdivisions
- **South Merri River Open Space Precinct Plan** (note this is a recommendation of Green Warrnambool).

Further strategic work that would assist in addressing some of the directions include:

- **A Biodiversity Plan** to provide guidance and direction on the management of biodiversity across the municipality. .
- **An assessment /mapping of tree canopy cover in Warrnambool**, and in particular, an assessment of the effectiveness of tree canopy cover in accordance with endorsed Landscape Plans
- **An Environmental Sustainable Development Policy** to enable inclusion of key sustainability performance indicators into the planning permit approvals process.
- **Monitoring of Commercial and Industrial land supply** to ensure 15 year land supply in the municipality (note residential land supply monitoring is already being undertaken).

Recommendations:
R23 Consider the following strategic projects as part of future work program:
- A biodiversity Plan (this is a recommendation of Green Warrnambool)
- An assessment /mapping of tree canopy cover in Warrnambool.

- An Environmental Sustainable Development Policy (this is a recommendation of Green Warrnambool.

R24 Undertake monitoring of commercial and industrial land supply to ensure the municipality maintains 15 years supply.

5.2 Planning Scheme Performance

It is considered premature to assess the full impact of the Local Planning Policy Framework (LPPF) given that the current Structure was introduced in September 2016 through Amendment C93. Early indications are that the measures introduced through Amendment C93 (such as a streamlined LPPF that provides local guidance to each of the SPPF themes) have assisted in providing more consistent and efficient decision making. Ongoing monitoring will be undertaken through the next review period.

The following areas have been identified where the Warrnambool Planning Scheme could be improved:

- Farming zone controls - should be reviewed to address the inconsistency between the 15ha minimum lot size for subdivision in the Farming Zone Schedule with the State and local policy directions to protect agricultural land.
- Infill residential development controls, which should be revised to include policy direction on neighbourhood character and views.
- Policy direction on community facility and service uses such as gyms, dance schools and similar uses which are locating in areas zoned for industrial and commercial uses.
- Biodiversity controls should be strengthened.

5.2.2 Review of VCAT Decisions

Between June 2014 (the conclusion of the last review) and December 2018, approximately 16 cases have been heard before the Planning and Environment List at VCAT dealing with matters determined by Council. Council officers internally record the outcomes of any VCAT decisions that have significance from a policy view, and that may impact the performance of the Warrnambool Planning Scheme.

An analysis of these significant decisions has identified several policy matters, some of which have relevance on the performance of the Warrnambool Planning Scheme. Upon review of merits proceedings where Council had determined to refuse or approve an application, VCAT set aside (rejected) the Council decision in about 25% of all applications for review in this class. There were a total of 10 matters before VCAT which related to Council's Refusal to Grant a Planning Permit. Of these matters, the Tribunal set aside the Council's decision on 3 occasions (or in 30% of all instances).

The issues identified through VCAT decisions relate to:

- Farming Zone controls, specifically the 15ha minimum subdivision area in the Schedule.
- Infill residential development (neighbourhood character and views).
- Advertising signs, particularly electronic major promotion signs

5.2.3 Planning Issue 1: Rural subdivision

The State policy directions in the Warrnambool Planning Scheme seek to ensure that rural areas are protected to ensure agricultural uses remain viable. From a local policy perspective, the planning scheme seeks the preservation of agricultural land in large areas so as to sustain the agricultural economy of the area and support those industries that rely on agricultural products for processing. Furthermore, retaining agricultural land is deemed necessary to ensure the City's unique rural character is protected from urban development.

An inconsistency has been identified between the above State and local policy directions and the Farming Zone controls, which allows a 15 ha minimum lot size for subdivision. This minimum lot size is generally too small to sustain viable agriculture production, and is significantly smaller than the default 40 ha minimum in the Farming Zone, and is smaller than

other regional planning schemes. The basis of the 15ha minimum lot size is unclear. It is a long-standing provision pre-dating the introduction of the VPP format planning scheme in 1999.

The 15ha minimum lot size for subdivision has created conflict when assessing a subdivision where the original lot size is able to contribute to agriculture production. The 15ha minimum lot size is also considered to be in conflict with Council's local policy position within the Planning Scheme which seeks to protect productive agricultural land.

As demonstrated in Fala Park Pty Ltd v Warrnambool CC [2015] VCAT 1380, where Council refused a planning permit to subdivide rural land into three lots with each having an area of 15ha, 15.02ha and 20.69ha at 340 Wollaston Road, Warrnambool, VCAT overturned this decision for the following reasons:

3. In this case, the Council and the objectors submit that the proposal constitutes the subdivision of a viable agricultural land parcel into three lots, each of which will be too small to sustain viable agricultural use. The Council and the objectors submit that the proposal is in reality an attempt to create a rural/residential subdivision in an area not identified for that purpose in the planning scheme. The applicant however submits that the proposal demonstrates substantial compliance with the relevant provisions of the planning scheme especially in terms of minimum lot size. The applicant submits that Council and the objectors have misconstrued the application and their opposition to the proposal reflects erroneous assumptions about what is proposed.

4. Largely the submissions by both the Council and the objectors reflect dissatisfaction with the planning scheme, especially the 15 ha minimum lot size applying to all land in the Farming Zone. The specification of a minimum lot size in this municipality is however the responsibility of the Council. If the Council considers that a larger minimum lot size is required to protect productive agricultural land, the onus rests with the Council to amend its planning scheme accordingly. It has not done that. In assessing this application therefore, I am required to apply the planning scheme as I find it.
.....
16 I observe that the 15 ha minimum lot size has formed the basis of the Council's approach to the planning of its agricultural areas for a very long time. The Council has not demonstrated any desire to amend the minimum lot size over that time. I am entitled therefore to proceed on the basis that the Council continues to regard 15 ha as a reasonable minimum lot size to give effect to the zone purpose and policy objectives for its agricultural areas.

Owing to the above VCAT decision, Council has received a number of planning applications to subdivide productive rural land at the minimum lot size. The decision reinforces that further strategic work is required to prepare guidance on the future of rural land in the municipality. This further guidance could form part of work that is proposed in green wedge planning or rural land use strategy, if funding can be achieved.

5.2.4 Planning Issue 2: Residential Development

The LPPF of the Warrnambool Planning Scheme implements a number of strategies that provide guidance on residential development, including

- The Warrnambool City-Wide Housing Strategy 2013 provides a contemporary strategic framework for residential development across the municipality until the year 2031.
- The Warrnambool City Centre Revitalisation Structure Plan (July 2012) provides guidance on growth and change, including residential development, in the City Centre over the next 20-25 years.
- The Warrnambool City Council Heritage Guidelines and Precinct Statements of Significance (December 2012) provides guidance on important design techniques for new residential development.

There is clear support for the above documents and their approach to residential development, as demonstrated by the following significant VCAT cases:

- **Harper v Warrnambool CC [2016] VCAT 194 (16 February 2016)** where the Tribunal supported Council's Notice of Decision to Grant a Permit for the construction of two double storey dwellings at 46 Banyan Street:

  "While Clause 22 of the planning scheme does not include other local policies directly relating to the site, the Warrnambool City Wide Housing Strategy (2013) identifies that housing diversity will be enhanced by new development in growth areas and through infill opportunities. Consistent with this also, the Council encourages development in established urban areas to reduce expansion pressure on the city, where such development

complements heritage character. This is also espoused through the Warrnambool City Centre Structure Plan (July 2012) in which Banyan Street is recommended for a maximum three-storey development height subject to the protecting scale and character in accordance with the Heritage Overlay. On this basis alone, double-storey development is not discouraged."

- **Blanch v Warrnambool CC [2016] VCAT 881 (30 May 2016)** where the Tribunal decided against Council's Notice of Decision to Grant a Permit for the demolition of part of the existing dwelling, construction of alterations and additions to that dwelling, construction of a second dwelling and subdivision of the land into two allotments at 61 Ocean Grove, Warrnambool. Council favoured the proposal based on support from Council's Heritage Advisor, but this advice did not take into account directions contained in the Warrnambool City Council Heritage Guidelines and Precinct Statements of Significance (December 2012)]:

  "The proposed additions to the existing dwelling on the review site do precisely what is discouraged by the heritage guidelines [Warrnambool City Council Heritage Guidelines and Precinct Statements of Significance (December 2012)]. They dramatically alter the scale of the dwelling, due to their level of visibility in the streetscape, and the extent to which they extend higher than and are visible over the existing roofline. The proposed additions fail to maintain the historic scale of the dwelling, and turn what is a very modest low scale building into one of significant scale."

The majority of appeals to VCAT (by developers or objectors) relate to residential applications in Warrnambool. It is therefore important to further refine the residential framework in the Warrnambool Planning Scheme, and it is considered the following matters should be reviewed:

a. Respect for Neighbourhood character

Neighbourhood character is often considered subjective, and can often lead to a difference of opinion on how a new residential development (single dwelling, multi-unit, two or more dwellings) responds to its neighbourhood character context. A number of recent VCAT decisions highlight the need for a neighbourhood character study to be undertaken. In the absence of a neighbourhood character study that clearly articulates the existing and preferred neighbourhood character of parts of the municipality, assessment of residential development will continue to be limited to a subjective analysis that may result in further objector challenges to VCAT.

b. Consideration of Views

Views from private dwellings and/or public realm can have considerable value. In Blanch v Warrnambool CC [2016] VCAT 881 (30 May 2016) for demolition of part of the existing dwelling, construction of alterations and additions to that dwelling, construction of a second dwelling and subdivision of land in two allotments at 61 Ocean Grove, Warrnambool the Tribunal decided against Council's arguments that ocean views were reasonably shared and protected:

"30. How one is to consider and assess what is a reasonable sharing of views was explored in the decision of Healy v Surf Coast SC. Often quoted from that decision are the relevant principles which were refined as follows:

a) there is no legal right to a view;
b) views form part of the existing amenity of a property and their loss is a relevant consideration to take into account;
c) the availability of views must be considered in the light of what constitutes a reasonable sharing of those views;
d) in addressing the concept of "reasonableness", it is relevant to consider
  i) the importance of the view to be lost within the overall panorama available; and
  ii) whether those objecting have taken all appropriate steps to optimise development of their own properties.
e) added emphasis will be placed on principles (b) and (c) above if the issue of views is specifically addressed in the planning scheme.

31…….. Policy for the Inner Warrnambool Area, which includes the review site, includes the following:

Promote view sharing between properties.

32. I consider that such a policy means that the issue of views is specifically addressed in the planning scheme, and therefore I should place added emphasis on principles (b) and (c) from the Healy decision.

33. …….. the proposed development will impact on views from the public realm. I accept this is a relevant consideration as the Housing policies in the planning scheme specifically address this issue, and there is evidence that this residential estate was designed to allow for such views.

The reasonable sharing of views was also discussed in Merri Designs Pty Ltd v Warrnambool CC [2015] VCAT 780 (1 June 2015) for the construction of a second dwelling at the rear of the existing dwelling and two lot subdivision at 26 Alison Avenue, Warrnambool where the Tribunal decided in favour of Council's refusal to grant a permit:

41 In my opinion the proposal to locate the living area over the garage tips the balance against the equitable sharing of views. I would have thought a redesign which locates this floor area south of the main building would be a much better outcome. I did give some thought of requiring changes such as the deletion of the living area proposed over the garage but I think a redesign would be a better solution than simply trimming areas off the existing proposal.

Further guidance on the above issues could form part of the work that is proposed for the Neighbourhood Character Study and View Sharing Analysis.

5.2.5 Planning Issue 3: Community related uses in Industrial and Commercial Zones

There is an emerging trend in the municipality for the use of community related uses such as gyms, dance schools and similar uses locating in industrial and commercial zones. These uses may be suitable in some areas, especially during non-business hours (i.e. weekends), however additional concerns are with these uses including how they impact on existing commercial and industrial activities. With limited supply of industrial and commercial land available for employment and business generation, there is a need to further investigate where community related uses can appropriately operate.

Recommendation
R25 Investigate how to provide guidance to developers with respect to preferred locations for community related uses including gyms, dance schools, and similar uses (through planning policy and/or advice).

5.2.6 Planning Issue 4: Advertising Signs

Another area of significance at VCAT was in relation to major promotional electronic signage in prominent locations in the municipality, such as at 1157 Raglan Parade, Warrnambool (O.S.O International Pty Ltd v Warrnambool CC [2017] VCAT 318.

In this case, Council failed to make a decision within the prescribed time. The Council subsequently determined its position would have been to refuse the application for the major promotional electronic signage on the Raglan Parade frontage of the site, based on the sign not achieving a high visual standard appropriate to the importance of Raglan Parade as a major route through Warrnambool and as sought by policies and provisions of the planning scheme. The Tribunal decided against Council noting:

The policies seeking to develop or enhance major transport routes and the 'boulevard entrance' to Warrnambool need to be applied in the context of the commercial character of the area. This does not mean that an 'anything goes' approach should be adopted, but the commercial context and character of the area allow for more robust signage than might other areas along the major transport routes and boulevard.

This decision further reinforced the need for a policy position, which will be implemented through a new Advertising Signage Policy.

Recommendation
R26 That advertising signs, and the effect of the new Advertising Signage Policy, when introduced, be

reviewed as part of the next planning scheme review.

5.2.7 Planning Issue 5: Biodiversity Controls

The natural environment is a key defining feature of the municipality of Warrnambool, with its rugged coastlines, the Merri and Hopkins Rivers, and expansive basaltic and alluvial plains. These areas provide habitat for native flora and fauna, including rare and threatened species. It has been identified that there is a need to further strengthen biodiversity controls through more policy guidance in the planning scheme, particularly in response to the new Victorian Biodiversity Strategy which was introduced in to the state policy section of the planning scheme in December 2017.

Recommendation
R27 That biodiversity controls in the planning scheme be reviewed having regard to the Victorian Biodiversity Strategy.

5.3 Review of Planning Panel Recommendations

Since the last Planning Scheme Review in 2014, 5 separate planning scheme amendments were referred to an Independent Panel for consideration. Broadly, the Panel supported these planning scheme amendments, either as exhibited or subject to minor modifications. The amendments included:

Amendment C73 Part 2 Heritage Gap Study
Amendment C93 Planning Scheme Rewrite
Amendments C94, C96, C97 West Warrnambool Industrial Precinct
Amendment C99 53-59 Raglan Parade
Amendment C102 678-688 Reglan Parade (Former Fire Station)

The support for these amendments from independent Planning Panels reflects the extensive strategic planning work that has previously been undertaken by Warrnambool City Council in relation to activity centres, housing growth and change, and improving the Warrnambool Planning Scheme. This is highlighted in Amendment C93, where the independent Planning Panel made the following observation:

Council has carried out a substantial body of strategic work in conducting the planning scheme review and preparing the Amendment. The work complies with the requirements of all relevant Ministerial Directions and Planning Practice notes and the process carried out by Council is to be commended as one of the best examples of a thorough planning scheme review seen by the Panel members.

No major issues have been identified from the review of recent Planning Panel Reports.

6. THE EFFECTIVENESS OF THE WARRNAMBOOL LPPF

6.1 The role of the MSS

The Practice Note (No. 4), "Writing a Municipal Strategic Statement" discusses the role of the Municipal Strategic Statement (MSS). The MSS establishes the strategic framework for the municipality of Warrnambool and it should support and implement the former SPPF (now the PPF). The PPF and MSS together provide the strategic basis for the application of zones and overlays in the Warrnambool Planning Scheme.

The MSS provides the broad local policy basis for making decisions under the Planning Scheme. The MSS should be continually refined as the planning authority develops and revises its strategic direction and as new issues arise in the municipality.

The MSS must be taken into account when preparing amendments to a planning scheme or making decisions under a scheme. The role of an MSS is quite different from the role of a Local Planning Policy.

6.2 MSS Structure

Practice Note 4 recommends a particular format for the MSS, based on themes and headings in the SPPF. The table below sets out the current recommended format and the format of the Warrnambool Planning Scheme:

Table 3: Analysis of the Existing MSS in the Warrnambool Planning Scheme

Practice Note Format	Warrnambool Format
21.01 Municipal Profile	Clause 21.01 Municipal Profile, Council Vision and Strategic Directions
21.02 Key Issues and Influences	Clause 21.02 Settlement
21.03 Vision – Strategic Framework	Clause 21.03 Environment and Landscape Values
21.04 Settlement	Clause 21.04 Environmental Risks
21.05 Environmental and Landscape Values	Clause 21.05 Natural Resource Management
21.06 Environmental Risks	Clause 21.06 Built Environment and Heritage
21.07 Natural Resource Management	Clause 21.07 Housing
21.08 Built Environment and Heritage	Clause 21.08 Economic Development
21.09 Housing	Clause 21.09 Transport
21.10 Economic Development	Clause 21.10 Infrastructure
21.11 Transport	Clause 21.11 Local Areas
21.12 Infrastructure	
21.13 Local Area Plans	

It is evident from the above analysis that the format of the Warrnambool MSS has a very strong relationship to that of the PPF and Practice Note. While a number of Warrnambool format PPF 'themes' are merged (Municipal Profile, Key Issues and Influences, and Strategic Vision), all of the PPF themes and issues are addressed.

6.3 MSS Content

As the MSS has only been operational since Amendment C93 was approved in late2016, not surprisingly, the 2018 Review has found that there are no pressing issues of existing content that needed to be addressed at the present time.

New and amended State policy introduced through the PPF has been discussed in Chapter 3. Whilst the volume of change has been considerable, much of the change has involved strengthening policy around existing strategic goals or improving its legibility and ease of use. There haven't been any major changes in strategic direction which would conflict with existing policy direction in the MSS, although some revision to the MSS is required to ensure it refers to the most up to date terminology and land use terms. Potential policy gaps from a State policy perspective in the MSS have been discussed in the conclusion of Chapter 4 and include housing affordability, neighbourhood character, and integrated water management.

The existing MSS will need to translated into the new PPF format and it would be prudent to seek for further direction from DELWP prior to undertaking any new updates, restructure or rewrite of the MSS.

6.4 Role of Local Policies

The Practice Note (No.8) describes the purpose a Local Planning Policy (LPP) in the planning schemes. A LPP guides decision making in relation to a specific discretion in a zone or overlay. It helps the responsible authority and other uses of the scheme to understand how a particular discretion is likely to be exercised.

Together with the MSS, local policies form the Local Planning Policy Framework (LPPF) in the planning scheme. The role of an LPP is different from the role of the MSS. Local strategic direction should be contained in the MSS and not the LPP. An LPP guides how discretion in a zone, overlay, or a particular provision will be exercised.

Practice Note 8 identifies that a LPP is not a control in itself and cannot remove the discretion under the relevant zone, overlay or particular provision. However, a Local Planning Policy gives a planning authority an opportunity to state how discretion should or will be exercised under the planning scheme.

6.5 Existing Local Policies

The Local Policies in the current Warrnambool Planning Scheme are:

Clause 22.01 Rural Dwelling Excisions
Clause 22.02 Industrial Development
Clause 22.03 Heritage Precincts

Amendment C93 deleted all but the above three local policies, and where relevant, incorporated the objectives, strategies from the deleted policies into the new MSS.

Table 4: Consistency of Warrnambool Local Policies with Planning Practice Note 8

Warrnambool Planning Scheme local planning policies	Comment on Warrnambool Clause
Clause 22.01 Rural Dwelling Excisions	Structure fairly consistent with advice in Practice Note 8. It contains a number of actions under policy that are essentially criteria or performance measures that should set out how Council's view can be met. The policy contains multiple headings or points - it may be helpful to use additional headings.
Clause 22.02 Industrial Development	Structure fairly consistent with advice in Practice Note 8. The policy contains multiple headings or points - it may be helpful to use additional headings.
Clause 22.03 Heritage Precincts	Structure fairly consistent with advice in Practice Note 8. The policy contains multiple headings or points - it may be helpful to use additional headings.

While the 2018 Review has found that all of the local policies (to varying degrees) remain relevant, the new PPF (see Chapter 3) suggests that all of these will be able to be absorbed into the new PPF structure.

6.6 Conclusions Regarding the MSS and Local Policies

The structure and format of the MSS was significantly modified by Amendment C93 to better reflect current 'best practice' and to better reflect adopted strategic work of Council.

Despite this, the structure will now need to be significantly changed as a result of the State Government Smart Planning Program as discussed in Chapter 3.

The new PPF has now been implemented and it is clear that changes will be required to the structure of the 'front end' of all planning schemes incorporating subsections for state, regional and local considerations. While this is considered to be a logical and well integrated approach, it will require a total restructure of the existing Warrnambool LPPF.

Council is scheduled to receive further direction from DELWP throughout 2019 on necessary structural and formatting changes to the planning scheme. Until this direction is provided, it is not appropriate to commence work to translate the existing content of the MSS and Local Policies to the PPF.

7. STATUTORY PLANNING PROCESS REVIEW

7.1 Background

Statutory planning is undertaken by the City Strategy and Development Unit and is comprised of statutory planning, planning support and a contracted heritage adviser. Statutory planning services include:

- Planning approvals, including development, use and subdivision applications.
- Enforcement of the Warrnambool Planning Scheme.
- Developer and community education.
- Advise Council in its role as Responsible Authority.
- VCAT Hearings.
- Provision of Heritage Advisory Service forward planning policies and programs, including pre application meetings.
- Major development proposals.
- Assessment of Development Plans.

7.2 Context and Trigger Points

Based on activity over the last four (4) financial years Council has processed a total of 1331 planning permit applications with an estimated value at just over $263 million worth of development.

The types and quantity of planning permit applications that were processed by Council include 140 new single dwellings, 317 extensions or alterations to dwellings and other buildings, 53 developments with two or more dwellings (multi dwellings), 164 subdivisions and 67 applications for changes in land use. It is noted that a large proportion of applications are in relation to extensions or alterations to dwellings and other buildings. This is representative of development that is occurring in and around the town centre. Subdivision is another strong category considered in permit applications, reflecting Warrnambool's continued growth.

The trend for the current year to date (July 2018) indicates the estimated value of development from the previous two years has increased from an average of $48 million to $70 million. This potentially indicates that the number of applications for higher intensity development has increased.

7.3 Decisions

The method by which planning permits are decided is considered to be a key general indicator of performance. According to the DELWP statistics on "Planning Activity in Victoria" over the last four financial years, the key characteristics of the City of Warrnambool's planning permit process were:

- 98% approved
- 2% refused
- 1% referred to VCAT

7.4 Performance Indicators

The permits issued by the City of Warrnambool over the last four financial years exhibited the following performance attributes to the regional Council average:

- Public notice – 24% compared to the regional Council average of 40-45%. In the previous review period, an average of 30% of permit applications was subject to public notice. The level of public notification in Warrnambool is lower than the regional Council average due to large number of areas which are covered by the development plan overlay which provides public notice exemptions.

- Further information request – 25% compared to regional Council average of 31-32%. This is an improvement from the previous review period when 31% of applications required further information. Since the last review, Council

has made significant effort to assist the development industry and the community to improve the quality of information accompanying planning applications. The methods include pre-application meetings, application checklists, and improved staff training and approach to applications.

- Application completion within 60 days – 83% compared to the regional Council average of 75%. This is an improvement from the previous review period when 75% of applications were processed within 60 days. Although Council is generally performing better than the regional Council average, it is important to maintain the momentum to process applications within the 60 day period as reduced processing time is a significant factor in customer satisfaction.

The majority of performance gains have been achieved in the last two years (2017 & 2018), which coincides with the implementation of the Local Planning Policy Re-write in September 2016, and due to:

- Pre-application meeting format and streamlining of processes
- Proactive approach to mediation.
- Undertaking a review of all internal tasks and procedures, including report templates and all checklists to improve timeframes in processing applications.
- A transition to a paperless environment. This includes processing of applications, electronic referrals (internal and external), increased use of email, and online storage.

7.5 VicSmart Applications

The introduction of VicSmart provisions has resulted in additional efficiencies for the statutory planning process.

As outlined in Chapter 3, VicSmart is a streamlined process for assessing straightforward planning permit applications and aims to achieve a 10 business day turn around for planning permits. There are no third party notices or review opportunities, application requirements are pre-set and decisions are made under delegation.

Council has processed 87 VicSmart applications since this category was introduced across Victoria in late 2016, expanded in July 2017 and modified again in January 2018. Application numbers received are growing rapidly with 7 in 2015-2016, 30 in 2016-2017 and 50 in 2017-2018. The increase in the number of VicSmart applications is a reflection on the continual improvements made to the system with additional VicSmart classes.

Council is currently processing the majority of VicSmart planning applications within the 10 business day timeframe. As the volume of applications increases, it will be beneficial to gauge through the 2018-19 figures, once they become available, where there has been any significant impact over the past year. It has been suggested at Chapter 3 that there may be opportunities for Council to expand the use of these provisions by developing local classes of application to be included as VicSmart applications

7.6 Development Plans

The municipality of Warrnambool has substantial areas of land covered by the Development Planning Overlay (DPO), particularly the residential growth areas. The assessment, implementation, and ongoing monitoring of development plans approved under the overlay are the responsibility of Statutory Planning.

Some areas of the municipality, particularly infill areas, covered by a DPO have not implemented a development plan. A number of these areas have had a DPO applied for over 10 years. It is a recommendation of this review that those areas without a development plan be identified and, if appropriate, investigate whether the DPO remains relevant.

7.7 Conclusions and recommendations

The 2018 Review has identified no significant issues with statutory planning processes. The performance indicators show that Council is performing well in the assessment of planning permit applications, indicating planning processes under the Warrnambool Planning Scheme are strategically robust.

Council should review the VicSmart figures for the 2018-19 figures, once they become available, to determine if there has been a significant impact on permit processes. If improvements have been made, Council should seek opportunities to expand these provisions by developing local classes of applications.

To ensure the DPO remains relevant, it is recommended that a review of the DPO be undertaken.

Recommendations

R28 Review DPO schedules and mapping to ensure coordinated planning outcomes are still able to be achieved.

8 CONCLUSION & FINAL RECOMMENDATION

As demonstrated throughout this report, the Warrnambool Planning Scheme is in a state of transition. The current strategic base and structure of the LPPF was implemented in September 2016 and will be further transformed through reforms to the structure of the Planning Policy Framework and other changes as a result of the State Government initiated Smart Planning program.

Council has undertaken a comprehensive program of strategic work following latest planning scheme review in 2014. A detailed audit has revealed that, whilst some items were outstanding, many of the recommendations from the 2014 Review have either been completed or substantially progressed. The net result is a wealth of adopted strategic directions which have significant implications for the policies and controls in the planning scheme.

Whilst substantial progress has been made, several major strategic projects remain outstanding. Completion of these projects is imperative to ensuring that clearer direction is provided for emerging and unresolved issues so that the planning scheme remains strategically robust. To this end, outstanding action items from the 2014 Review will be recaptured and integrated into the implementation plan resulting from the 2018 Review.

Ultimately, the need to incorporate strategic work that Council has either commissioned or completed over the inter-review period, along with changes to the structure of policy within the Victoria Planning Provisions, will inevitably require a substantial re-write and restructure of the existing MSS and local policies. Further refinement of zoning and overlay schedules will also be required.

In conclusion the following recommendation is made:

That Council:

- Adopt the 2018 Warrnambool Planning Scheme Review pursuant to Section 12B(1) of the Planning and Environment Act 1987
- Forward the 2018 Warrnambool Planning Scheme Review to the Minister for Planning as required by Section 12B(5) of the Planning and Environment Act 1987.

Appendix 1 STATE AMENDMENTS SINCE 2014

Amendment number	In operation from		Policy implications
VC123	13-Nov-14	The Amendment changes the Victoria Planning Provisions (VPP) and most planning schemes in Victoria by amending Clause 34.02 – Commercial 2 Zone to make small scale supermarkets (up to 1800 square metres) adjoining, or with access to, a Road Zone permissible without a planning permit.	Increase in supermarkets in Commercial 2 Zone.
VC124	2-Apr-15	The Amendment changes the Victoria Planning Provisions (VPP) and all planning schemes by: Amending Clause 19.01-1 'Provision of Renewable Energy' to reference the updated Policy and planning guidelines for development of wind energy facilities in Victoria; Amending Clauses 42.01 'Environmental Significance Overlay', 42.02 'Vegetation Protection Overlay', 42.03 'Significant Landscape Overlay', 44.01 'Erosion Management Overlay', 44.02 'Salinity Management Overlay', 52.16 'Native Vegetation Precinct Plan' and 52.17 'Native Vegetation' to introduce an exemption from requirements to obtain a permit to remove, destroy or lop vegetation; Amending Clause 52.32 'Wind Energy Facility' to reduce the allowable distance of a turbine to a dwelling from two kilometres to one kilometre (consent is required from the owner of a dwelling to locate a turbine closer than one kilometre to the dwelling); and clarify the application of the one kilometre rule to applications for minor amendments to existing permits; and Amending Clause 61.01-1 'Minister is the Responsible Authority' to make the Minister for Planning the responsible authority for all new planning permit applications for the use and development of land for the purpose of a Wind energy facility.	Potential vegetation removal impacts in the ESOs and SLOs.
VC119	30-Apr-15	The Amendment changes the Victoria Planning Provisions and all planning schemes by: Amending Clause 52.38 (2009 Bushfire recovery) to extend the timeframe for continued use of a building for temporary accommodation without a planning permit to 30 September 2018; and Amending Clause 52.39 (2009 Bushfire – Replacement buildings) to extend the timeframe for submitting a site plan to the responsible authority for rebuilding a dwelling, dependent person's unit or building used for agriculture to 30 September 2017.	Bushfire controls and potential native vegetation removal.
VC125	11-Jun-15	The Amendment changes the Victoria Planning Provisions and all planning schemes by: Amending Clause 19.01-1 'Provision of Renewable Energy' to reference the updated Policy and planning guidelines for development of wind energy facilities in Victoria (Guidelines); Amending Clause 52.32 'Wind energy facility' to reference the updated Guidelines and update the application requirements to address the electricity transmission or distribution system; and	N/A – Warrnambool is unlikely to have wind energy facilities due to the relatively small size of the municipality and

		Amending Clause 74 'Land Use Terms' to change the definition of Wind energy facility to include the use of the transmission or distribution system of power lines to connect the wind energy facility to the electricity network.	the buffer zones required
VC128	8-Oct-15	The Amendment changes the *Victoria Planning Provisions* and all planning schemes by: Amending Clause 18.04-1 and Clause 18.04-2 include the National Airports Safeguarding Framework (NASF) as a policy guideline; Amending Clause 18.04-1 to update the policy guidelines by replacing Melbourne Airport Master Plan (Australia Pacific Airports (Melbourne) Pty Ltd, September 2008) with Melbourne Airport Master Plan, 2013; and Amending Clause 11.14-1 to include the Bellarine Peninsula Localised Planning Statement (Victorian Government, 2015) (BPLPS) as a policy guideline.	N/A
VC101	29-Oct-15	The Amendment: Removes or updates a series of reference documents from the Victoria Planning Provisions (VPP) and all planning schemes that are no longer applicable or up-to-date; and Makes a number of corrections, clarifications and updates to some planning schemes.	Fix up of reference and incorporated documents and other administrative changes will assist with reducing red tape.
VC107	26-Nov-15	The Amendment makes changes to the Victoria Planning Provisions (VPP) and all planning schemes by updating wind energy provisions at Clauses 19.01-1, 52.32, 61.01-1, and 74, and by updating provisions relating to airports at Clauses 18.04-2, 45.02, 45.08 and 81.01.	N/A – Warrnambool is unlikely to have wind energy facilities.
VC121	21-Dec-15	The Amendment changes the State Planning Policy Framework (SPPF) of the Victoria Planning Provisions (VPP) and all planning schemes by relocating an updated Clause 11.04-9 (River corridors) to a new Clause 12.05 (Rivers), and introduces a new Clause 12.05-2 (Yarra River protection).	N/A
VC126	28-Jan-16	The Amendment changes the Victoria Planning Provisions (VPP) and all planning schemes by updating wind energy provisions at Clauses 52.32, 19.01-1, 61.01, 52.40 and 52.41.	N/A – Warrnambool is unlikely to have wind energy facilities
VC127	4-Feb-16	The Amendment changes the Victoria Planning Provisions (VPP) and all planning schemes by: Amending Clauses 11 (Settlement), 12 (Environmental and Landscape Values) and 13 (Environmental Risks) of the State Planning Policy Framework to update reference to the Victorian Coastal Strategy (Victorian Coastal Council, 2008) with reference to the 2014 version; and Amending Clause 52.23 (Shared Housing) to clarify that only the use of land and not development is exempt from a permit under the provision.	Potential impacts on control of shared housing premises.
VC130	4-Jul-16	The Amendment changes the Victoria Planning Provisions (VPP) and all planning schemes by amending Clause 52.32 (Wind energy facility) to delete clause 52.32-8.	N/A – Warrnambool is unlikely to have wind energy facilities.
VC131	24-Nov-16	The Amendment changes the Victoria Planning Provisions (VPP) and all planning schemes by amending Clause 52.19 - Telecommunications facility, to exempt a permit application for a	Potential impact for future

		telecommunications facility funded (or partly funded) under the Commonwealth Government's Mobile Black Spot Programme from the notice and review requirements of the *Planning & Environment Act 1987*.	telecommunication towers.
VC110	27-Mar-17	Implements the government's response to the recommendations of the Managing Residential Development Advisory Committee by amending Clause 72 to introduce a new general term, "garden area" and amending the Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Mixed Use Zone and Township Zone.	Impacts on planning permit applications
VC135	27-Mar-17	The Amendment introduces additional classes of application into the VicSmart provisions, and increases the 'cost of development' threshold of some existing VicSmart buildings and works classes of application.	Additional Vic Smart exemptions to reduce red tape.
VC134	31-Mar-17	The Amendment changes the *Victoria Planning Provisions* and all planning schemes in Victoria by introducing the new Metropolitan Planning Strategy and making corresponding updates to the State Planning Policy Framework. It also restructures Clause 11, includes policy-neutral updates and administrative changes and introduces new and updated incorporated and reference documents.	Introduction of revised Plan Melbourne 2017-2050 and new SPPF provisions
VC136	13-Apr-17	Amendment VC136 introduces state-wide planning requirements for apartment developments of five or more storeys	New guidelines to ensure better built form outcomes for apartment developments.
VC133	25-May-17	The Amendment corrects inconsistencies and improves the structure of planning schemes to enable their migration into the Planning Scheme Information Management System (PSIMS) to improve access to, and more efficient amendment of, the planning schemes in Victoria.	A revised Ministerial Direction to guide the form and content of planning schemes.
VC137	27-Jul-17	The Amendment introduces additional classes of application into the VicSmart provisions for residential zones.	Additional Vic Smart exemptions to reduce red tape.
VC139	29-Aug-17	The Amendment: Introduces new planning requirements for racing dog keeping and training facilities; Introduces new guidelines for apartment developments; Removes redundant references to a suite of guidelines; and Introduces a new State planning policy for Healthy neighbourhoods.	New guidelines to facilitate racing dog keeping
VC132	19-Sep-17	Amendment VC132 is a general amendment that makes a number of administrative corrections and other changes to the Victoria Planning Provisions (VPP) and all planning schemes in Victoria.	
GC13	3-Oct-2017	The Amendment updates the mapping and ordinance for the Bushfire Management Overlay (BMO) across Victoria.	New Bushfire Management Overlay mapping – notification was undertaken to all

			affected property owners.
VC141	21-Nov-17	The Amendment changes the Victoria Planning Provisions (VPP) and all planning schemes by: Amending Clause 19.01-1 – updating policy guidelines to the revised document Policy and Planning Guidelines for Development of Wind Energy Facilities in Victoria (Department of Environment, Land, Water and Planning, November 2017); Amending Clause 43.01 – Heritage Overlay, to ensure that an application to subdivide land for a place which is included in the Victorian Heritage Register is referred to the Executive Director under the *Heritage Act 2017*; Amending Clause 52.19 – Telecommunications facility, to exempt a permit application for a telecommunications facility funded (or partly funded) under the Commonwealth Government's Mobile Black Spot Program from the notice and review requirements of the *Planning & Environment Act 1987*; Amending Clause 52.32 – Wind Energy Facilities, to reflect changes proclaimed through the *Planning and Building Legislation Amendment* (Housing Affordability and Other Matters) *Act 2017*; Amending Clause 66 – Referral and Notice Provisions, to include the Executive Director specified in the Heritage Act 2017 as a determining referral authority for an application to subdivide a heritage place included in the Victorian Heritage Register; and Amending the Victoria Planning Provisions (VPP) to update the style and format based on the revised Ministerial Direction on the Form and Content of Planning Schemes (updated April 2017) issued under section 7(5) of the *Planning & Environment Act 1987*.	N/A – General fix up
VC138	12-Dec-17	The Amendment changes the Victoria Planning Provisions (VPP) and all planning schemes in Victoria to implement reforms relating to the Victorian Government's review of the planning provisions for native vegetation removal following the release of Protecting Victoria's Environment - Biodiversity 2037	Introduction of new Victorian Biodiversity Strategy may impact on future net gain policy.
VC140	12-Dec-17	The Amendment makes the State Planning Policy Framework for Bushfire clearer and more directive to enable a resilient response to settlement planning for bushfires.	Updates bushfire provisions.
VC142	16-Jan-18	The Amendment includes a wide range of reforms across the Victoria Planning Provisions (VPP) that generally remove permit triggers, expand permit exemptions for land uses and buildings and works, remove superfluous and outdated provisions, update references, improve and update definitions, clarify common points of confusion and improve the usability of the Victoria Planning Provisions (VPP).	A wide range of reforms as part of the implementation of the Smart Planning Program.
VC144	27-Feb-18	The Amendment changes the Victoria Planning Provisions (VPP) and all planning schemes by updating advertising signs provisions at Clause 52.05, updating home based business definitions at Clause 52.05 and 73, and correcting minor errors at Clauses 52.05 and 62.	N/A – General fix up
VC145	28-Mar-18	The Amendment amends the Victorian Planning Provisions (VPP) and all planning schemes by: Amending Clause 11.05-2 – Distinctive areas of state significance, to reference the Yarra Ranges	N/A – General fix up

		Localised Planning Statement; Amending Clause 43.01 – Heritage Overlay, to reinstate administrative corrections that were made in Amendment VC132 but inadvertently removed by Amendment VC141; Amending Clause 52.19 – Telecommunications Facility, to clarify notice and review exemptions for telecommunications facility permit applications that are funded (or partly funded) by the Victorian or Commonwealth government; and Separating clauses and subclauses into separate documents and the consequential renumbering and rationalisation of certain clauses to enable their migration into the Planning Scheme Information Management System (PSIMS).	
VC143	**15-May-2018**	The Amendment changes the Victoria Planning Provisions and all planning schemes by: Amending Clause 32.07 (Residential Growth Zone) to remove Food and drink premises and Shop from Section 1 – Permit not required and make them Section 2 – Permit required uses subject to conditions. Amending Clause 32.08-4 (General Residential Zone) to enable an area to be exempt from the minimum garden area requirement through a schedule to the zone. Amending Clauses 32.08-3 (General Residential Zone) and 32.09-3 (Neighbourhood Residential Zone) to: Exclude the creation of a vacant lot of 400 square metres or greater from the minimum garden area requirement. Clarify that the minimum garden area requirement does not apply to: The creation of a vacant lot less than 400 square metres where there is a precinct structure plan or equivalent strategic plan. The creation of a vacant lot less than 400 square metres where there is an incorporated plan or approved development plan. The creation of a vacant lot less than 400 square metres where there is an approved residential development. Amending clauses 32.08-4 (General Residential Zone) and 32.09- 4 (Neighbourhood Residential Zone) to: Remove the minimum garden area requirement from applying to the construction or extension of a dwelling or residential building where a planning permit is not required. Remove the reference to garden area being required to be provided at ground level. Clarify that the minimum garden area requirement does not apply to: A medium density housing site in an approved precinct structure plan or equivalent strategic plan. A medium density housing site in an incorporated plan or approved development plan. An existing building that did not meet the minimum garden area requirement prior to approval of Amendment VC110. Amending the Garden area definition at Clause 72 (General Terms) to provide greater clarity about garden area inclusions and exclusions.	A wide range of reforms as part of the implementation of the Smart Planning Program.

VC146	15-May-2018	The Amendment implements the Infrastructure Contributions Plan (ICP) public land contributions model by introducing a new overlay, Clause 45.11 (Infrastructure Contributions Overlay), into the *Victoria Planning Provisions*. The amendment includes consequential changes to the State Planning Policy Framework to recognise the new ICP system.	Possible future implications
VC148	31-Jul-2018	The amendment changes to the Victoria Planning Provisions and all planning schemes by: Deleting the State Planning Policy Framework (SPPF) and replacing it with a new integrated Planning Policy Framework (PPF) in Clauses 10 to 19. Deleting Clauses 1.0 (Preliminary) 2.0 (User Guide). Moving the planning scheme purposes from Clause 1.0 to new Clause 01 (Purposes of this planning scheme) and inserting new Clause 00 (Purpose and Vision). Moving the operational provisions for the Local Planning Policy Framework (LPPF) to new Clauses 23.02 and 23.03 and inserting a new Clause 23.01 to explain the relationship between the LPPF and the PPF. Amending provisions (including schedules) to update references to the new MPS and PPF and as a result of the restructure and reorganising of provisions. Amending Clauses 37.03 (Urban Floodway Zone); 42.01 (Environmental Significance Overlay); 42.02 (Vegetation Protection Overlay); 42.03 (Significant Landscape Overlay); 43.01 (Heritage Overlay); 43.02 (Design and Development Overlay); 43.04 (Development Plan Overlay); 44.01 (Erosion Management Overlay); 44.02 (Salinity Management Overlay); 44.03 (Floodway Overlay); 44.04 (Land Subject to Inundation Overlay); 44.05 (Special Building Overlay and 52.28 (Gaming) to enable schedules to specify additional matters. Amending Clause 43.01 (Heritage Overlay) to require the schedule to the overlay to specify a statement of significance for each heritage place included in the schedule and the ability to incorporate heritage design guidelines for a heritage place. Amending Clause 43.04 (Development Plan Overlay) to clarify when an application is exempt from the notice and review requirements. Introducing the Specific Controls Overlay (Clause 45.12). Organising particular provisions into three new categories at Clauses 51, 52 and 53. Inserting a new section, 'Operational provisions' (Clauses 70 to 74) that consolidates operational, administrative and other provisions. Making various changes to advertising signs provisions at Clauses 32.04 (Mixed Use Zone), 52.05 (Signs), 62.02, 62.01 and at newly numbered Clauses 73.02 (Sign terms) and 73.03 (Land use terms). Amending Clause 52.29 (Land Adjacent to a Road Zone 1, Category 1, or a Public Acquisition Overlay for a Category 1 Road) to exempt an application from notice and review requirements and to clarify permit exemptions. Amending Clause 33.01 (Industrial 1 Zone) to remove the requirement to obtain a planning permit	A wide range of reforms as part of the implementation of the Smart Planning Program.

		to use land for a 'convenience shop' and 'take away food premises'. Amending Clause 33.03 (Industrial 3 Zone) to remove the requirement to obtain a planning permit to use land for a 'service industry' (in certain circumstances) and a 'take away food premises' Deleting Clause 52.12 (Service station). Amending Clauses 33.01 (Industrial 1 Zone) and 32.04 (Mixed Use Zone) to ensure impacts of service stations are considered. Deleting Clauses 52.13 (Car wash) and 52.14 (Motor vehicle, boat or caravan sales). Amending Clause 52.06 (Car parking) to change the planning permit requirements and number of spaces to be provided in certain circumstances. Introducing incorporated document Principal Public Transport Network Area Maps (State Government of Victoria, 2018). Deleting the VicSmart provisions in Clauses 90 to 95 and consequently: relocating classes of State VicSmart applications to the applicable zones, overlays and particular provisions, local VicSmart provisions to a new Clause 59 (VicSmart applications and requirements) and operational provisions to new Clause 71.06. Making consequential changes to the schedules of applicable particular provisions in planning schemes, including inserting new schedules.	
VC151	**6-Aug-2018**	The amendment corrects obvious and technical errors in the *Victoria Planning Provisions* and all planning schemes by replacing the incorporated document *Principal Public Transport Network Area Maps* (State Government of Victoria, 2018) with a corrected version of the document. The reference to the corrected document is updated in Clause 72.04 (Documents incorporated in this planning scheme).	N/A General fix up
VC147	**14-Sep-2018**	The amendment makes administrative changes to the Victorian Planning Provisions (VPP) and all planning schemes by: Making style, format and technical changes to improve the presentation and operation. Correcting inconsistences and clerical errors; and Changing the operation of amendment date stamps located next to clause numbers. VC147 will not be added to the clause stamps due to its administrative nature The amendment enables the online publishing of planning schemes through the DELWP new Amendment Tracking System (ATS). The Amendment does not change the operation of policy or the effect of provisions in planning schemes.	Staff training provided by DELWP.
VC150	**4-Oct-2018**	The amendment changes the Victorian Planning Provisions (VPP) by inserting a new Commercial 3 Zone at Clause 34.03. The amendment also amends the VPP and all planning schemes to: Introduce new requirements for the assessment of residential solar energy facility overshadowing. Implement the wind energy facility recommendations of the Independent Inquiry into the Environment Protection Authority.	
VC153	**4-Oct-2018**	Amends Clause 52.13-7 (2009) Bushfire-Recovery Exemptions) to extend the expiry date to 30	

		September 2019.	
VC152	26-Oct-2018	Amendment VC152 amends the *Victoria Planning Provisions* (VPP) and all planning schemes to: insert new objectives and strategies for major hazard facilities in Clause 13.07 (Amenity) amend Clause 16.01-6S (Crisis accommodation and community care units) to reflect the new land use terminology and policy support for community care accommodation and rooming houses amend Clause 35.08 (Rural Activity Zone) to delete the reference to 'Backpackers' lodge' amend Clause 37.07 and Clause 52.34 (Bicycle facilities) to delete references to 'Nursing home' amend Clause 52.06 (Car parking) to specify a car parking rate for a 'Rooming house' delete Clause 52.22 (Crisis accommodation) and Clause 52.23 (Shared housing) and replace them with a new Clause 52.22 (Community care accommodation) and Clause 52.23 (Rooming house) delete Clause 52.24 (Community care unit) amend Clause 53.06 (Live music and entertainment noise) to include 'Community care accommodation' and 'Rooming house', and delete 'Boarding house' and 'Nursing home', in the definition of noise sensitive residential uses insert a new particular provision at Clause 53.17 (Residential aged care facility) amend Clause 73.03 (Land use terms) and Clause 73.04 (Nesting diagrams) to introduce 'Community care accommodation' and 'Rooming house' land uses, nest 'Residential aged care facility' under 'Accommodation', and delete 'Backpackers' lodge', 'Boarding house', 'Hostel', 'Nurses' home', 'Nursing home' and 'Residential college' land uses.	A wide range of reforms as part of the implementation of the Smart Planning Program.
VC154	26-Oct-2018	Amendment VC154 changes the Victoria Planning Provisions and all planning schemes by: Deleting Clause 14.02-3S (Water conservation) and integrating these policy statements into a new Clause 19.03-3S (Integrated water management). Amending Clause 19.03-3S (Water supply, sewerage and drainage) to update and broaden water, drainage and stormwater policies to integrated water management policies. Deleting Clause 19.03-4S (Stormwater) and integrating this policy into the new Clause 19.03-3S (Integrated water management), with consequential renumbering throughout Clause 19.03. Inserting a new particular provision at Clause 53.18 for 'Stormwater management in urban development'. Amending Clause 55 (Two or more dwellings on a lot and residential buildings) to provide transitional provisions for residential development applications to be assessed against the Clause 55 provisions as they existed before the approval date of Amendment VC154. Amending Clause 55.03-4 (Permeability) to rename the standard "Permeability and stormwater management' and amend the standard to include a new stormwater purpose, requirements and decision guidelines. Amending Clause 55.07 (Apartment developments), Clause 56.07 (Integrated water management) and Clause 58.03 (Site layout) to generally align with the new particular provision.	Local policy position will be required to provide consistent local response on integrated water management

		Amending Clause 73.01 (General terms) to insert a new general term and definition for 'stormwater'.	
VC155	26-Oct-2018	Amendment VC155 amends the Victoria Planning Provisions and all planning schemes by: Amending Clause 15.03-1S (Heritage conservation) to include an additional strategy and policy guideline. Amending Clauses 54.03-5 (Energy efficiency protection), 55.03-5 (Energy efficiency) and 55.07-1 (Energy efficiency) to replace the word 'capacity' with 'performance' and specify that a rooftop solar Energy facility must exist at the time an application is lodged	Implications for planning permit applications

Appendix 2 New/Updated Planning Practice Notes Since 2014

The state government has released numerous new or modified Practice Notes in recent years that are aimed at explaining the role of recent zone changes or which explain how certain applications will be assessed.

The new (or modified) Practice Note with a brief summary of their renewal date and their intended purpose is as follows.

PPN01: Applying the Heritage Overlay (2018)
Guidance about the use of the Heritage Overlay.

PPN02: Public Land Zones (2018)
Guidance about the appropriate use of the public land zones.

PPN03: Applying the Special Use Zone (2017)
Advice about the appropriate use of the Special Use Zone.

PPN04: Writing a Municipal Strategic Statement (2015)
Clarifies the role of a Municipal Strategic Statement (MSS), provides guidance on the preferred format of the MSS and on how an MSS should be written.

PPN08: Writing a Local Planning Policy (2015)
Provides guidance on the role of Local Planning Policy in planning schemes, the need for a Local Planning Policy and how one should be written.

PPN11: Applying for a planning permit under the flood provisions (2015)
Provides guidance on applying for a planning permit where flooding is a consideration and explains how an application will be assessed.

PPN12: Applying the flood provisions in planning schemes (2015)
Provides guidance on applying the flood provisions in planning schemes, including preparing policy, identifying land affected by flooding, preparing a local floodplain development plan, and the application and operation of the flood provisions, including the preparation of schedules.

PPN13: Incorporated and reference documents (2015)
Explains the role of external documents in planning schemes, the difference between incorporated and reference documents and when a document should be incorporated or be a reference document.

PPN15: Assessing an application for One or More Dwellings in a Residential Zone (2018)
Provides guidance to responsible authorities assessing a planning application for one or more dwellings on a lot and for residential buildings.

PPN16: Making a Planning Application for One or More Dwellings in a Residential Zone (2018)
Helps applicants make a planning permit application for one or more dwellings or a residential building. Provides advice on the things to look for in the planning scheme that may affect an application, the operation of the residential development provisions and information that needs to be provided with the application.

PPN17: Urban Design Frameworks (2015)
A guide to preparing and using Urban Design Frameworks. The frameworks are strategic planning tools that set out an integrated design vision for the desired future development of urban places, and provide direction for interventions that shape open space, buildings and landscape.

PPN18: Planning Considerations for Horticultural Structures (2017)
Provides guidance for the consideration of horticultural structures under planning schemes; how and when policy can be used to improve design outcomes; key considerations to help assessment of development applications; applicant guidance to help develop site-responsive design; and guidance on appropriate planning permit conditions.

PPN22: Using the Car Parking Provisions (2015)
Provides guidance on the use of the car parking provisions in Clause 52.06 and the
Parking Overlay. It explains how the car parking requirements are calculated and what information is required to be submitted with an application with car parking.

PPN23: Applying the Incorporated Plan and Development Plan Overlays (2015)
Explains the functions of the Incorporated Plan Overlay (IPO) and Development Plan
Overlay (DPO) – the preferred tools for supporting plans – and provides advice about when these tools should be used and guidance on how to use them to achieve site planning requirements.

PPN24: Shipping Container Storage (2015)
Provides guidance to councils, applicants and the community about the consideration of shipping container storage under planning schemes.

PPN27: Understanding the Residential Development Provisions (2015)
Provides guidance to ensure a common interpretation and consistent application of the residential development standards in Clauses 54 and 55 of all planning schemes.

PPN32: Review of Planning Schemes (2015)
Section 12B of the Planning and Environment Act 1987 requires a planning authority to regularly review the provisions of the planning scheme. This planning practice note explains what a planning scheme review is and suggests a process for conducting and reporting the review.

PPN37: Rural Residential Development (2015)
Provides guidance when planning for, or assessing proposals for, rural residential use and development.

PPN43: Understanding Neighbourhood Character (2018)
Explains for applicants, the community and responsible authorities what is meant by neighbourhood character. Provides guidance on preparing or assessing a proposed residential development so that it meets the neighbourhood character requirements
of the residential development provisions in planning schemes.

PPN45: Aboriginal Heritage Act 2006 and the Planning Permit Process (2015)
Describes the key provisions of the Aboriginal Heritage Act 2006 and how it interacts with the planning permit process. It covers the requirement for, and preparation of,
Cultural Heritage Management Plans (CHMPs); the role of Registered Aboriginal Parties and the role of local government; the effect of CHMPs on planning permit applications; enforcing CHMPs; and where to get further information.

PPN46: Strategic Assessment Guidelines (2017)
Minister's Direction No. 11 *Strategic Assessment of Amendments* requires a planning authority to evaluate and discuss how an amendment addresses a number of strategic considerations. This planning practice note explains what should be considered as part of the direction.

PPN54: Managing Referrals and Notice Requirements (2015)
Provides guidance to responsible authorities and referral authorities on the use of permit application referral and notice provisions in planning schemes, and reviewing existing - or proposing new – permit application referral and notice provisions.

PPN55: Planning in open drinking water catchments (2018)
Informs a responsible authority, water corporation and land owner about how open drinking water catchments are protected through guidelines, codes of practice, legislation, subordinate legislation (planning schemes) and model permit conditions.

PPN56: Activity Centre Zone (2015)
Explains the function of the Activity Centre Zone (ACZ), provides guidance on how to apply the ACZ and assists councils in tailoring the schedule to the ACZ to accord with their centre's adopted structure plan.

PPN58: Structure Planning for Activity Centres (2015)

Provides guidance to councils on the activity centre structure planning process. Covers the reasons for structure planning in activity centres, the policy context, and possible inputs and outputs of the process. While this advice is designed specifically for principal and major activity centres, the structure planning process can be tailored to all types of centres.

PPN59: The Role of Mandatory Provisions in Planning Schemes (2015)
Planning schemes are predominantly performance based, specify the objective that needs to be achieved and provide a degree of freedom on how it is achieved.
Nevertheless, there will be circumstances where a mandatory provision will provide certainty and ensure a preferable and efficient outcome. This planning practice note sets out criteria that can be used to decide whether mandatory provisions may be appropriate.

PPN60: Height and Setback Controls for Activity Centres (2015)
Provides guidance on the preferred approach to the application of height and setback controls for activity centres.

PPN61: Licensed Premises: Assessing cumulative impact (2015)
Explains cumulative impact in relation to licensed premises in the planning system. Provides guidelines that assist a permit applicant when considering and responding to the potential cumulative impact of their proposal, and support a council when assessing the cumulative impact of licensed premises as part of a planning permit application. Also provides guidance on preparing and assessing an application under Clause 52.27 of the planning scheme.

PPN63: Applying for a Planning Permit to Farm Chickens (2015)
Provides advice on the preparation and assessment of a planning permit application for a broiler farm, to upgrade an existing broiler farm, the addition of an outdoor range area to an existing broiler farm, or for a free-range chicken meat farm (defined as Intensive animal husbandry). It does not apply to poultry for egg production, poultry hatcheries or the raising of pullets and broiler breeders, or to non-broiler poultry species such as quail, duck, turkey and geese.

PPN64: Local planning for bushfire protection (2015)
This planning practice note provides guidance on local planning for bushfire protection, assists councils to tailor the Local Planning Policy Framework in response to bushfire matters where necessary, and provides guidance on how to prepare schedules to the Bushfire Management Overlay.

PPN70: Open space strategies (2015)
An Open Space Strategy (OSS) is a strategic approach for planning the current and future uses of open space within a municipality. This planning practice note provides guidance to councils on preparing an OSS, including reasons to prepare an OSS, and the possible inputs and outputs of the process.

PPN74: Availability of planning documents (2016)
Provides guidance on making planning documents available under the Planning and Environment Act 1987 (PE Act). Public access to these documents promotes a transparent and accountable planning system that encourages informed public participation. At the same time, the requirements of the PE Act must be balanced with rights that are protected by other legislation such as the Privacy and Data Protection Act 2014, Freedom of Information Act 1982 and the Copyright Act 1968.

PPN77: Pre-setting panel hearing dates (2015)
Provides guidance on how to pre-set a date for a directions hearing and a panel hearing in accordance with Ministerial Direction No.15 – *The Planning Scheme Amendment Process.*

PPN78: Applying the Residential Zones (2015)
Provides information and guidance about the purposes and features of Victoria's residential zones, how to apply the residential zones and the schedules to the residential zones. *(Note: This practice note was removed after the introduction of revised residential zones on 27 March 2017 by Amendment VC110. A new practice note will be prepared to explain the operation of the new residential zones.)*

PPN81: Live music and entertainment noise (2016)
Provides guidance on the operation of Clause 52.43 - Live Music and Entertainment Noise.

PPN83: Assessing external noise impacts for apartments (2017)
This practice note provides guidance about the operation of Clause 55.07-6 (Noise impacts) and Clause 58.04-3 (Noise impacts) for apartment developments.

Cr. Herbert declared an interest in Items 5.4 and 5.5, vacated the Chair and left the meeting at 6.19pm.

NOMINATIONS CALLED FOR ACTING CHAIRMAN

MOVED: CR. MICHAEL NEOH
SECONDED: CR. DAVID CASSIDY

That Cr. Sue Cassidy be appointed as Acting Chairman.

CARRIED – 6:0

5.4. HOPKINS HEIGHTS DEVELOPMENT PLAN

PURPOSE:

This report considers 'The Hopkins Heights Development Plan' and recommends that the Development Plan be endorsed.

EXECUTIVE SUMMARY

- On 17 October 2018 Myers Planning Group submitted a Development Plan (DP) for land located on the north side of Hopkins Point Road, between the Hopkins Ridge Estate (to the west) and the Motang Estate (to the east).
- The DP proposes to develop approximately 78ha of residential land, comprising:-
- - varying densities
- - pedestrian and cycle paths
- - open space network
- - public reserve along the river
- - landscaping
- - building design controls
- - character themes throughout
- - responds to site characteristics and topography
- The DP has been exhibited for a period of two (2) weeks and one (1) submission has been received.
- The submission is considered to be appropriately addressed by the DP documentation.
- The DP appropriately responds to the Development Plan Overlay (DPO13) requirements, relevant provisions of the Warrnambool Planning Scheme, and is suitable for endorsement by Council.

MOVED: CR. PETER HULIN
SECONDED: CR. MICHAEL NEOH

That Council endorse the Hopkins Heights Development Plan in accordance with the requirements of Clause 43.04 (Schedule to DP13) of the Warrnambool Planning Scheme

CARRIED - 6:0

BACKGROUND

The subject land is located on the north side of Hopkins Point Road, west of the Motang Estate, east of the Hopkins Ridge Estate. It is flanked north and south by the Hopkins River and Hopkins Point Road respectively. The land contains approximately 78ha over four titles. It currently functions as one property.

The land is located in the Coastal Hopkins River Growth Area, approximately 3km to the east of central Warrnambool. It is zoned General Residential 1 (GR1Z) and is covered by the Development Plan Overlay Schedule 13 (DPO13). Refer to **Attachment 1**.

No Development Plan (DP) has been approved for the subject land to date however, is included within the Coastal / Hopkins River Environment Structure Plan.

ISSUES

The relevant Schedule to the Development Plan Overlay which contains the requirements for a Development Plan is provided at **Attachment 1**.

A Development Plan for Hopkins Heights was submitted by Myers Planning Group on 17 October 2018. Refer to **Attachment 2.**

The overall layout plan shows a proposed road layout, pedestrian, cycle and vehicular connectivity and open space connections throughout the estate. The proposed Development Plan for Hopkins Heights has been designed to reflect the objectives of the Structure Plan and the requirements of the Planning Scheme. It proposes a vision and theme that will promote high amenity and liveability for future residents.

The Hopkins Heights DP is supported by the following documents:

- **Planning Report** which addresses the Overlay requirements prepared by Myers Planning Group,
- **Environment Assessment – Flora and Fauna Assessment and Net Gain Analysis** prepared by Ecology Partners Pty Ltd
- **Cultural Heritage Management Plan** prepared by Urban Colours Art and Cultural Heritage Consultants
- **Functional Design** prepared by TGM Group Pty Ltd
- **Geotechnical Site Analysis** prepared by AS James Pty Ltd
- **Traffic**, Traffix Group Pty Ltd
- **Environment Assessment** prepared by Environmental Earth Sciences

The proposed Development Plan responds to the key requirements of DPO13 by:

i. Nominating four (4) different precincts as anticipated by the Outline Development Plan; ‘Riverside Bush Lots’ located adjacent to the Hopkins on sites affected by topography, ‘Low Density Bush Lots’ located parallel to contours, ‘Spacious Residential Lots’ allowing for re-vegetation and ‘Conventional Lots’ adjacent to Hopkins Point Road.
ii. Design guidelines that support each of the precincts and which are intended to influence future development design, layout and siting.
iii. The proposed road layouts incorporate wide nature strips allowing for significant planting on the road sides.
iv. The DP has been prepared in line with recommendations from a number of other documents including a Services and Drainage Plan prepared by TGM Group August 2018. The detail will be incorporated in subsequent planning permits for the subdivision of the land.
v. Providing a central reserve which runs along the ridgeline accommodating a ‘village centre’ and public transport connections. The central reserve is connected to the surrounding area via footpaths and cycle paths. Vehicular access is provided to the Hopkins River where a proposed footpath provides the opportunity to walk the future reserve.

Water, sewer, electricity, gas and telecommunications have all been considered as part of preparing the DP. A high-level water storage facility has been indicated on the ridgeline within the site, following consultation with Wanon Water. Officers understand that the final design has yet to be developed in consultation with Wannon Water and will occur prior to further approvals and subdivision. All future residential allotments can be serviced via a gravity sewer.

Post- development stormwater flows will be retarded by a series of rainwater gardens and detention ponds/ basins. A Stormwater Management Plan has been prepared to guide the final drainage design solution. An assessment of the Development Plan is provided at **Attachment 3.**

FINANCIAL IMPACT

Costs associated with the review and assessment of the Development Plan has been included in the 2018/2019 City Strategy and Development Budget.

LEGISLATION/POLICY/COUNCIL PLAN CONTEXT

1 Sustain and enhance the natural environment
1.1 Protect and enhance our waterways, coast and land

2 Foster a healthy City that is socially and culturally rich
2.1 Promote healthy lifestyles
2.3 Increase community health and social connections.
2.7 Actively acknowledge local Aboriginal culture.

3 Maintain and improve the physical fabric of the City
3.1 Build better connections for cyclists and pedestrians
3.2 Create a more vibrant City through activating high quality public places.
3.3 Build Infrastructure that best meets current and future community needs.
3.4 Enhance movement in and around the City.

4 Develop a modern economy with diverse and sustainable employment
4.1 Grow the Cities population through local economic growth
4.3 Enhance the visitor experience.
4.4 Advocate for and improve infrastructure including transport, services and digital infrastructure.

5 Practice good governance through openness and accountability
5.2 Annual Budget
5.3 Council Plan
5.4 Community Plan
5.6 Provision of opportunities for the community to actively participate in Councils decision-making through effective promotion, communication and engagement.
5.7 Develop policies, strategic plans and processes to address local and regional issues, guide service provision and ensure operational effectiveness.
5.8 Ensure financial sustainability through effective use of Councils resources and assets and prudent management of risk.

TIMING

In accordance with the provisions of the Warrnambool Planning Scheme and Planning and Environment Act 1987.

COMMUNITY IMPACT/CONSULTATION

All documentation forming part of the Development Plan has been subject to referral and non-statutory public exhibition from 13 February to 27 February 2019.

Exhibition of the DP is a non-statutory requirement but enables Council to make an informed decision on the future development of the site.

One submission was received which nominates the following comment:-

- Clarification that no block along Hopkins Point Road will be allowed any vehicle access from Hopkins Point Road
- Sites should be for single dwelling only
- Traffic directional turning lanes for entry driveway
- Height limits to one storey or 5m for dwellings

The applicant has responded by making changes to the development plan to reflect:-

- height limits;

- the development plan contains single dwelling lots only;

- traffic lanes will be included in the final functional layout plan and during detailed design;

- no access from the Hopkins Point Road frontage lots directly onto Hopkins Point Road.

Referral responses

The development plan was referred to:-

Wannon Water; Glenelg Hopkins Catchment Management Authority; Department of Environment Land Water and Planning; Public Transport Victoria; servicing authorities. All provided commentary on requirements for future servicing and provision within the development plan and/or for future consideration at planning approval stage.

Council's City Infrastructure; City Strategy; City Sustainability and Environment have provided advice in terms of their respective areas which has been reflected within the current Development Plan document.

LEGAL RISK/IMPACT

The Development Plan has been processed and assessed in accordance with the requirements of the Warrnambool Planning Scheme.

OFFICERS' DECLARATION OF INTEREST

None

ATTACHMENTS

1. Attachment 1 **[5.4.1]**
2. Attachment 1 **[5.4.2]**
3. Attachment 2 Hopkins Heights Development Plan **[5.4.3]**
4. Attachment 3 Assessment against DPO final V 2 **[5.4.4]**

43.04 DEVELOPMENT PLAN OVERLAY

31/07/2018
VC148

Shown on the planning scheme map as **DPO** with a number.

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify areas which require the form and conditions of future use and development to be shown on a development plan before a permit can be granted to use or develop the land.

To exempt an application from notice and review if a development plan has been prepared to the satisfaction of the responsible authority.

43.04-1 Objectives

31/07/2018
VC148

A schedule to this overlay may specify objectives to be achieved for the area affected by the overlay.

43.04-2 Requirement before a permit is granted

31/07/2018
VC148

A permit must not be granted to use or subdivide land, construct a building or construct or carry out works until a development plan has been prepared to the satisfaction of the responsible authority.

This does not apply if a schedule to this overlay specifically states that a permit may be granted before a development plan has been prepared to the satisfaction of the responsible authority.

A permit granted must:

- Be generally in accordance with the development plan.
- Include any conditions or requirements specified in a schedule to this overlay.

43.04-3 Exemption from notice and review

31/07/2018
VC148

If a development plan has been prepared to the satisfaction of the responsible authority, an application under any provision of this planning scheme is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.

43.04-4 Preparation of the development plan

31/07/2018
VC148

The development plan may consist of plans or other documents and may, with the agreement of the responsible authority, be prepared and implemented in stages.

A development plan that provides for residential subdivision in the Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Mixed Use Zone, Township Zone, Comprehensive Development Zone and Priority Development Zone must meet the requirements of Clause 56 as specified in the zone.

The development plan must describe:

- The land to which the plan applies.
- The proposed use and development of each part of the land.
- Any other requirements specified for the plan in a schedule to this overlay.

The development plan may be amended to the satisfaction of the responsible authority.

19/01/2006
VC37

SCHEDULE 1 TO THE DEVELOPMENT PLAN OVERLAY

Shown on the planning scheme map as **DPO1**

RESIDENTIAL DEVELOPMENT PLAN

1.0 Requirements before a permit is granted

19/01/2006
VC37

A Development Plan is required to be submitted and approved by the responsible authority prior to subdivision of the land into more than two lots.

The Development Plan will:

- Include a Site Analysis which shows the topography of the land, and the location of any existing vegetation, drainage lines, existing buildings, sites of conservation, heritage or archaeological significance and other features.
- Show the proposed subdivision layout including lots, roads, public open space and other features of the subdivision in a manner which is responsive to the features identified in the Site Analysis.
- Identify the means by which sites of conservation, heritage or archaeological significance will be managed during the construction phase of the subdivision.
- Identify Appropriate Building Areas on the site and within individual lots that are suitable for the construction of dwellings or other buildings, which are not affected by constraints such as slope, potential for inundation, or presence of remnant vegetation to the satisfaction of the responsible authority. If there are no constraints affecting the site, all lots should be notated as Appropriate Building Areas.
- Include a Landscaping Plan showing the location of existing vegetation to be retained and proposed vegetation.
- Show suitable road and pedestrian linkages between the site and adjacent areas.
- Outline arrangements for the provision and funding of physical infrastructure.
- Identify the staging of the subdivision.

2.0 Conditions and requirements for permits

19/01/2006
VC37

All residential development must be serviced with reticulated water and sewerage.

Any constraints on subdivision or particular requirements identified in the preparation of the Development Plan should be reinforced by the placement of appropriate conditions on the permit for subdivision of the land.

All roads which provide direct access to the site must be sealed. Should such a road be identified as Road Zone Category 1 or 2 the responsible authority will determine the standard of road construction.

Retention and enhancement of remnant vegetation should be encouraged.

A permit application for a building proposed to be located in an area which is not nominated as an Appropriate Building Area must be accompanied by supporting information which shows that the proposed dwelling will not cause a significant impact on the local environment. This information may address management of remnant vegetation, soil stability, drainage disposal or similar matters as considered appropriate by the responsible authority.

No permit is required for the construction of a dwelling or associated outbuilding within an Appropriate Building Area nominated on the Development Plan.

HOPKINS HEIGHTS DEVELOPMENT PLAN

Coastal Hopkins River Growth Area

Warrnambool | Victoria

March 2019

MYERS PLANNING GROUP

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Quality Information

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Table of contents

1. Introduction 1

1.1 Development vision 2

1.2 Structure of the Development Plan 3

2. Site description 4

2.1 Site location and context 4

3. Planning context 6

3.1 Planning Policy Framework 6

3.2 Municipal Planning Strategy 9

3.3 Zones 13

3.4 Overlays 14

4. Schedule 13 to the Development Plan Overlay 17

4.1 Objectives of the Development Plan 17

4.2 Requirements for the development plan 20

5. Site analysis, issues and opportunities 22

5.1 Property ownership 22

5.2 Surrounding land uses 24

5.3 Topography and views 26

5.4 Waterways and drainage 29

5.5 Flora and fauna 31

5.6 Geology and soils 34

5.7 Cultural Heritage 35

5.8 Access and linkages 36

6. Design response 39

6.1 Movement network and road hierarchy 47

6.2 Open space, landscape and natural systems 56

6.3 Housing, Neighbourhoods and Character 67

6.4 Utilities and drainage 96

6.5 Staging 99

1. Introduction

The Hopkins Heights Development Plan has been prepared by Myers Planning Group on behalf of Hopkins Heights Warrnambool Pty Ltd (Hopkins Heights Estate).

The Hopkins Heights Development Plan encompasses approximately 78 hectares of land and is a nominated growth area of the City of Warrnambool (Coastal Hopkins River Growth Area).

Warrnambool is an important city within the Great South Coast Region in terms of its role as a service and retail centre which supports established industries including farming and food manufacturing. Further, Warrnambool's established education presence and other supporting industries makes it a focus for employment in the region. Warrnambool is the western gateway to many of the region's tourist destinations.

Having regard to the strategic role of Warrnambool to the broader region, the purpose of the Hopkins Heights Development Plan is to guide future land use and development within the Coastal Hopkins River Growth Area.

The Hopkins Heights Development Plan was publicly exhibited in February 2019. Minor amendments and refinements were made to the Development Plan in response to submissions received and to improve the functionality of the proposed development.

1.1 Development vision

The Hopkins Heights Development Plan vision is:

"Hopkins Heights is a thriving community with a distinctive coastal and riverine feel. Residents have the best of both worlds benefiting from proximity to the Warrnambool CBD whilst being part of a thriving community living, socialising and recreating in a holistically designed residential estate

The lifestyle qualities of Hopkins Heights are enriched by a strong connection to the open space network which extends across the estate taking in the Hopkins River, hilltops and nearby coastal reserves. The Hopkins Heights 'village centre' and public spaces are places of greatly valued by all residents.

Hopkins Heights is a great place to live with a range of housing choices. Everything is close by and residents have the choice of walking, cycling or using public transport for their daily needs."

1.2 Design Intent

The Hopkins Heights environs comprise a rare combination of features unique to Warrnambool, including:

- Contrasting slopes and flats;
- Proximity to the Hopkins River;
- Amazing coast, river and hinterland views;
- Large property in a single land holding.

These features provide a natural framework of opportunities and constraints from which to base a site-responsive design. This framework will naturally bring to the fore opportunities for open space and recreation experiences which strongly influence the form and location of development on the site. Distinctive character areas will arise as a result of this design orientation toward the natural elements. This design intention will provide the basis for unique community interactions by naturally linking private development around public spaces, resulting in opportunities to concentrate pedestrian activity for 'chance' and planned meetings.

The design intent for the Hopkins Heights development is to create an integrated and harmonious estate with interesting and diverse built form, high-quality vegetation, interlinked passive open spaces, accessible walking and cycling routes and ambience that encourages active and engaged community living. Hopkins Heights Estate will provide:

- A diversity of housing forms that give broad options for people regardless of age, household composition or economic, social or cultural status.
- Sufficient population to create vitality, safety and a true sense of community.
- Housing lots which respond to the topography and vistas, and an overall subdivision that is innovative and interesting with a variety of lot sizes, housing types and public spaces.
- A network of accessible pedestrian and cycling paths;
- A picturesque linear park along the elevated central ridgeline incorporating a 'village centre'.
- Pause points' within the open space network to provide people with tranquil spaces to rest quietly for chance or planned meetings while taking in impressive coast, river and hinterland views.
- A picturesque Hopkins River public reserve, incorporating car parks, recreational facilities and a shared cycling and pedestrian pathway;
- Public transport via bus route.
- Well designed, interesting, inviting, adaptable and strategically located public spaces that are safe, interconnected and available to all residents.
- Quality landscaping to create a high degree of visual amenity, excellent community spaces, vegetated backdrops to housing and soft edges to built form where seen from key viewing locations;
- Building design controls to ensure houses address key roads and streets and through siting provide great residential amenity and an interesting and diverse streetscape.
- Different character areas with carefully crafted controls to provide different housing options reflective of the attributes of the character areas.
- Careful design on steeply sloping land to best integrate housing and services with topography.

1.2 Structure of the Development Plan

The Hopkins Heights Development Plan is structured in a format which responds to the features of the area and key elements of the Coastal / Hopkins River Structure Plan. The development plan is structured as follows:

- **Planning context** which provides an overview of the Planning Policy Framework, the Municipal Planning Strategy, zones and overlays affecting the development plan area.

- **Site analysis** which explores property ownership, surrounding land uses, topography, views and vistas, natural features, existing infrastructure and access.

- **Design response** which details the proposed movement network, open space, density of development, infrastructure and staging.

2. Site description

2.1 Site location and context

Warrnambool is Victoria's largest coastal regional city and the fastest growing population centre in southwest Victoria. To accommodate population growth, Warrnambool City Council has rezoned land within four greenfield residential growth areas (including the Coastal Hopkins River Growth Area).

The Coastal Hopkins River Growth Area is located approximately three kilometres east of the Warrnambool Central Business District. The growth area is bound by the Hopkins River to the north and the Southern Ocean to the south. There is an existing low-density residential area to the west, with rural land to the east. Primary access to the growth area is provided along Hopkins Point Road, which continues through to Allansford and the Great Ocean Road in the east.

Development within the growth area is guided by the *Coastal / Hopkins River Environment Structure Plan*, prepared by Planisphere in 2008. The growth area was rezoned in 2014 (via Warrnambool Planning Scheme Amendment C76).

The growth area is in three major ownerships (Logans Beach Coastal Village, Hopkins Ridge Estate and the subject land). Development has commenced within the growth area with a series of residential estates currently under construction.

This development plan relates to the growth area's largest land parcel (approximately 78 hectares) and is the final development plan to be prepared within the growth area. The development plan area is bound by the Hopkins River to the north, Hopkins Point Road to the south, an existing low-density residential area to the west, and developing residential land to the east (Hopkins Ridge Estate).

5

Figure 1 Location plan

3. Planning context

3.1 Planning Policy Framework

The Planning Policy Framework comprises general principles for land use and development in Victoria. The following clauses of the Planning Policy Framework are relevant to this development plan:

Clause 11 'Settlement' sets out that:

> Planning is to recognise the need for, and as far as practicable contribute towards:
>
> - Health, wellbeing and safety.
> - Diversity of choice.
> - Adaptation in response to changing technology.
> - Economic viability.
> - A high standard of urban design and amenity.
> - Energy efficiency.
> - Prevention of pollution to land, water and air.
> - Protection of environmentally sensitive areas and natural resources.
> - Accessibility.
> - Land use and transport integration.
>
> Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services.

Clause 11.01-1S 'Settlement' seeks to promote the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements. In addition to focusing investment and growth to places of state significance in Metropolitan Melbourne, investment and growth is also directed to major regional cities (such as Warrnambool).

Building upon this policy, Clause 11.01-1R 'Settlement - Great South Coast' supports the role of Warrnambool as the key population and employment centre within the region.

Clause 11.03-2S 'Growth areas' sets out that planning should implement the strategic directions in Growth Area Framework Plans (such as the Coastal / Hopkins River Structure Plan). Clause 11.03-2S encourages the provision of a diversity of housing types at densities which encourage efficient use of land. Clause 11.03-2S also encourages the creation of mixed-use activity centres which are high quality, well designed and create a sense of place.

Clause 12 'Environment and landscape values' set out that:

> Planning should help to protect the health of ecological systems and the biodiversity they support (including ecosystems, habitats, species and genetic diversity) and conserve areas with identified environmental and landscape values.

Clause 12.02-1S 'Protection of coastal areas' encourages the protections and enhancement of coastal biodiversity and ecological values. The revegetation of cleared land abutting waterways is encouraged.

Clause 12.03-1S 'River corridors, waterways, lakes and wetlands' seeks to protect the environmental, cultural and landscape values of water bodies. Development should be sensitively designed and sited to maintain and enhance environmental asset and landscapes along river corridors. The development plan includes a 50 metre open space corridor along the banks of the Hopkins River. Extensive revegetation is proposed within this area.

Clause 14 'Natural resource management' sets out that:

> Planning is to assist in the conservation and wise use of natural resources including energy, water, land, stone and minerals to support both environmental quality and sustainable development.

Clause 14.02-1S 'Catchment planning and management' seeks to minimise the impacts of stormwater upon waterways. The development plan is accompanied with a Stormwater Management Plan (TGM Group) which sets out measures to maximise the quality of stormwater runoff from the development plan area. Stormwater will be filtered of sediment and waste prior to discharge into the Hopkins River.

Clause 15 'Built environment and heritage' set out that:

> Planning is to recognise the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods.
>
> Planning should ensure all land use and development appropriately responds to its surrounding landscape and character, valued built form and cultural context.
>
> Planning should protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.
>
> Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.
>
> Planning should promote development that is environmentally sustainable and should minimize detrimental impacts on the built and natural environment.
>
> Planning should promote excellence in the built environment and create places that:
>
> - Are enjoyable, engaging and comfortable to be in.
> - Accommodate people of all abilities, ages and cultures.
> - Contribute positively to local character and sense of place.
> - Reflect the particular characteristics and cultural identity of the community.
> - Enhance the function, amenity and safety of the public realm.

As encouraged by Clause 15.01-1S 'Urban design', the proposed subdivision and road layout responds to natural features. Proposed landscape treatments, along with siting guidelines for future dwellings, will ensure development responds to the surrounding landscape, natural features and emerging character of the area. The public realm has been designed to be attractive with safe access to walking and cycling paths.

- Of relevance to this development plan, Clause 15.01-3S 'Subdivision design' sets out:

  In the development of new residential areas and in the redevelopment of existing areas, subdivision should be designed to create liveable and sustainable communities by:

  - Creating compact neighbourhoods that have walkable distances between activities.
  - Developing activity centres in appropriate locations with a mix of uses and services and access to public transport.
  - Creating neighbourhood centres that include services to meet day to day needs.
  - Creating urban places with a strong sense of place that are functional, safe and attractive.
  - Providing a range of lot sizes to suit a variety of dwelling and household types to meet the needs and aspirations of different groups of people.
  - Creating landscaped streets and a network of open spaces to meet a variety of needs with links to regional parks where possible.
  - Protecting and enhancing native habitat.
  - Facilitating an urban structure where neighbourhoods are clustered to support larger activity centres served by high quality public transport.
  - Reduce car dependency by allowing for:
    - Convenient and safe public transport.
    - Safe and attractive spaces and networks for walking and cycling.
    - Subdivision layouts that allow easy movement within and between neighbourhoods.
  - A convenient and safe road network.
  - Being accessible to people with disabilities.
  - Creating an urban structure and providing utilities and services that enable energy efficiency, resource conservation, integrated water management and minimisation of waste and air pollution

The development plan implements this policy in the following ways:

- The development plan promotes a highly permeable movement network with a focus on safe and efficient walking and cycling paths. Residents will have the choice of walking, cycling or using public transport for their daily needs.
- A range of lot sizes are provided to suit a variety of dwelling and household types to meet the needs and aspirations of future residents.
- The development plan incorporates an open space network which extends across the estate taking in the Hopkins River and nearby coastal reserves. Landscape treatments within the open space network and streets reinforce the distinctive coastal and riverine feel of the estate.
- The development plan incorporates a conveniently located village centre to meet the day-to-day needs of the community.
- Ecological values are protected and enhanced. The development plan includes extensive revegetation along the banks of the Hopkins River and planting of native species throughout the development plan area.

Clause 15.01-4S 'Healthy neighbourhoods' seeks to ensure neighbourhoods are designed to foster community interaction and make it easy for people of all ages and abilities to live healthy lifestyles and engage in regular activity.

The development plan has a strong emphasis on fostering community interaction and encouraging physical activity. The development plan establishes a continuous system of pedestrian and bicycle paths along all streets, linking to open space and public transport within the development plan area and beyond.

Clause 16 'Housing' sets out that:

> Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.
>
> Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.
>
> Planning for housing should include the provision of land for affordable housing.

The development plan implements policy at Clause 16.01-2S 'Location of residential development' which seeks to locate new housing in designated areas which offer good access to jobs, services and transport.

Clause 16.01-3S 'Housing diversity' seeks to provide for a range of housing types to meet diverse needs. The development plan provides for a range of lot sizes to suit a variety of dwelling and household types to meet the needs and aspirations of future residents.

Clause 18 'Transport' sets out that planning should ensure an integrated and sustainable transport system. Clause 18.01-1S 'Land use and transport planning' seeks to integrate public transport services and infrastructure into new development. Clause 18.02-1S 'Sustainable personal transport' seeks to ensure the development of new neighbourhoods provides opportunities to promote more walking and cycling. The development plan promotes a highly permeable movement network with a focus on safe and efficient walking and cycling paths. Residents will have the choice of walking, cycling or using public transport for their daily needs.

The development plan implements key policy within Clause 19 'Infrastructure' such as, Clause 19.02-6S 'Open space', Clause 19.03-2S 'Infrastructure design and provision', Clause 19.03-3S 'Water supply, sewerage and drainage', Clause 19.03-4S 'Stormwater', and Clause 19.03-5S 'Telecommunications'. The development plan encourages the provision of infrastructure in a way that is efficient, accessible and timely.

3.2 Municipal Planning Strategy

Building on the Planning Policy Framework, the Municipal Planning Strategy sets out the local and regional strategic policy context for Warrnambool. It comprises the Municipal Strategic Statement and specific local planning policies.

Clause 21.01 'Municipal Profile, Council Vision and Strategic Directions' provides an overview of the drivers for growth and change within the City of Warrnambool. The municipality includes the major centre of Warrnambool (residential, commercial and industrial land uses) and the surrounding rural hinterland. Warrnambool is Victoria's largest coastal regional city and is the main service centre for south-western Victoria.

The city is a popular retirement and tourist destination and provides support to the region in the fields of commerce, governance, social services, health, education, the arts and recreation.

The municipality has a steadily growing population. The estimated resident population of Warrnambool is expected to increase to approximately 40,670 people by 2031. Housing supply, choice and affordability, and landscape character are key planning issues relevant to this proposal.

Clause 21.01-4 'Strategic directions' outlines residential growth is primarily directed to:

- North East Warrnambool Growth Area
- Coastal Hopkins Growth Area
- North Dennington Growth Area
- North of the Merri River Growth Area
- East of Aberline Road Future Urban Growth Corridor.

The Coastal Hopkins Growth Area is described as:

> The Coastal Hopkins Growth Area immediately east and south of the Hopkins River is approximately 115 hectares of land with the potential to accommodate approximately 650 lots over the next 15 years. The growth area will provide a high quality residential environment, that responds to local characterises and context.

Clause 21.01-4 sets out that Council is committed to creating a sustainable city which allows people to walk or cycle to access their everyday needs and that fosters community interaction and encourages physical activity. In order to achieve this, Council has established a clear strategic direction to provide a network of activity centres and open space, and a diverse range of housing options.

Clause 21.02 'Settlement' seeks to direct urban growth to growth areas in order to protect productive rural areas and to achieve a more compact sustainable urban area. The following strategies (outlined within Clause 21.02-2 Urban Growth) are relevant to this application:

- Ensure that development is located and consolidated within settlement boundaries.
- Support increased residential densities in greenfield growth areas within close proximity to existing and/or planned transport corridors, activity centres and open space.
- Ensure new residential neighbourhoods provide a mix of housing suited to the needs of a diverse range of household types.

Clause 21.02-1 'Activity centres' encourages the establishment of 'Convenience nodes' which primarily service a small or specialised catchment

Clause 21.03-2 'Significant environments and landscapes' sets out:

River and estuarine environments

The Hopkins estuary is one of only three 'Premier Rivers' for fishing across Victoria.

The river has a range of social values including fishing, boating, camping, swimming, picnicking and bushwalking. In an economic sense the rivers are valued for the supply of water for agriculture, drinking water, tourism and fishing.

Significant landscapes

Warrnambool contains areas of great natural beauty. The community values the city's landscape character. The ocean, the Merri River, the Hopkins River, inland hilltops and ridgelines, and surrounding rural areas can be viewed from numerous public areas and private dwellings throughout the city. Respect for the sharing of views, rather than necessarily the retention of all existing views, is an important issue.

Clause 21.03-2 seeks to ensure development sustains and enhances water quality and sediment loads. With regards to development of ridgelines, Clause 21.03-2 encourages the protection of prominent ridgelines.

Clause 21.06 'Built Environment and Heritage' identifies the appearance of the city's residential areas is important in maintaining a strong level of civic pride.

Clause 21.06-1 'Urban Environment' notes the siting and design of buildings can have a critical impact on visual appearance of urban streetscapes. Clause 21.06-1 outlines a number of Design and Development Overlays have been implemented to recognise areas which require sensitive design solutions (including the Coastal Hopkins Growth Area).

Clause 21.07 'Housing' seeks to ensure new housing is located within close proximity to existing and/or planned transport corridors, activity centre and open space. A diverse range of housing should also be provided to meet community needs.

Clause 21.11-5 'Coastal Hopkins Growth Area' contains policy which guides decision making in the growth area. The vision for the Coastal Hopkins Growth Area is:

> "To provide a superior quality residential environment that responds to local characteristics and context, and provides a range of living opportunities through a diversity of residential densities situated in a variety of landscape settings."

Strategies relevant to this proposal include:

General

- Ensure that any proposed use or development within the Coastal Hopkins Growth Area is generally in accordance with the Coastal / Hopkins River Structure Plan, including the Coastal Hopkins Growth Area Framework.

Land use and activities

- Encourage environmental housing with a substantial river edge reserve, north of Hopkins Point Road.

Urban design and built form

- Encourage development that is clustered together to provide for large areas of public open space, environmental linkages and the protection of ridgelines and significant flora and fauna species.
- Encourage development densities that are not necessarily uniform but respond to a visual and environmental assessment of potential development impacts.
- Require building and site design to blend into the landscape.
- Require subdivision with buffer areas that afford effective protection of the environmental values of the coast and river environments from impacts of stormwater, etc.
- Protect the ridgeline, coastal and river systems when considering any form of development.
- Require the identification of building envelopes which respond to the visual and environmental context of the site and allow for the reasonable sharing of views to the ocean and/or the Hopkins River from adjoining properties.

Access and circulation

- Provide a network of pedestrian and bicycle paths that provide links between neighbourhoods, open space areas and to Hopkins Point Road.
- Road reserves are to contain significant space to provide a vegetated backdrop/foreground to future buildings and structures.
- Provide a movement network that responds to the topography of the site, and provides a permeable layout for convenient vehicle and pedestrian access.
- Ensure access points from Hopkins Point Road are carefully chosen to optimise sight distance in both directions.

Open space and landscape

- Preserve the environmental values and landscape qualities of the area.
- Require the preparation of detailed siting and design schemes such as stormwater reuse, drought resistant gardens, habitat creation and enhancement which includes revegetation and solar orientation of buildings that demonstrate net environmental benefits resulting from any form of proposed residential development.
- Retain the coastal dune and river frontages through designation as public reserves for biodiversity purposes.
- Designate the ridgeline north of Hopkins Point Road as public open space with appropriate setbacks to housing to maintain a vegetated ridgeline.
- Protect the ridgeline, coastal and river systems when considering any form of development.
- Actively encourage revegetation so as to reduce the visual impact of the height and built form of buildings and structures.

3.3 Zones

General Residential Zone

The development plan area is zoned for residential purposes (General Residential Zone) which seeks to:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Use

Under the General Residential Zone, a planning permit is not required to use land for a 'Dwelling'. Uses such as 'Convenience shop', 'Food and drink premises', 'Leisure and recreation', 'Market', and 'Take away food premises', are Section 2, permit required uses. As set out in this development plan, these uses are encouraged to locate within the 'village centre'.

Subdivision

A planning permit is required to subdivide land. An application to subdivide land must meet the requirements of Clause 56 of the Warrnambool Planning Scheme.

Construction and extension of one dwelling of a lot

A permit is required to construct a dwelling on a lot less than 300 square metres in area. A permit is required to construct or extend a front fence if the fence exceeds the maximum height specified in Clause 54.06-2 of the Warrnambool Planning Scheme.

Construction and extension of two or more dwellings on a lot

A permit is required to:

- Construct a dwelling if there is at least one dwelling existing on the lot.
- Construct two or more dwellings on a lot.
- Extend a dwelling if there are two or more dwellings on the lot.
- Construct or extend a dwelling if it is on common property.
- Construct or extend a residential building.

Buildings and works associated with a section 2 use

A permit is required to construct a building or construct or carry out works for a Section 2 use.

Public Park and Recreation Zone

The Public Park and Recreation Zone applies to the Hopkins River frontage. The Public Park and Recreation Zone seeks to:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To recognise areas for public recreation and open space.
- To protect and conserve areas of significance where appropriate.
- To provide for commercial uses where appropriate.

As set out in this development plan, land along the Hopkins River will be vested with Council for drainage and open space purposes. Land within the Hopkins River corridor should be rezoned Public Park and Recreation Zone once vested with Council.

Road Zone, Category 2

Hopkins Point Road is included within the Road Zone, Category 2. The purpose of the Road Zone is to *identify significant existing roads.*

3.4 Overlays

Environmental Significance Overlay

Land with frontage to Hopkins River is included within the Environmental Significance Overlay with its purpose being:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas where the development of land may be affected by environmental constraints.
- To ensure that development is compatible with identified environmental values.

This development plan responds to the statement of environmental significance and environmental objectives contained within Schedule 2 to the Environmental Significance Overlay.

Design and Development Overlay

The development plan area is included within Schedule 17 to the Design and Development Overlay (DDO17 - Coastal/Hopkins River Environment Growth Area).

Of relevance to this development plan, DDO17 contains the following design objectives:

Vegetation

- To re-establish the vegetated setting for the site using indigenous coastal species.

Landscape Setting

- To ensure landscaping is designed and sited to provide views to the ocean.
- To re-establish vegetation dominated views of the area.

Views

- To provide for the reasonable sharing of views to the ocean, coastal dunes, river and the surrounding landscape.
- To minimise the visual impact of development from key public viewing locations.

Siting

- To ensure buildings and structures are sited so as to minimise visual intrusion on views to the ocean.
- To ensure buildings and structures are sited to avoid steep slopes.
- To integrate buildings and works into the river corridor and rural dune landscapes.
- To minimise the visual impact of development along the ridgeline.
- To ensure buildings and structures are strategically sited so as to maximise the degree to which the development is absorbed in the landscape.

Height and building form

- To ensure development is designed to allow views across and between buildings to the ocean.
- To ensure buildings and structures sit within the coastal dune landscape and vegetation setting.

Site coverage

- To develop a spacious building setting with space for planting.
- To minimise the dominance of car parking structures and outbuildings.

Environmentally Sustainable Design

- To encourage good environmentally sustainable practices including maximising solar access and rainwater harvesting.
- To incorporate the use of Water Sensitive Urban Design principles.

Materials and design detail

- To ensure buildings demonstrate a high standard of contemporary design and complement the coastal setting.

A planning permit is required to construct a building or carry out works, including the following:

- Construction of a front fence which is not post and wire construction.
- Where land adjoins a public reserve (such as the river reserve, open space, pedestrian links), a permit is required to construct a boundary fence which adjoins the reserve and is not of post and wire construction.
- Where land adjoins land not covered by this overlay (i.e. land to the west of the development plan area), a permit is required to construct a boundary fence which is not post and wire construction.
- Construction of a tennis court or swimming pool.

Development Plan Overlay

The development plan area is included within Schedule 13 to the Development Plan Overlay.

The purpose of this overlay is to ensure subdivision and development within the growth area is generally in accordance with the layout, design and density objectives of Coastal / Hopkins River Structure Plan.

A development plan must address the following elements:

- Subdivision and building envelopes
- Movement network
- Open Space and landscape
- Service provision.

The objectives and requirements contained in Schedule 13 to the Development Plan Overlay are set out in following section.

4. Schedule 13 to the Development Plan Overlay

The Coastal / Hopkins River Structure Plan provides the strategic basis for the design and development provisions of Schedule 13 to the Development Plan Overlay.

The Coastal / Hopkins River Structure Plan contains to the following vision: (emphasis added)

> "The Coastal / Hopkins River Environment provides a **superior quality residential environment** that responds to local characteristics and context. The area functions as a neighbourhood of Warrnambool and provides a range of living opportunities through a **diversity of residential densities** situated in a variety of landscape settings.
>
> A **strong sense of community** is created by a **network of walking and bicycle paths** that provide links between the open spaces and residential areas. **Convenient access to shops and services** is available to many, with a concentration of housing opportunities located close to Hopkins Point Road, and more spacious living opportunities located in environmentally and visually sensitive areas.
>
> The **residential area sits in harmony with the existing landscape** with roads and buildings located to minimise alterations to the natural topography. Looking back from the surrounding areas, the Coastal / Hopkins River Environment appears as **heavily vegetated** with dwellings just visible between trees and open spaces, and a low-lying **vegetated ridge forming the skyline**.
>
> Coastal, estuary and river views are available for everyone to enjoy with the **public open spaces located at the primary vantage_points** in the area. The careful siting and design of buildings ensures that **views are available between buildings, within streets, and from residential allotments**.
>
> There is a focus on protecting and enhancing the local environment throughout the area. **Hopkins River and its environs is revegetated and incorporated into public open space**, as is Logans Beach, the coastal fringe and the ridge area. Improvements to water quality are achieved through appropriate stormwater management filtration systems in streets and open spaces, and through best practice environmentally sustainable development within private allotments."

4.1 Objectives of the Development Plan

Schedule 13 to the Development Plan Overlay seeks to ensure development plans address the following objectives:

> Overall objectives
>
> To implement the vision of the Coastal Hopkins River Environment Structure Plan to create a quality residential environment that responds to local characteristics and context, and provides a range of living opportunities through a diversity of residential densities situated in a variety of landscape settings, with specific reference to the following plan elements:
>
> - Subdivision and building envelopes.
> - Movement network.
> - Open space and landscape.
> - Service provision and drainage.

Subdivision and building envelope objectives

To provide a neighbourhood that:

- Provides diversity in lot sizes and housing styles, with smaller lots in key, high amenity locations and larger lots in appropriate locations such as on steep slopes.
- Ensures future buildings and structures can be sited to incorporate space for the planting of substantial vegetation and avoids steep slopes.
- Has wide nature strips to allow planting that dominate the roadside setting.
- Incorporates the use of Water Sensitive Urban Design principles.

Design considerations:

- The development plans provides a diversity of lot sizes with smaller lots located on areas of less slope and near higher amenity locations (such as open space and the 'village centre').
- Lower density housing has been located in areas of steep slope.
- Lot sizes allow space for substantial vegetation.
- Roads incorporate wide nature strips to allow substantial vegetation.

Movement network objectives

To provide a movement network, including a connector road, local street and pedestrian/cycle path network that:

- Responds to the topography.
- Establishes a permeable street network which allows for safe and convenient pedestrian, bicycle and vehicle movement.
- Enhances pedestrian and bicycle links between public open spaces within and beyond the study area and between existing and future residential development in the Coastal / Hopkins River Environment area.
- Ensures that development is designed to be integrated with existing public transport systems.
- Manages the impacts of residential development on the existing road network.

Design considerations:

- The development plan provides a permeable network of roads, and walking and bicycle paths which respond to topography and enable people to access open space and public transport.
- Roads, walking and cycling paths have been limited in areas of steep slope.
- Road, pedestrian and bicycle connections have been provided to future neighbourhoods, east of the development plan area.
- Access arrangements to Hopkins Point Road have been designed to ensure there is no impact on road safety.

Open space and landscape objectives

To provide an interlinked open space network that:

- Provides accessible and high amenity public open spaces incorporating existing landscape and environmental features and takes advantage of key views.
- Provides the opportunity for views of the surrounding landscape from private allotments, and public domain.
- Minimises the visual intrusion of residential development when viewed from key locations in the surrounding areas.
- Provides pedestrian links in open space to adjoining areas.

Design considerations:

- The development plan provides a network of open space which builds upon the existing network of open spaces within the surrounding area.
- Open spaces will be quality spaces which incorporate existing landscape and environmental features (such as the river corridor and ridgeline).
- Lots have been oriented to capture key views. Open spaces have been located to take advantage of primary vantage points.
- Lot sizes allow space for substantial vegetation.
- Roads incorporate wide nature strips to allow substantial vegetation.

Service provision and drainage objectives

To provide physical services and infrastructure that:

- Meets the needs of the future community and the development.
- Provides for the efficient, staged delivery of services and infrastructure to ensure all lots are provided with adequate services.
- Incorporates a Water Sensitive Urban Design approach to stormwater management to protect water quality.

Design considerations:

- The development plan provides efficient delivery of services and infrastructure which improves environmental performance of proposed subdivisions.

4.2 Requirements for the development plan

The development plan must include a detailed site analysis and design response which addresses the requirements set out in Schedule 13 to the Development Plan Overlay.

The **site analysis** must include the following:

- An **environmental assessment** of the flora, fauna and habitat significance of the land which includes recommended actions for management, revegetation and restoration of any identified conservation and vegetation protection areas where relevant. The assessment must also make recommendations with regard to management of noxious weeds as identified by the *Catchment and Land Protection Act*.

- An archaeological survey and heritage assessment which includes recommendations for the protection, restoration and interpretation of significant sites, and where appropriate, design measures to sensitively integrate sites. The assessment must also identify areas where a **Cultural Heritage Management Plan** is required by the *Aboriginal Heritage Act*.

- A **landscape assessment** that defines any important landscape views or vistas and any landscape features.

- An **environmental audit** identifying any environmental hazards or contamination on the land and proposed treatments, if any; or a qualified statement indicating the absence of such hazards or contamination.

- A consolidated **site analysis** plan in digital and hard copy format that depicts all relevant site analysis information.

- A **geotechnical assessment** (Functional design) which incorporates at least the following information:
  - Location of proposed lots,
  - Proposed services, such as sewer, stormwater, water, gas, electricity, telephone and other utility services,
  - Contour lines to AHD (500mm vertical intervals),
  - Earthwork details, and
  - Identification of trees to be removed or retained.

- A **geotechnical site analysis** that includes a:
  - Stability Assessment Report; and
  - Landslide Hazard Rating Analysis.

The site analysis is set out in Section 5 of this report. In addition to the site analysis requirements, the site analysis sets out property ownership, surrounding land uses, and existing access and linkages.

The development plan must also include a **design response** based on the site analysis. The report must include:

- A street layout plan, including typical cross sections and details of public transport and pedestrian / bicycle paths.
- Indicative lot layout plan, including typical building envelopes.
- An open space plan, including a biodiversity corridor along the Hopkins River edge, and open space corridor along the ridgeline, landscape masterplans for each open space area, and a street tree theme.
- An assessment of how stromwater will be collected, treated and managed.

The design response is detailed in Section 6 and in the accompanying Stormwater Management Plan (TGM Group).

The following reports and assessment have informed the preparation of the development plan:

Environmental assessment
Flora and Fauna Assessment and Net Gain Analysis
Ecology Partners Pty Ltd, June 2011

Cultural Heritage Management Plan
Hopkins Point Road Warrnambool: Residential Subdivision, Cultural Heritage Management Plan, Number 11721
Urban Colours Art and Cultural Heritage Consultants, 2 September 2011 (approved 7 October 2011)

Functional design
Functional design, Drawing Number 18311-03
TGM Group Pty Ltd, March 2019

Geotechnical site analysis
Geotechnical Investigation
A.S. James Pty Ltd, 30 May 2012

Services and drainage
Site Stormwater Management Plan
TGM Group Pty Ltd, August 2018

Traffic
Traffic Engineering Assessment, Proposed Residential Subdivision as 'Madden Lane' Hopkins Point Road, Warrnambool
Traffix Group Pty Ltd, September 2018

Environmental Assessment
Preliminary Site Investigation at Hopkins River Residential Growth Area, Warrnambool
Environmental Earth Sciences, November 2018

The Functional Design (Drawing Number 18311-03) forms part of this approved development plan.

5. Site analysis, issues and opportunities

5.1 Property ownership

The development plan area comprises two landholdings ranging from 3 hectares to 75 hectares.

The largest landholding (Landholding 1) includes three titles across 75 hectares of land. A planning permit (Planning Permit No. PP2018-0128) was recently granted enabling the land to be subdivided to create three 'mega-lots' capable of further subdivision.

The landholding has approximately 930 metres frontage to Hopkins Point Road and approximately 870 metres frontage to the Hopkins River. Approximately 4.4 hectares of the landholding is located within the Hopkins River. The landholding contains a former dairy, internal fencing and planted shelter belts

The remaining landholding (Landholding 2) is located in the south-eastern corner of the development plan area. The landholding has approximately 215 metres frontage to Hopkins Point Road with an overall area of 3 hectares. The land is developed with a modern double storey dwelling and associated outbuildings.

Design considerations:

- The development plans allows individual landowners opportunity to develop independently of each other without compromising the development plan.
- The development plan provides opportunities for landowners to retain existing dwellings within the development of their land.

Figure 2: ***Property ownership***

5.2 Surrounding land uses

The development plan area is bounded by the Hopkins River to the north and low density residential development to the south and west.

Land to the east is included within the General Residential Zone and is progressively being developed for residential purposes in accordance with the approved development plan for that part of the growth area (North Side of Hopkins Point Road, Warrnambool Development Plan, TGM Group, 2014).

The *North Side of Hopkins Point Road Development Plan* facilitates the development of 78 allotments in three stages (Hopkins Ridge Estate). To-date, 54 lots have been developed with several dwellings constructed and/or currently under construction. The development plan includes a 4,000 square metre central park and a diverse range of residential lots sizes (600 square metres to 3,000+ square metres). Two road connections are planned to connect the Hopkins Ridge Estate with the Hopkins Heights Development Plan area (one road connection has been constructed). Road, pedestrian and bicycle connections to this area have been considered through the preparation of the development plan.

Warrnambool City Council recently adopted a framework plan for the Logans Beach area (*Logans Beach Strategic Framework Plan, 2017*). Land to the south and west of the development plan area is included within the framework plan.

The framework plan provides guidance on planning controls to facilitate further residential development within the Logans Beach area. Of relevance to this development plan, the framework plan seeks to facilitate an additional 200 -250 within the Logans Beach area (excluding the Motang Estate).

The Coastal / Hopkins River Structure Plan identifies an opportunity to provide small-scale retail facilities to service future population growth within the area. The provision of a range of limited non-residential uses (such as cafes, restaurant, milk bar, medical centre, etc.) should be considered in the preparation of the development plan.

Design considerations:

- The development plans provides road, pedestrian and bicycle connections to future neighbourhoods, east of the development plan area.
- The development plan provides for a range of limited non-residential uses to service future needs of the growing community (Hopkins Heights 'village centre').

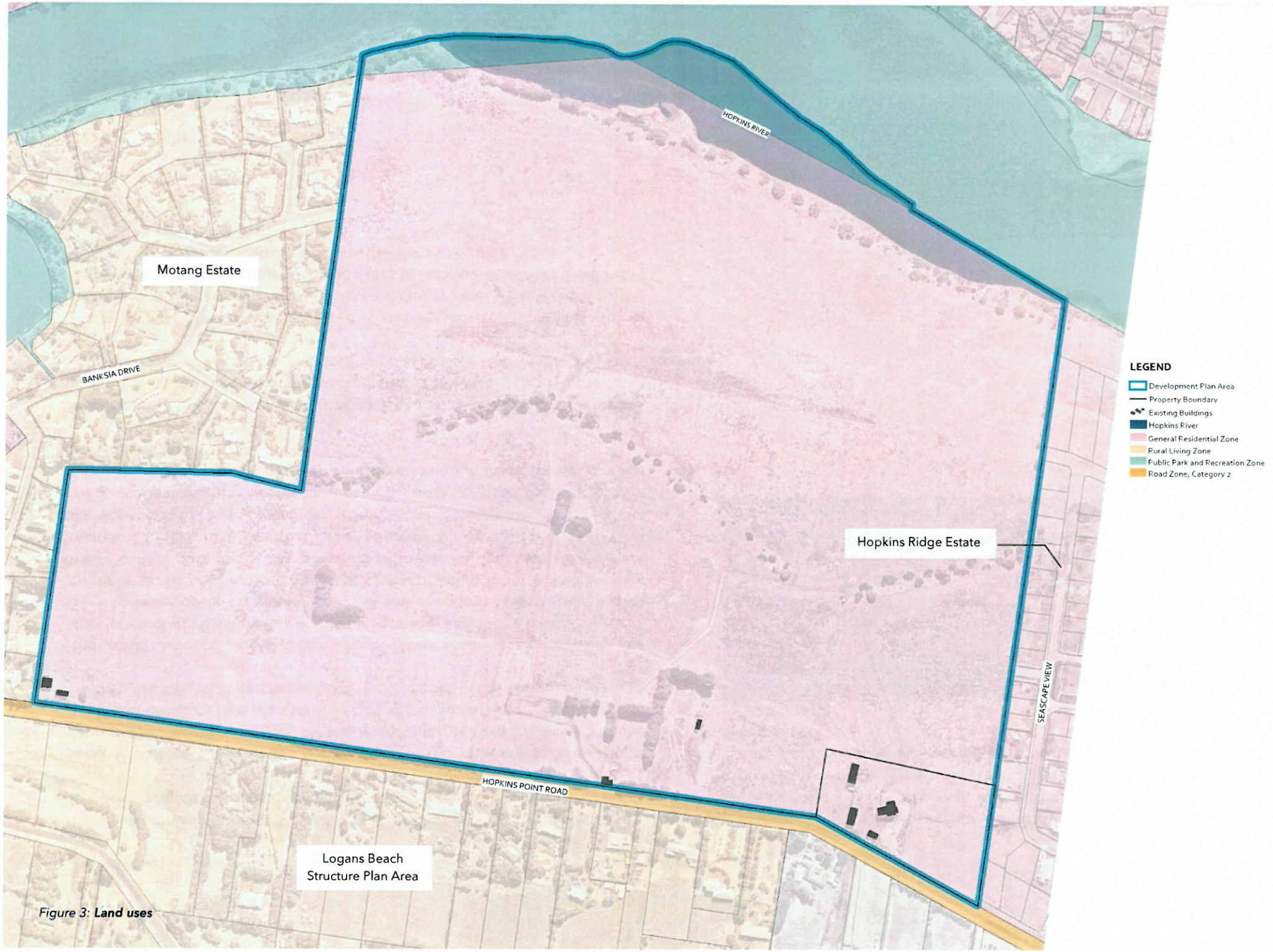


Figure 3: ***Land uses***

5.3 Topography and views

The development plan area includes a prominent hill which falls towards Hopkins Point Road to the south and the Hopkins River to the north. The highest point within the development plan area is approximately 65 metres above sea-level, one of the highest points in Warrnambool.

The development plan area includes a ridgeline which runs in an east-west direction. Where appropriate, existing vegetation on the ridgeline is to be retained and included within the 'linear park'. This vegetation, as well as a tree plantings contained within a generous 22 metre road reserve, will screen housing from significant viewing locations outside the estate. All buildings on the site will be sited below the height of vegetation on the ridgeline.

From this point, the topography falls to the north, south and west with a slope between 5% and 10%. There is a dramatic increase in slope (between 20% and 35%) down to the edge of the Hopkins River with some extreme areas of slope close to the bank of the river. There is also a steep sloping area in the south-west corner of the development plan area. Some parts of this area have slope greater than 20%.

These slopes require special consideration and a tailored approach to address matters concerning street alignment, bicycle and pedestrian accessibility, lot layout and dwelling design. These matters will be addressed thoroughly at the planning permit stage and through detailed design.

Because of the high elevation, the development plan area has a variety of long-distance panoramic views. Areas north of the ridgeline have views of the Hopkins River and long-distance rural views, including long-distance views to Mount Warrnambool to the north-east. South of the ridgeline, panoramic views are available of urban Warrnambool, the Hopkins River mouth and the ocean.

Long-distance views are possible to Port Fairy, across the Warrnambool Breakwater / harbour precinct.

Parts of the development plan area are highly visible from nearby viewing locations such as Moyjil / Point Ritchie, the whale watching platform car park, and the Deakin University boat ramp.

A number of dwellings in the Motang Estate (Banksia Drive) have been constructed to take advantage of views of the coast and the Hopkins River Mouth. Development adjacent to Banksia Drive will need to consider existing views lines.

Design considerations:

- The development plan provides a permeable network of roads, and walking and bicycle paths which respond to topography.
- Roads, walking and cycling paths have been limited in areas of steep slope.
- Roads incorporate wide nature strips to allow substantial vegetation.
- The development plan provides a diversity of lot sizes with smaller lots located on areas of less slope and near higher amenity locations (such as open space). Lower density housing has been located in areas of steep slope.
- Lots have been oriented to capture key views. Open spaces have been located to take advantage of primary vantage points.
- Extensive planting will be provided along the ridgeline.
- Building height have been limited near the ridgeline to maintain a vegetated ridgeline to provide a 'green ridge' to the estate.
- With regards to sharing of views, the development plan provides that dwellings are to be staggered to ensure coastal / river views from dwellings in Banksia Drive and Acacia Court are maintained.

Guidelines for planning permit applications:

- A Slope Management Plan should be submitted with a planning permit application for subdivision and include:
  - Site description and design response.
  - Statement describing how any land with pre-development slopes over 20% will be subdivided.
  - A statement and/or diagrams detailing the proposed landscape and urban design outcomes that will be achieved to complement the slope.
  - A geotechnical report completed by a suitably qualified engineer to confirm the stability of the slope and assessment of risks posed by the site conditions and proposed earthworks and drainage.
  - Proposed road cross sections and long sections to demonstrate how slopes over 20% are being responded to through design.
  - Details of all proposed batters, cut and fill earthworks, retaining walls, driveway crossover locations and drainage solutions required for the subdivision of land that includes an existing pre-development slope greater than 20%.
  - Building envelopes (or an alternate design response) to respond to the slope management methods utilised.

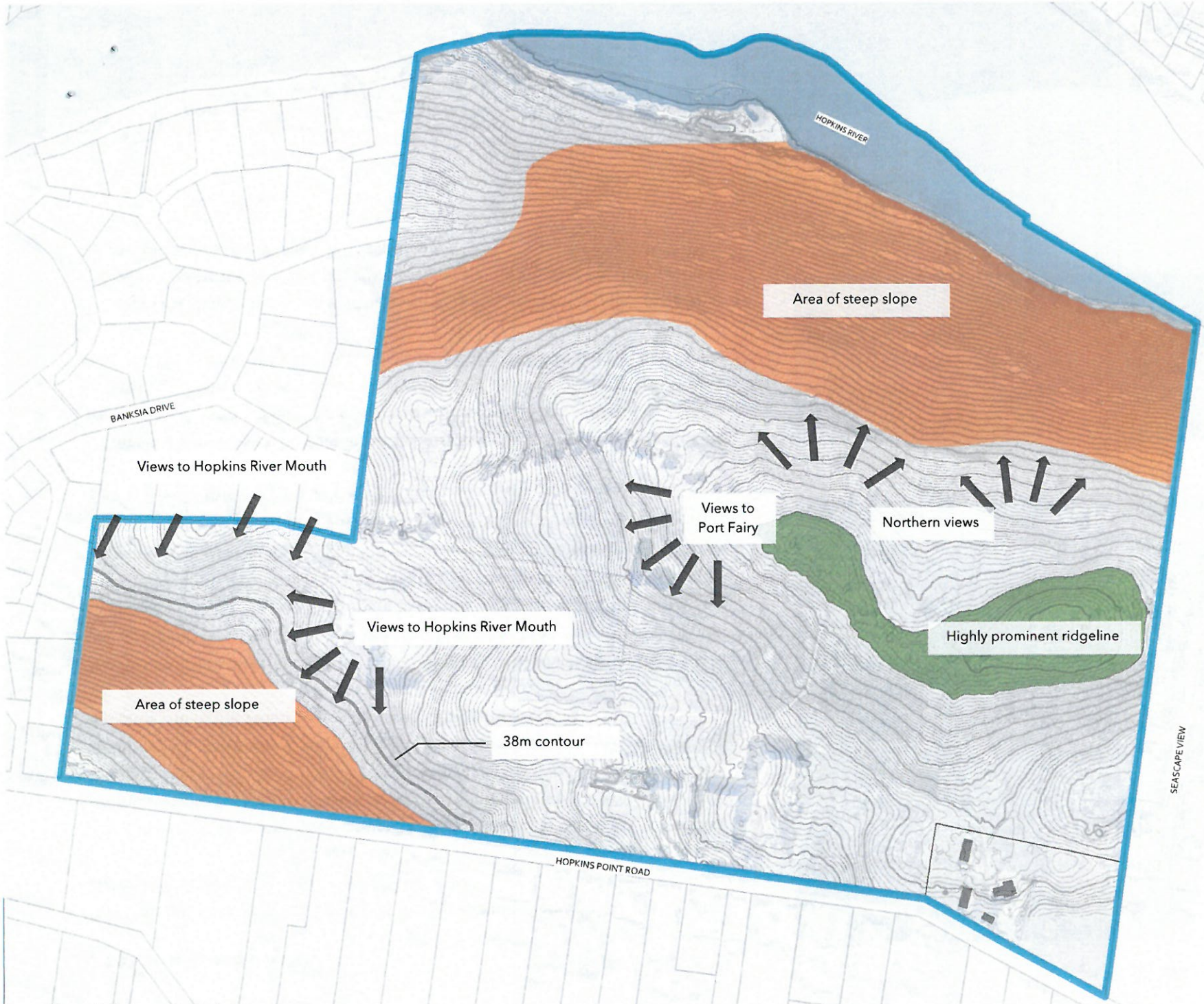


Figure 4: ***Topography + views***

5.4 Waterways and drainage

The Hopkins River is an integral part of the drainage corridor in the greater Warrnambool area.

The Coastal / Hopkins River Structure Plan identifies discharge of urban stormwater into the Hopkins River will need to be treated through Water Sensitive Urban Design measures which protect the quality of the river. The structure plan recommends stormwater management plans consider the use of existing wetlands within the Water Sensitive Urban Design measures.

The Stormwater Management Plan (TGM, August 2018) which accompanies this development plan, identifies the development plan area has three drainage catchments. The northern catchment currently discharges north toward the Hopkins River via a combination of concentrated and sheet flow from the central ridgeline. This 'Plan' identifies that the estate is able to be suitably drained with a number of scenarios/options which will be fully explored and resolved in the approved Stormwater Management Plan.

Stormwater runoff from the southern catchment discharges via a combination of concentrated and sheet flow towards Hopkins Point Road. Drainage infrastructure within Hopkins Point Road consists of an underground network and overland flow within kerb and channel which convey flows to the Hopkins River.

The Hopkins River is also an area of high amenity and presents significant passive recreation opportunities. The structure plan recommends that the river corridor be designated as open space and revegetated.

Design considerations:

- Roads have been aligned to allow for overland flows along natural drainage lines.
- Water sensitive urban design infrastructure and techniques will be utilised in road reserves, pubic reserves and elsewhere to appropriately treat stormwater before discharge.
- The final stormwater drainage discharge option/s will be determined in the approved Stormwater Management Plan.
- Rooftop stormwater discharge will be minimised through a requirement for each house to retain stormwater as drinking water in fresh water tanks.
- A biodiversity corridor has been provided along the entire length of the Hopkins River.
- Access has been provided to the Hopkins River corridor in the form of a shared path and bicycle path.

Guidelines for planning permit applications:

- Applications for subdivision must be accompanied with a Stormwater Management Plan which identifies drainage requirements (including interim measures) for each stage of subdivision.

Figure 5: ***Waterways + drainage***

5.5 Flora and fauna

Land within the development plan area has been subject to modification through agricultural use and is dominated by exotic vegetation (open pasture).

Vegetation within the Hopkins River corridor comprises native (non- indigenous) and exotic trees and shrubs, with a dense ground cover of exotic weed species.

Paddocks within the development area are dominated by exotic vegetation and contain patches of Striped Wallaby-grass *Austrodanthonia racemose* var. *racemose* which have colonised (i.e. not remnant vegetation) as the paddocks have historically been cultivated, fertilised and grazed. The Flora and Fauna Assessment concluded areas supporting colonised Striped Wallaby-grass were not considered representative of the original vegetation type (i.e. Damp Sands Herb-rich Woodland) and do not support habitat for rare or threatened flora or fauna species. While a permit is required to remove or disturb native grasses, the assessment concluded a Net Gain analysis was not required as no remnant vegetation was recorded within the development plan area.

No *Environment Protection and Biodiversity Conservation Act 1999* listed flora or fauna species were recorded during the field assessment. The assessment concluded that none are considered likely to occur within the development plan area as no suitable habitat is present.

A number of weed species listed as noxious under the *Catchment and Land Protection Act 1994* were recorded during the site assessment (such as Variegated Thistle, Soursob, and African Box Thorn).

To mitigate / ameliorate potential impacts on ecological values, the assessment recommended the following measures:

- Where development is proposed adjacent to areas of ecological value (Hopkins River), these sites should be fenced and identified as 'no go' areas to avoid disturbance during construction.
- A Weed Management Plan should be developed to control weeds during construction.
- Soil disturbance and sedimentation near rivers or drainage lines should be kept to a minimum to avoid / minimise impacts on fauna habitats.
- Ensure best practice sediment and pollution control measures are undertaken to minimise disturbance to rivers and drainage lines.
- Use indigenous plants associated within the relevant EVC (Damp Sands Herb-rich Woodland) as part of any landscaping works to increase habitat for flora and fauna.

Design considerations:

- A biodiversity corridor has been provided along the entire length of the Hopkins River.

Guidelines for permit applications:

- Applications for subdivision within areas where Striped Wallaby-grass has been identified, must be accompanied with a flora and fauna assessment in accordance with *Guidelines for the removal, destruction or lopping of native vegetation 2017.*
- Where development is proposed adjacent to areas of ecological value (Hopkins River), these sites should be fenced and identified as 'no go' areas to avoid disturbance during construction.
- Soil disturbance and sedimentation near rivers or drainage liens should be kept to a minimum to avoid / minimise impacts on fauna habitats.
- Applications should ensure best practice sediment and pollution control measures are undertaken to minimise disturbance to rivers and drainage lines.
- Applications for subdivision must be accompanied with a Weed Management Plan to controls weeds during construction.

Figure 6: ***Flora + fauna***

5.6 Geology and soils

The Geological Survey of Victoria, 1:250,000, Colac Sheet identifies the development plan area to be underlain by Tertiary Limestone, locally known as Port Campbell Limestone. Weathering of the limestone typically results in shallow surface residual silts underlain by firm to very stiff residual clays, which grade to variably weathered limestone. The residual clays are generally highly reactive, and the depth and lateral extent of rock is often highly variable.

The Geotechnical Investigation identified the development plan areas is located on a limestone ridge which rises approximately 40 metres above the level of the river. Land to the north and south-west contains steep slopes (approximately 15-23 degrees) with less slope (less than 10 degrees) generally across the rest of the development plan area.

The development plan area has a number of areas of shallow instability. The Geotechnical Investigation confirms deeper subsurface limestone is not subjected to slope failures. Accordingly, the investigation concluded deeper foundation arrangements, together with good hillside practice management, would negate any risk of shallow failures at the site.

The Geotechnical Investigation includes recommendations relating to:

- Cut and fill earthworks;
- Short-term excavations;
- Removal of vegetation and revegetation;
- Site drainage;
- Design and construction requirements for roads; and
- Further detailed geotechnical investigations, including risk assessments and slope stability model for lots located in the northern parts of the development plan area.

Subdivision and development must be undertaken in accordance with the requirements set out in the Geotechnical Investigation.

Guidelines for permit applications:

- Applications for subdivision and development (dwellings) in areas of steep slopes must be in accordance with the requirements set out in the Geotechnical Investigation.

5.7 Cultural Heritage

The development plan is within an area of cultural heritage sensitivity as described in the *Aboriginal Heritage Regulations 2007*. A Cultural Heritage Management is required to be prepared and approved by the relevant Registered Aboriginal Party (or the Office of Aboriginal Victoria) prior to land being subdivided or developed.

A Cultural Heritage Management Plan has been prepared for the development plan area. No Aboriginal archaeological sites were identified within the development plan area. The Cultural Heritage Management Plan was approved by the Office of Aboriginal Victoria on 7 October 2011.

The management plan sets out actions in the event any Aboriginal cultural heritage sites are located during construction which will be followed during construction of the development.

5.8 Access and linkages

Hopkins Point Road is a local connector road which runs in an east-west direction between Tooram Road to the east and the Hopkins River Bridge to the west and provides a connection to central Warrnambool. In the vicinity of the development plan area, Hopkins Point Road contains a 9.5 metre wide pavement with a single marked traffic lane in each direction. The pedestrian / bicycle network is currently limited to the existing road network. A key vision of the Coastal / Hopkins River Structure Plan is to create a strong sense of community through a network of walking and bicycle paths which link open spaces and residential area. A number of infrastructure upgrades (DCP projects) are outlined in a s173 Agreement registered on title comprising intersection works at Hopkins Point Road and Marfell Road intersections, Hopkins Road and Otway Road intersection and Flaxman street and Nicholson Street intersection.

Of relevance to this development plan, the structure plan sets out the following pedestrian / bicycle network:

- A shared pedestrian and bicycle trail in the centre of the growth area which commences at Hopkins Point Road and extends down to the riverside open space corridor.
- A shared trail along the riverside open space corridor.
- A shared trail that provides a scenic journey along the ridgeline and connecting the riverside open space and on-street pedestrian / bicycle network.
- An on-street pedestrian bicycle network connecting to the shared trails and open spaces to future residential areas.
- All roads will incorporate pedestrian footpaths.

With regards to roads, the structure plan seeks to provide a permeable road network which responds to topography. Internal roads are encouraged to follow natural contours to avoid excessively steeps sections and reduce the visual impact of roads.

The structure plan encourages a centrally located avenue with access from Hopkins Point Road. The road is to incorporate substantial landscaping and a shared pedestrian / bicycle trail. A secondary access point is encouraged in the south-west corner of the development plan area which is intended to service properties in that immediate area. There are no existing bus routes which service the development plan area. The closet existing bus route runs directly past the western side of the Hopkins River Bridge. Discussions with Public Transport Victoria confirmed future subdivision within the development plan area should be designed in a way which accommodates a future bus route with the majority of allotments located within 400 metres of the route.

The Motang Estate, located to the west of the development plan area, comprises 32 rural residential lots with a private road (Banksia Drive). Banksia Drive directly adjoins the western boundary of the development plan area. The Panel which considered Amendment C76 identified:

> *"There is a considerable constraint to achieving a linkage to the west due to the privatised nature of roads in the Motang Estate and it is understood that submitters from the Motang Estate do not want linkages."*

Accordingly, access to Banksia Drive should be restricted.

Design considerations:

- The development plan provides a permeable network of roads, and walking and bicycle paths which respond to topography and enable people to access open space and public transport.
- Road, pedestrian and bicycle connections have been provided to future neighbourhoods, east of the development plan area.
- A bus route has been provided for within the Hopkins Heights development.
- Access arrangements to Hopkins Point Road have been designed to ensure there is no impact on road safety with basic right-turn treatment intersections to be constructed and a north side slip lane to the major entrance to the Hopkins Heights development.
- Vehicle access to Banksia Drive has been restricted.

*Figure 6: **Access + linkages***

6. Design response

The Hopkins Heights Development Plan provides a cohesive design which responds to the Design Considerations contained in the site analysis section of this report.

The development plan seeks to:

- Provide a highly permeable internal road network which responds to topography and encourages walking and cycling throughout the development plan area.
- Provide road, pedestrian, bicycle connections to the Hopkins Ridge Estate (located to the east).
- Provide safe access and egress to Hopkins Point Road.
- Provide a diversity of lot sizes with smaller lots located on areas of less slope and near higher amenity locations (such as open space) and lower density housing located in areas of steep slope.
- Orientate lots to capture key views and locate open spaces to take advantage of primary vantage points.
- Provide sufficient space for significant tree planting within lots, road reserves and open spaces to form a landscaped backdrop to the neighbourhood.
- Provide a mixed-use neighbourhood centre to meet the day-to-day needs of the community with convenient access to residents ('Hopkins Heights village centre').
- Provide small green spaces within the local street network ('pause places') to foster community interaction and encourage physical activity.
- Design with topography to reinforce perception of topography, reduce need for earthworks and for drainage purposes.
- Protect and enhance ecological values of the Hopkins River corridor.
- Provide public access to the Hopkins River corridor through the provision of vehicle access to a car parking area in the north west corner of the site and a shared riverfront path.
- Enable individual land owners to develop independently of each other without compromising the development plan.
- Provide options for landowners to retain existing dwellings within the development of their land.
- Restrict access to Banksia Drive.
- Ensure key infrastructure (such as water supply and sewerage services) are provided in a timely and efficient manner.

As set out in the 'A day in the life at Hopkins Heights', the Hopkins Heights Estate will be is a great place to live with a range of housing choices. Everything is close by and residents will have the choice of walking, cycling or using public transport for their daily needs.

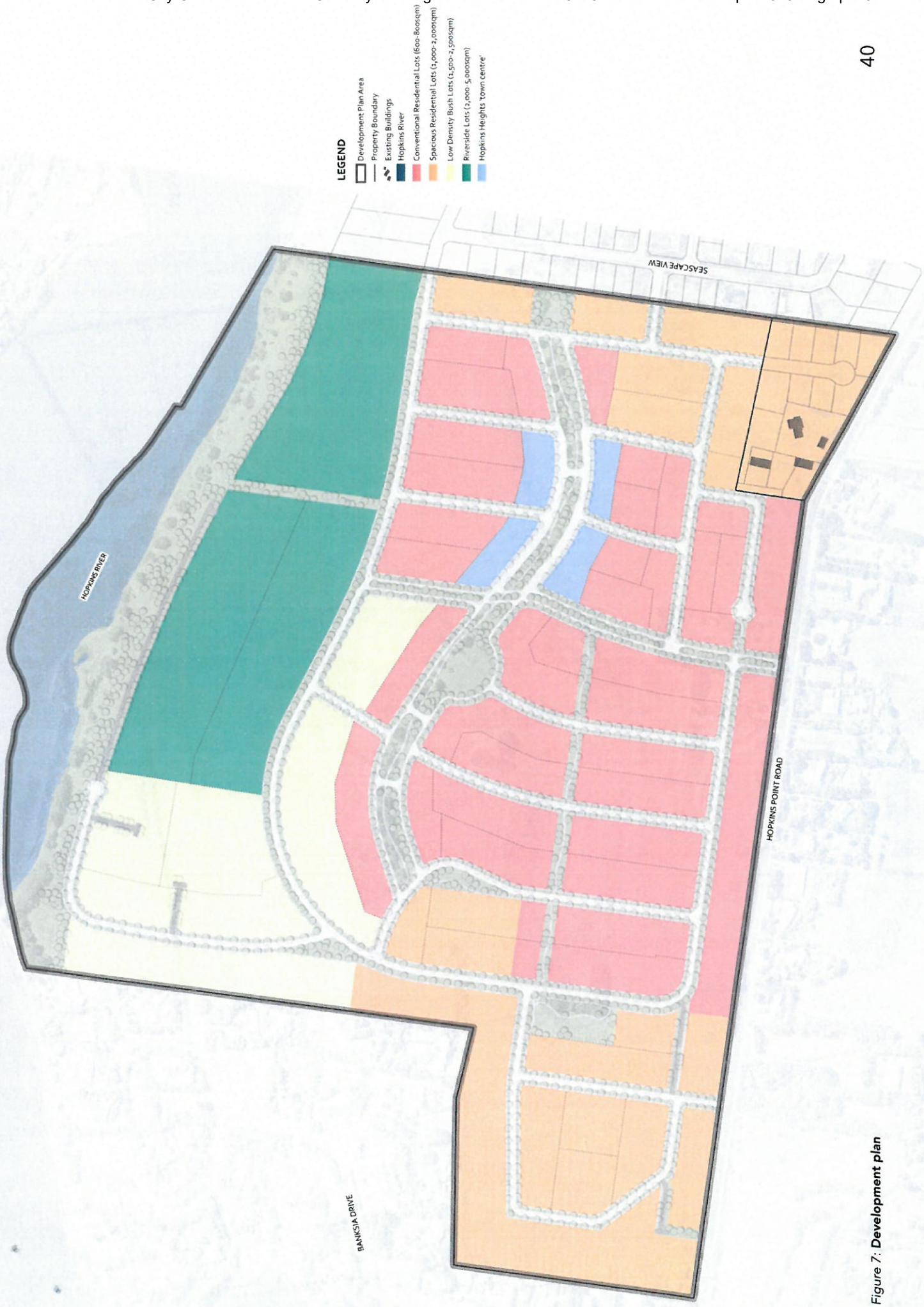


Figure 7: ***Development plan***

A DAY IN THE LIFE AT HOPKINS HEIGHTS

HOPKINS RIVER

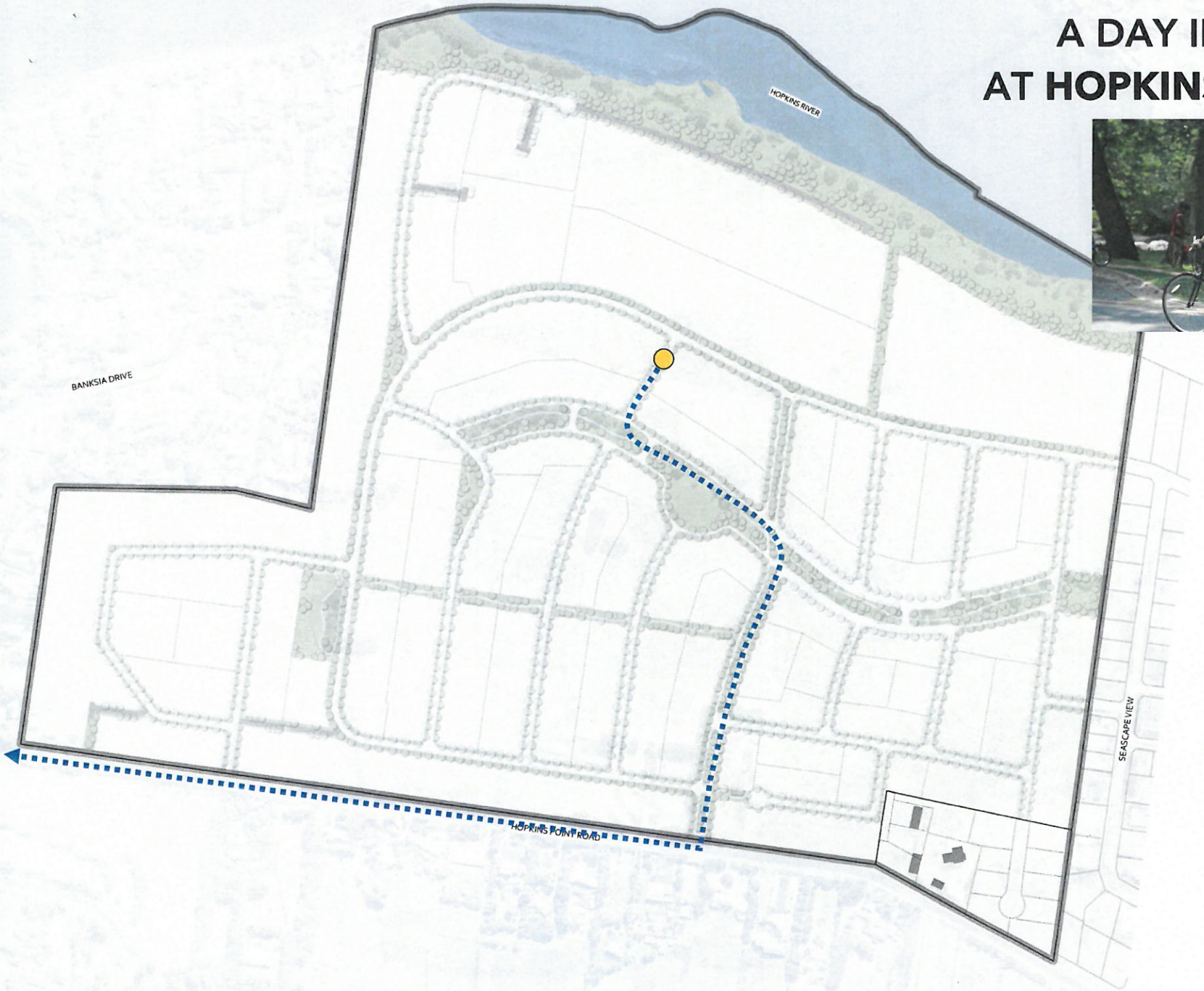
BANKSIA DRIVE

HOPKINS POINT ROAD

SEASCAPE VIEW

7:30am
Morning jog or stroll with the family dog through the neighbourhood park.

A DAY IN THE LIFE AT HOPKINS HEIGHTS



7:30am
Morning jog or stroll with the family dog through the neighbourhood parks

8:30am
Walk to the bus with kids and catch the bus to school. Cycle through the linear park and into Warrnambool CBD for work

A DAY IN THE LIFE AT HOPKINS HEIGHTS

HOPKINS RIVER

BANKSIA DRIVE

HOPKINS POINT ROAD

SEASCAPE VIEW

7:30am
Morning jog or stroll with the family dog through the neighbourhood parks

8:30am
Walk to the bus with kids and catch the bus to school. Cycle through the linear park and into Warrnambool CBD for work

11:30am
Walk to the 'village centre' shops for fresh produce, complete daily tasks and catch up with friends over coffee. Walk across the central plaza and enjoy brunch in the sun

A DAY IN THE LIFE AT HOPKINS HEIGHTS

HOPKINS RIVER

BANKSIA DRIVE

HOPKINS POINT ROAD

SEASCAPE VIEW

7:30am
Morning jog or stroll with the family dog through the neighbourhood parks

8:30am
Walk to the bus with kids and catch the bus to school. Cycle through the linear park and into Warrnambool CBD for work

11:30am
Walk to the 'village centre' shops for fresh produce, complete daily tasks and catch up with friends over coffee. Walk across the central plaza and enjoy brunch in the sun

3:45pm
Meet kids at the bus stop after school and return home via park. Cycle to local park and kick footy with the kids

A DAY IN THE LIFE AT HOPKINS HEIGHTS

HOPKINS RIVER

BANKSIA DRIVE

HOPKINS POINT ROAD

SEASCAPE VIEW

7:30am
Morning jog or stroll with the family dog through the neighbourhood parks

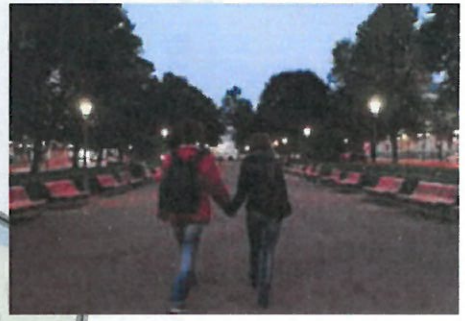
8:30am
Walk to the bus with kids and catch the bus to school. Cycle through the linear park and into Warrnambool city centre for work

11:30am
Walk to the 'village centre' shops for fresh produce, complete daily tasks and catch up with friends over coffee. Walk across the central plaza and enjoy brunch in the sun

3:45pm
Meet kids at the bus stop after school and return home via park. Cycle to local park and kick footy with the kids

6:30pm
Return home from work and meet family at local restaurant for dinner

A DAY IN THE LIFE AT HOPKINS HEIGHTS



HOPKINS RIVER

BANKSIA DRIVE

HOPKINS POINT ROAD

SEASCAPE VIEW

7:30am
Morning jog or stroll with the family dog through the neighbourhood parks

8:30am
Walk to the bus with kids and catch the bus to school
Cycle through the linear park and into Warrnambool CBD for work

11:30am
Walk to the 'village centre' shops for fresh produce, complete daily tasks and catch up with friends over coffee. Walk across the central plaza and enjoy brunch in the sun

3:45pm
Meet kids at the bus stop after school and return home via park. Cycle to local park and kick footy with the kids

6:30pm
Return home from work and meet family at local restaurant for dinner

8:00pm
Walk home together

6.1 Movement network and road hierarchy

The proposed movement network is broadly consistent with the layout contemplated within the Coastal / Hopkins River Structure Plan. The development plan incorporates a highly permeable street network which allows for safe and convenient access throughout the development plan area.

The development plan area adjoins Hopkins Point Road to the south. Two vehicle access points to Hopkins Point Road are provided to the development plan area. An additional two road linkages are provided to the adjacent residential estate (Hopkins Ridge Estate).

The movement network maximises pedestrian and cyclist accessibility throughout the estate. A 2.5 metre shared path is provided along the frontage on the northern side of Hopkins Point Road. A main north-south access is provided through the central portion of the development plan area. The main access includes a 2.5 metre shared path within the central median providing a link to a shared path within the open space along the ridgeline and through the 'village centre'. The shared path continues along the 'Landscape Screening Road' which forms a cycling link back to the shared path along the Hopkins Road frontage.

In addition to providing pedestrian and bicycle access to the river corridor, the development plan provides vehicle access to and along the river corridor. A common property 'Access Place' is proposed along the river corridor. The primary role of the Access Place is to provide access to private dwelling. The 2.5 metre shared footpath / cycle path will provide pedestrian and bicycle access along 350 metres of the river corridor.

Footpaths are provided on both sides of all internal roads. A number of open space connections are provided between streets. The street grid provides convenient access and efficient movement to encourage walking and cycling throughout the development plan area. The street grid also ensures future dwellings are located within walking distance to future public transport within the estate with all properties located within 400 metres of the bus route.

While there are currently no existing bus routes which service the area to the east of the Hopkins River, the street network incorporates a bus route with streets specifically designed to accommodate buses (3.5 traffic lanes and on-street parking exclusively within 2.3 metre intended bays). The proposed bus route will result in buses travelling directly past the proposed 'village centre', providing convenient access to a key destination and access to residents of the Hopkins Ridge Estate.

Roads are aligned with natural topography and drainage lines within the area and (where possible) are aligned to provide best orientation for passive solar performance for future dwellings. Four-way intersections have been avoided in order to minimise infrastructure delivery costs. Roads straddling boundaries have been avoided where possible to ensure landowners can independently develop their own parcels.

Another major feature of the movement network and road hierarchy is the entrance proposed to the Hopkins Heights Estate. It incorporates a separated road within a large landscaped median strip that runs north to the Village Centre and the Central Ridgeline Park and to the Landscape Screening Road to the north overlooking the Hopkins River. This will create a dramatic and stunning entrance with a shared cycle / pedestrian path within the central median. While the road reserve is broad, the design treatment is such that it will calm traffic conditions and limit 'racing' behaviour between vistas.

Great care has been taken in the initial design and will continue through detailed design to ensure wide roads incorporate traffic calming devices to limit traffic speed. In addition, landscaping at street entrances and within parking areas in the streets will be used to create greater intimacy and street softening through integration of vegetation within road reserves.

The Central Ridgeline Park also has a one-way road system on either side. This will reduce pavement width and traffic speed, making it a safer environment for pedestrians to use whilst improving access to the Central Ridgeline Park.

Guidelines for planning permit applications:

- Applications for subdivision must be accompanied with a Traffic Engineering Assessment which identifies existing traffic conditions, assesses suitability of proposed internal movement network and access arrangement and evaluates traffic impact on the surrounding road network.

Figure 14: ***Movement network - Cross-sections plan***

Cross-section A - Typical Access Place

The majority of streets within the development plan area are Typical Access Streets which consists of a 16 metre reservation which incorporates a 6.0 metre pavement, and a nature strip and footpath on both sides of the street.

The proposed Typical Access Place cross-section is set out in Figure 15.

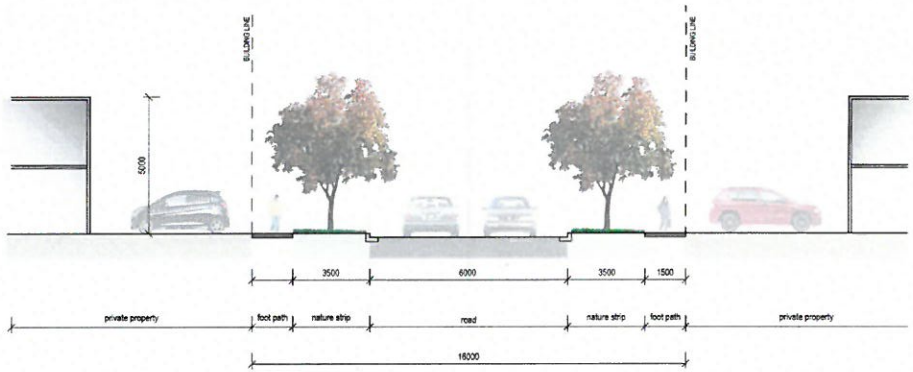


Figure 15: ***Typical Access Street***

Cross-section B - Typical Access Street

The majority of streets within the development plan area are Typical Access Streets which consists of a 16 metre reservation which incorporates a 7.3 metre pavement, and a nature strip and footpath on both sides of the street.

The proposed Typical Access Street cross-section is set out in Figure 16.

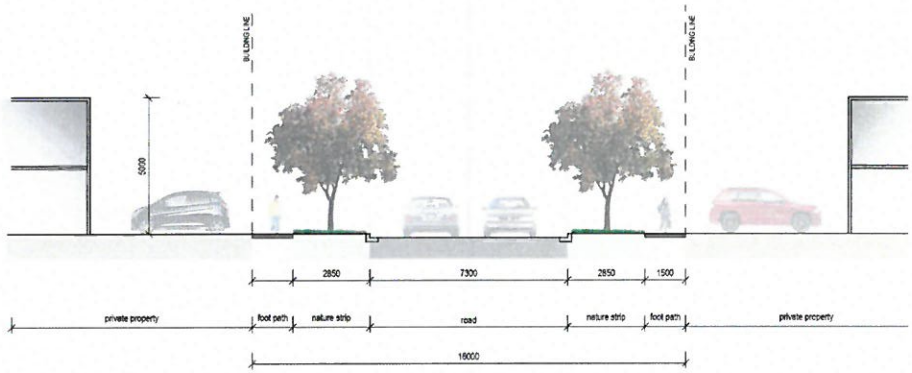


Figure 16: ***Typical Access Street***

Cross-section C - Wider Access Street

The structure plan envisaged a service road along the Hopkins Point Road frontage to provide access to properties along Hopkins Point Road and to provide for a residential frontage to the development area.

The development plan proposes an alternative design response which provides for residential development along Hopkins Point Road with provision for rear vehicle access. A wider street type is proposed for the Access Street which runs in an east-west direction along the southern portion of the development area. The road has been designed to accommodate a future bus route. Accordingly, the road has been designed with a wider 9.3 metre pavement incorporating 3.5 metre traffic lanes and an intended parking lane on the south side.

The Development Plan incorporates design guidelines to ensure the dwellings are designed to front Hopkins Point Road while respecting the character of the rear street.

The proposed Wider Access Street cross-section is set out in Figure 17.

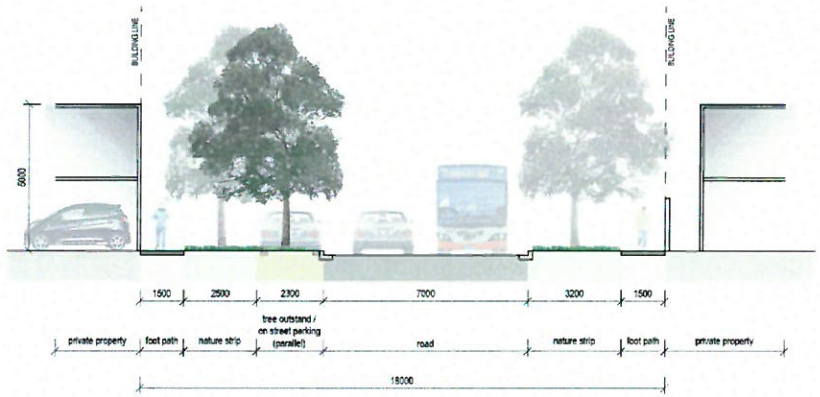


Figure 17: ***Wider Access Street***

Cross-section D - Landscape Screening Street with Bus Route

Landscape Screening Streets incorporate landscape screening within a wider verge on one side of the street. The street is proposed to coincide with the proposed bus route and will also incorporate a shared pathway within the widened verge. The Landscape Screening Street (with Bus Route) consists of a 22 metre reservation which incorporates a 11.6 metre pavement, comprising 3.5 metre traffic lanes and intended parking lanes on the both sides of the street, and 2.5 metre shared footpath on one side of the street.

The proposed Landscape Screening Street with Bus Route cross-section is set out in Figure 18.

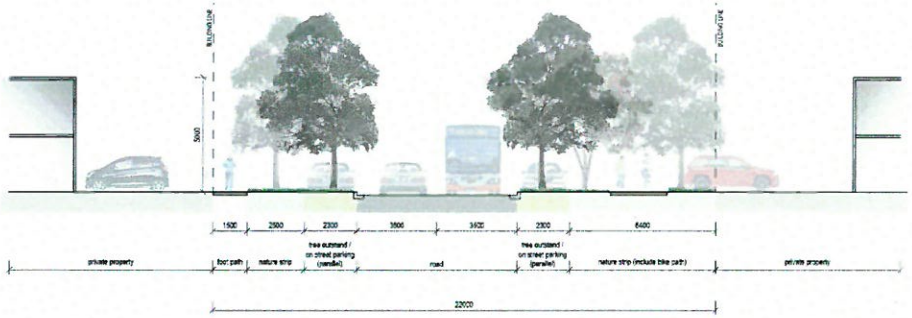


Figure 18: ***Landscape Screening Street with Bus Route***

Cross-section E - Landscape Screening Street without Bus Route

The Landscape Screening Street without Bus Route consists of a 20 metre reservation which incorporates a 7.3 metre pavement, and a nature strip and shared path / footpath on both sides of the street.

The proposed Landscape Screening Street without Bus Route cross-section is set out in Figure 19.

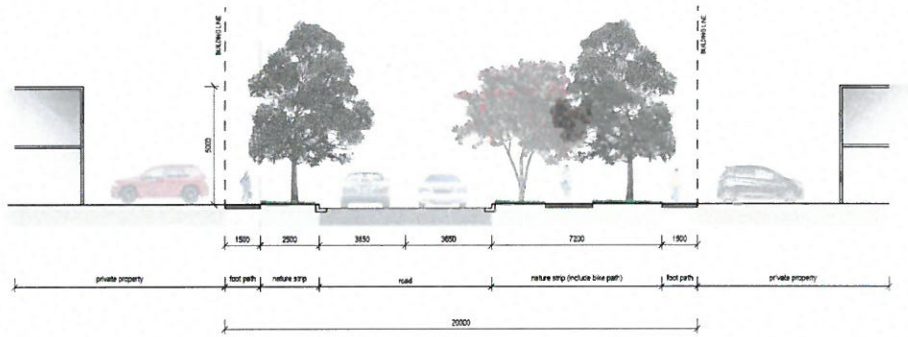


Figure 19: ***Landscape Screening Street without Bus Route***

Cross-section F - Main Entrance Road

The main entrance road consists of divided carriageways wither side of a 7.4 metre wide median within a 27 metre reservation. As the main entrance road contains a bus route, the carriageway incorporates a 3.5 metre traffic lane with intended parking lanes on both sides of the street.

A shared path is located within the median. With only a small number of median opening proposed along the route, this will provide a high standard facility for cyclists with minimal interaction with traffic and pedestrians. In addition to the shared path, footpaths are provided on both of street.

The proposed Main Entrance Road cross-section is set out in Figure 20.

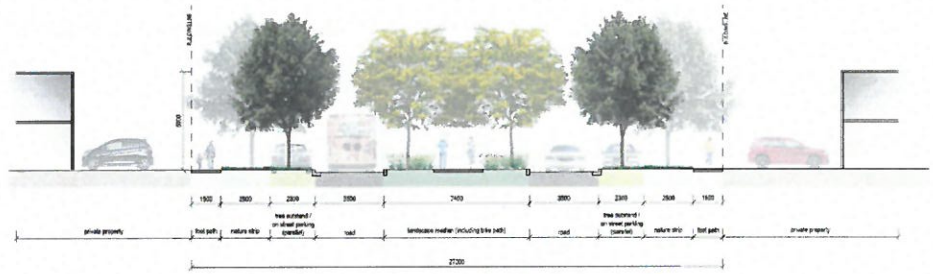


Figure 20: ***Main Entrance Road***

Cross-section G - Central East-West Street

A key feature of the development plan is the east-west street containing a wide open space central area which follows the ridge line. The Central East-West Street is proposed to be provided within a 45 metre reservation incorporating a landscaped central open space link and a shared bicycle path. The proposed cross-section differs along the length of the road, with 5.8 metre carriageways and intended parallel parking within the residential section of the street and wider 10.3 metre carriageways incorporating 45-degree angle parking through the mixed-use precinct ('Hopkins Heights village centre').

Cross-sections for the Central East-West Street are set out in Figures 21 and 22.

Figure 21: ***Central East-West Street (Residential Section)***

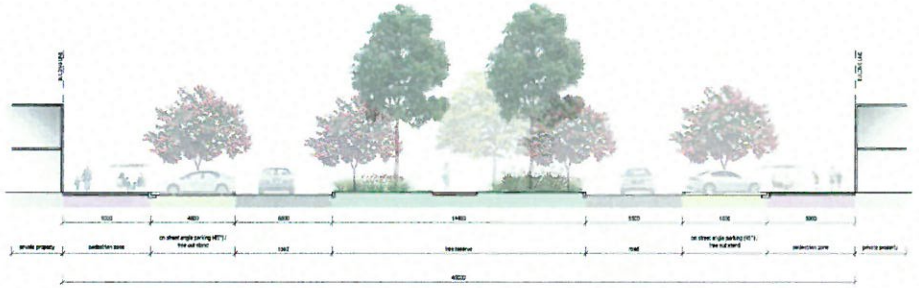


Figure 22: ***Central East-West Street ('Village Centre' Section)***

Private Roads

The proposed location of each of the Access Lanes is set out in Figure 14. All Access Lanes will be private owners corporation roads.

The use of Access Lanes has been minimised except where necessary due to restrictions associated with the topography of the site. In each case, the Access Lanes are proposed to be designed with a carriageway of 5.5 metres within a reservation of 10 metres to 12 metres.

Pedestrian / Bicycle Network

As set out in the above cross-sections, the development plan identifies a shared path network, both on and off road, linking linear spaces, planned open spaces and drainage reserves, resulting in a series of looped walking and cycling paths.

Pedestrian access to, and throughout the Hopkins Heights Estate has been carefully planned. The design of paths and the interconnection of paths will allow people to safely walk throughout the estate, enjoying the public spaces and views. The design creates high quality pedestrian permeability linking through adjoining and close by estates to the foreshore promenade and Logans Beach.

Bicycle access to and through Hopkins Heights Estate is of a very high quality with the provision of dedicated off-road cycling / pedestrian paths. Within the estate is an extensive bicycle path network, promoting safe bicycle use as a realistic alternative to motorised travel within the estate. Cyclists will also have access via the shared paths to the wonderful public spaces, parks and reserves and to the foreshore promenade and Logans Beach.

Public transport

The development plan identifies a road network to accommodate a bus service for the neighbourhood and broader area.

Further to discussions with Public Transport Victoria, options for a potential bus route within the development plan area have been preserved through the design of road cross sections which provides for a bus route.

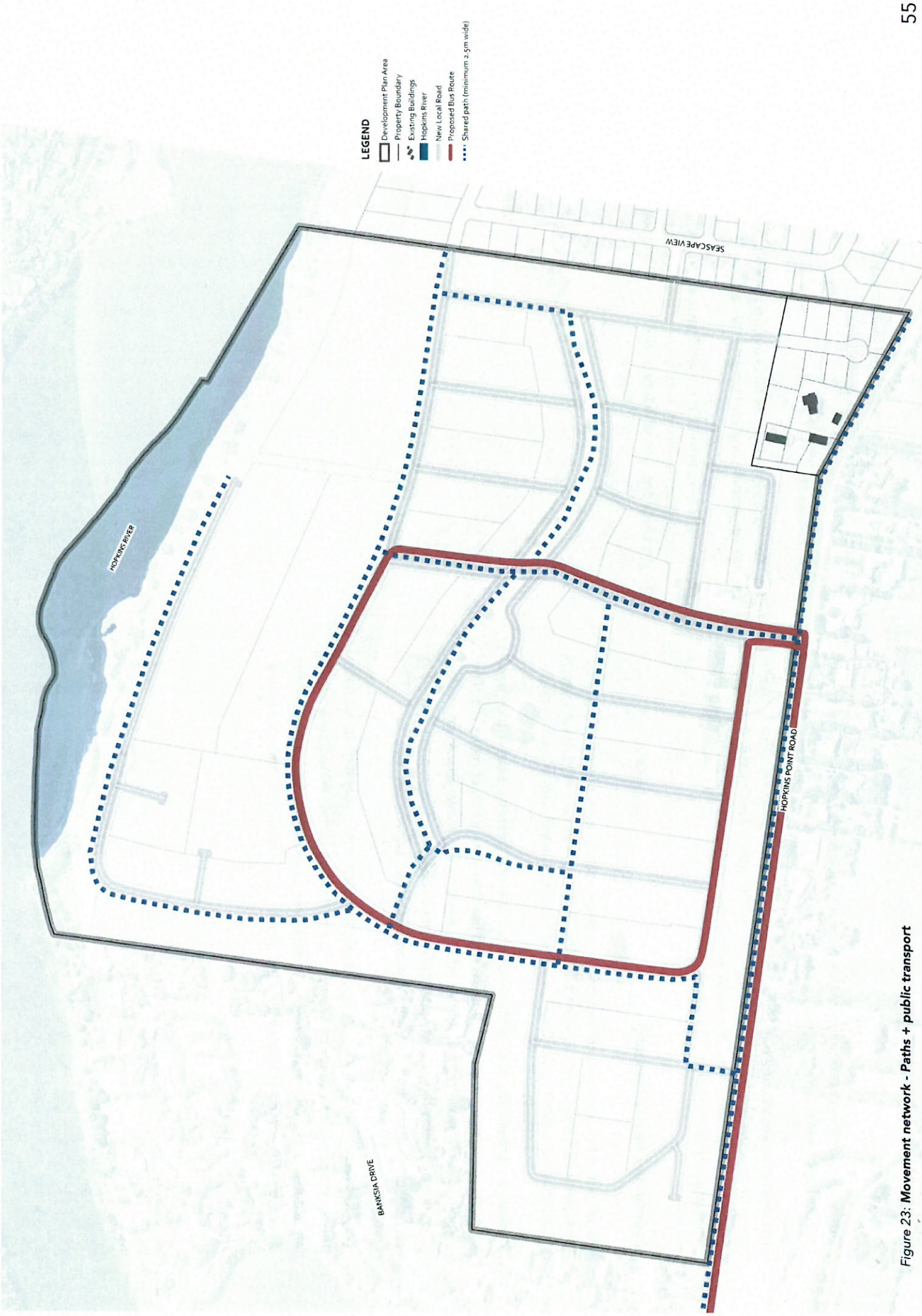


*Figure 23: **Movement network - Paths + public transport***

6.2 Open space, landscape and natural systems

Open Space

The design of the open space network responds to the site conditions, drainage infrastructure requirements and open space requirements of the future community.

The Coastal / Hopkins Structure Plan encourages the provision of a range of open spaces including a series of small local parks, a biodiversity corridor along the Hopkins River, and a linear open space corridor along the ridgeline. Overall, the structure plan seeks to provide open space provision of approximately 6.5 hectares per 1000 people.

The schedule to the Development Plan Overlay encourages the provision of a single 1-hectare park located to the south of the ridgeline. Rather than providing open space within a single 1-hectare park, the Development Plan includes a series of open spaces to cater for a broad range of users and ensures all dwellings are within a safe walking distance of quality open space.

The open space network focuses on providing spaces which can easily adapt to different uses in response to changing community recreational preferences. In total, the Development Plan includes a network of public open space with a combined area of over 2.5 hectares (within a series of pause places, linking spaces, entrance median, and over-sized nature strips). These open spaces are in addition to the proposed river corridor, public spaces within the proposed 'village centre', and linear park along the ridgeline. The Development Plan includes open space provision in excess of 7 hectares per 1,000 residents.

While the open space network is intended to serve a variety of purposes, each open space area has been categorised according to its primary function as set out on the following pages.

Of particular significance is the Central Ridgeline Park, which runs along the highest ridge in Hopkins Heights Estate. It is a key component of the overall estate design. The Central Ridgeline Park spans east to west across the estate. It utilises existing vegetation that will provide an immediate green area, augmented and replaced over time with new vegetation species. The Park protects and enhances the use of elevated ridge providing great spaces for people to use and experience the dramatic views to the coast, the Hopkins River and the expansive northern hinterland.

Surrounding this central green spine will be housing and a central mixed-use 'village centre'. The village centre is a key component in creating a focal point for community meeting and engagement. Hopkins Heights Estate is not 'just a housing estate'. The village centre provides a vital heart to the estate where residents can meet, greet and congregate enjoying a sense of place and true community. The village centre includes commercial uses that are permitted in the residential zone. Home businesses and offices will be encouraged. The village centre will have a purposeful intimate feel through building design and location, and public space design and landscape. Housing densities around the Central Ridgeline Park will be higher than surrounding areas to encourage activity, surveillance, safety, intimacy and to provide different housing options for people seeking smaller, more manageable lots. Public transport will collect and drop people at the village centre. It will be a great place for people of all ages, backgrounds and household composition.

Landscaping

Significant landscaping of road reserves, public areas and private land is critical to achieving the vision for an aesthetically attractive, community focussed estate. The objective is to gradually immerse the built form with vegetation using a combination of planting on public land, road reserves and private lots.

The central east west ridge line has significant vegetation planted over thirty years ago. This vegetation initially will be retained and incorporated in the Central Ridgeline Park. The height of the vegetation and topography of the adjacent land will ensure houses around the Central Ridgeline Park are lower than the height of the existing vegetation.

Road reserves are of sufficient width to accommodate significant tree planting in nature strips. The open space areas are designed and located to incorporate extensive vegetation which will enhance the local environment and be visible from outside the estate.

The western and northern sections of the bus route have 22-metre-wide road reserves which provide wider areas for trees and vegetation in the road reserve. This will provide sight screening from external viewing points to the west and north of the estate.

The main entrance median strip provides a great space for additional tree planting and vegetation along this south to north spine.

All house lots should have least three canopy trees planted within the lot. More exposed sites on steeper slopes will incorporate landscape envelopes with specific landscape requirements.

Figure 24: ***Open Space Network***

Entrance

The entrance into the development plan area from Hopkins Point Road will be enhanced with an avenue of canopy trees to both sides of the nature strip as well as the median, along with low understory planting to provide a sense of pleasure within the area for both vehicular and pedestrian traffic. The 7.4 metre wide central median includes a shared path which provides a safe and enjoyable access to the 'Hopkins Heights village centre' from the main road. In addition, a feature gateway element design will be explored to create a sense of arrival and context. This will include material (such as timber, bluestone and weathered steel) which represents the coastal character of the area.

To the northeast of the entrance is a typical landscape treatment of a 'Linking Space', which provides shared pedestrian and bicycle access.

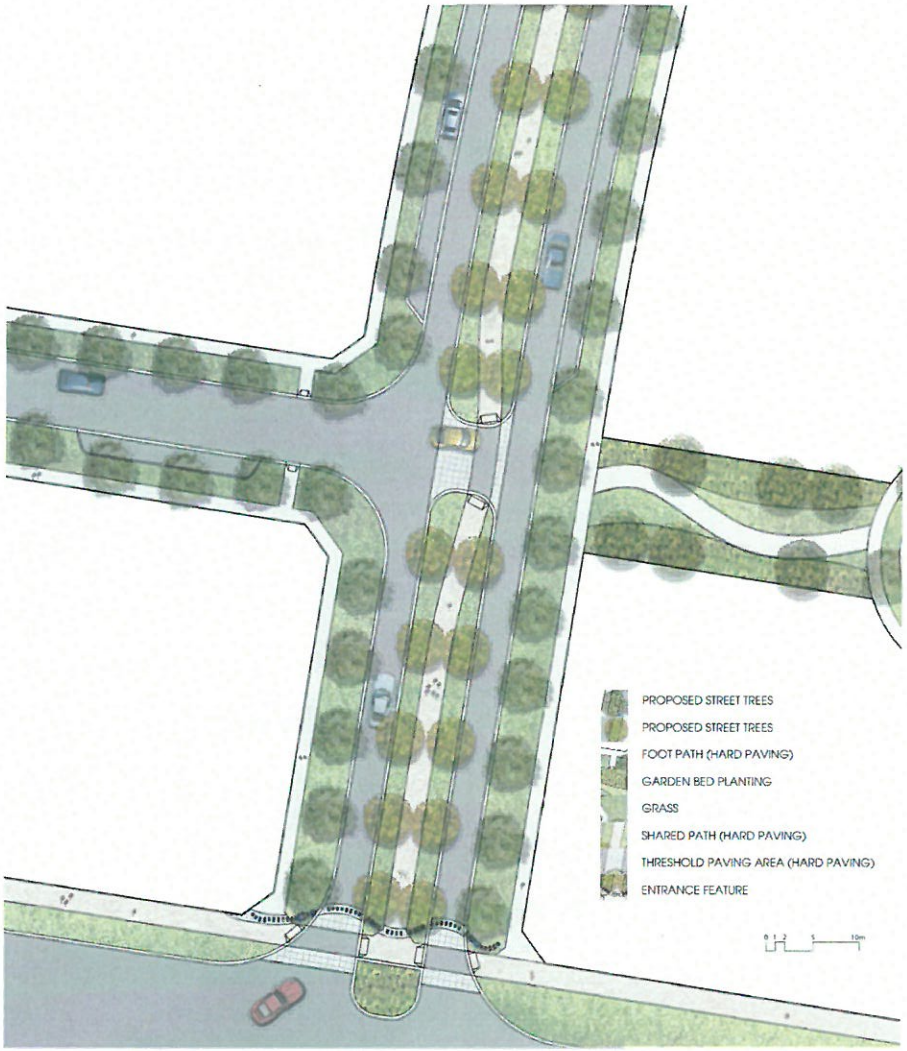


Figure 25: ***Entrance***

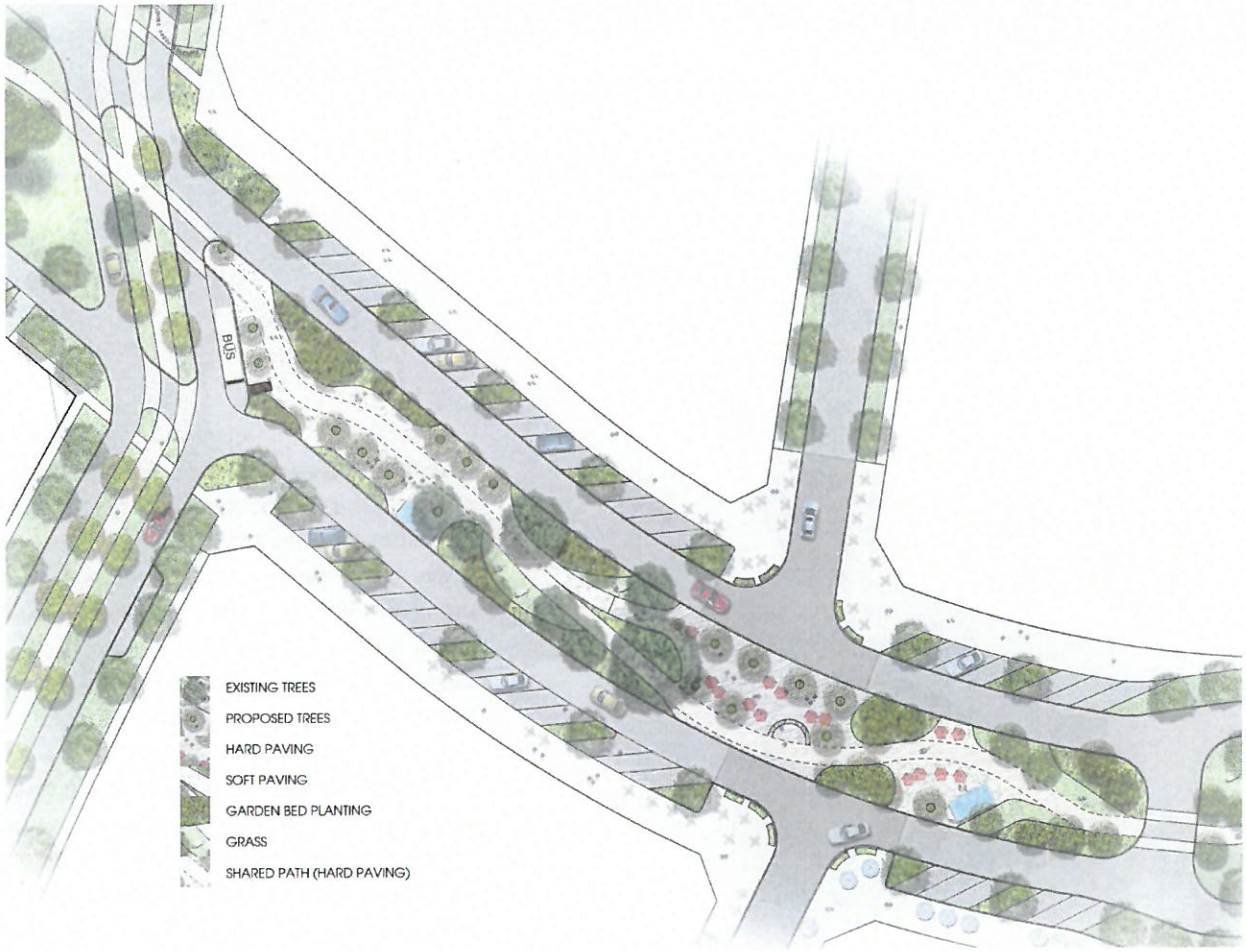


Figure 26: ***Hopkins Heights 'village centre'***

Hopkins Heights 'village centre' is a linear park made up of three distinct areas along the Central Ridgeline Park, located right in the centre of the Hopkins Heights 'village centre' (local shops, businesses, restaurants and cafes). This linear park serves an important role in the connectiveness of the local community, as it provides a range of flexible spaces that cater for different activities.

These spaces are defined as areas including:

- An urban area characterised by a hard-paved ground surface, trees groups and planting buffers with seating walls. This area will be designed with opportunity for food trucks and temporary market stalls in mind.
- A semi-urban area located at the centre of the 'village centre' defined by a mix of hard paving, low garden beds and trees (including large existing trees). The road surrounding this space will be raised to be flush, providing an easy transition for pedestrians and cafe patrons, while reducing the speed of vehicular traffic, ensuring the safety of the users of this public open space.
- A 'bushland' area characterised by softer paving, such as granitic sand or mulch, mass planting of native grasses and trees planted throughout at distances you can walk under. This area is designed to evoke a feeling walking/cycling through a forest of trees or bushland.

Whilst these spaces are seemingly different, they are connected through the shared path which passes through (connecting the east and west) the areas. Planting within the Central Ridgeline Park will predominantly be indigenous species, with large existing trees providing protection to the new planting as nursery.

Warrnambool City Council Minutes for Ordinary Meeting 1 April 2019 Page | 260
Attachment 5.4.3
1049

Central Reserve

Located within the Central Ridgeline Park, the Central Reserve is a focal point to the Hopkins Heights Estate, and provides a range of open space amenity to a larger catchment of residents and visitors. The reserve is located at a primary vantage point with long distance views to Port Fairy across the Warrnambool Breakwater.

The reserve includes a central kickabout oval that can be used for informal play or as a location for community gatherings/events; and a playground with both structured and imaginative play elements. As part of the central landscape ridge, it also provides connections via the share path which links the east to the west of the development site.

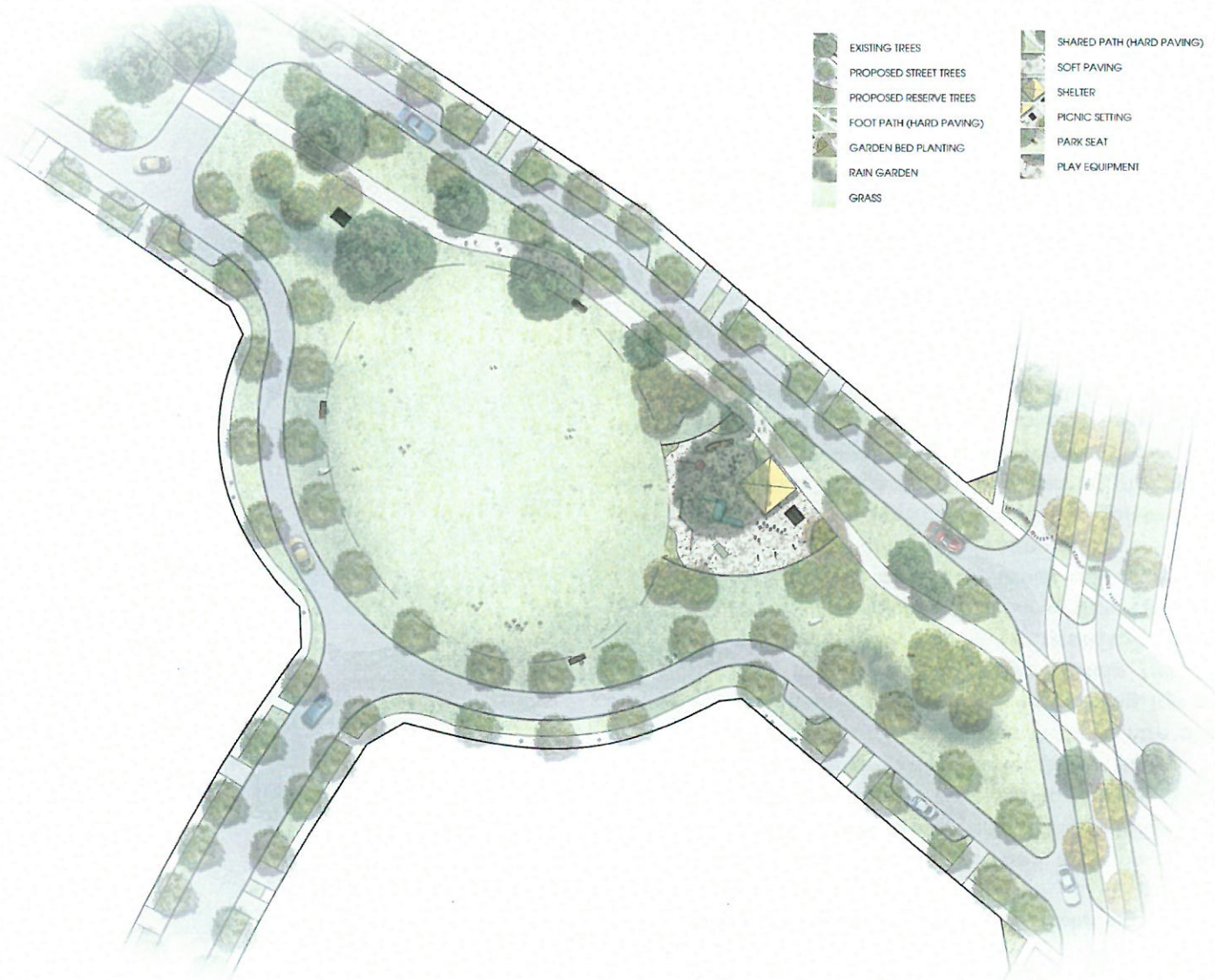


Figure 27: ***Central Reserve***

Figure 28: ***Local Reserve***

Local Reserve

The local reserve is located at a primary vantage point with spectacular views of the Hopkins River mouth.
The location also takes advantage of some large existing Cypress trees that will create a park structure until such time other planted trees can mature.

The design of this reserve takes into consideration the proximity of neighbouring communities to public open space and provides an opportunity to include two informal kickabout ovals, a basketball half court, as well as a shelter with picnic settings and park benches.
View corridors are considered to ensure the magnificent vistas out to the Hopkins River mouth are available to park users.

Pause Place 01

This Roadside Reserve provides a rest area which takes the form of a small 'outdoor room' set within a park-like environment. The widened area along the share path provide ideal opportunities for the creation of local open spaces that can be used for circulation, meeting place, social activities and passive recreation. In addition, it provides visual and landscape amenity to adjoining residences. The combined usage of low gabion walls and landscape planting enhances the experience of the users by creating a gateway for cyclists and pedestrians.

Figure 29: ***Streetscape Pause Place 01***

- Pause Place 02

This Roadside Reserve provides a small rest area which takes the form of a semi-circular 'outdoor room' set within a park-like environment. The widened area buffering the outdoor room from the road provides a safer environment for the usage of this space as a meeting place between friends and neighbours. In addition, it provides visual and landscape amenity to adjoining residences. The proposed tree planting to this reserve accentuates the openness of the space, while providing shade and enhances the user experience by creating a comfortable resting spot, at the same time highlighting the view corridor towards the coast.

Figure 30: ***Streetscape Pause Place 02***

Linking Space

A typical linking space which provide local links and connections between streets and open space reserves. They provide alternative routes between neighbourhood pockets and can delight and surprise with well landscaped edges and spaces.

A generous 2.5m wide shared path meanders through the linking space, flanked by a grassed lawn, offers unimpeded views towards the ends of the landscape corridor. Layered landscape planting including small trees to the sides of the linking space helps in framing the space and softens the side fencing to the adjacent lots.

Figure 31: ***Typical Linking Spaces***

River reserve

A 4-hectare river corridor parkland is provided along the banks of the Hopkins River. Extensive revegetation within the river parkland corridor will reinforce the character and ecological values of the Hopkins River. A combination of hard and soft landscape treatments including shared paths, seating, shade trees and fishing facilities will support the parkland's passive recreation role and reinforce the natural character of the reserve.

Detailed elements such as revegetation, shade tree planting, park furniture (for example seating), bollards, materials, path connections and fishing facilities will be addressed as part of a detailed masterplan for the river corridor.

Figure 32: ***River Reserve***

Figure 33: ***Street tree themes***

6.3 Housing, Neighbourhoods and Character

Neighbourhood densities are broadly consistent with densities contemplated within the Coastal / Hopkins River Structure Plan. Neighbourhood densities have been designated based on topographical constraints, drainage catchments and proximity to open space and the 'village centre'. Conventional residential densities have been located in flatter / less steep parts of the development plan area. Larger allotments have been located in steeper areas (such as along the Hopkins River).

Figure 33 sets out the preferred subdivision and neighbourhood design. The development plan area has three distinct precinct areas (Coastal, ridge and river). Each neighbourhood will require a different approach which responds to topography and the preferred character of the neighbourhood.

All allotments contain sufficient area for substantial revegetation (at least two-three canopy trees per lot). The street network and lot layout has been designed to facilitate change overtime in response to evolving social preferences.

Within these precincts there are 'seven' character areas. Each character area will have its own suite of design guidelines. On the following pages is a summary of the indicative design guidelines which will be fully fleshed out at the time of detailed design.

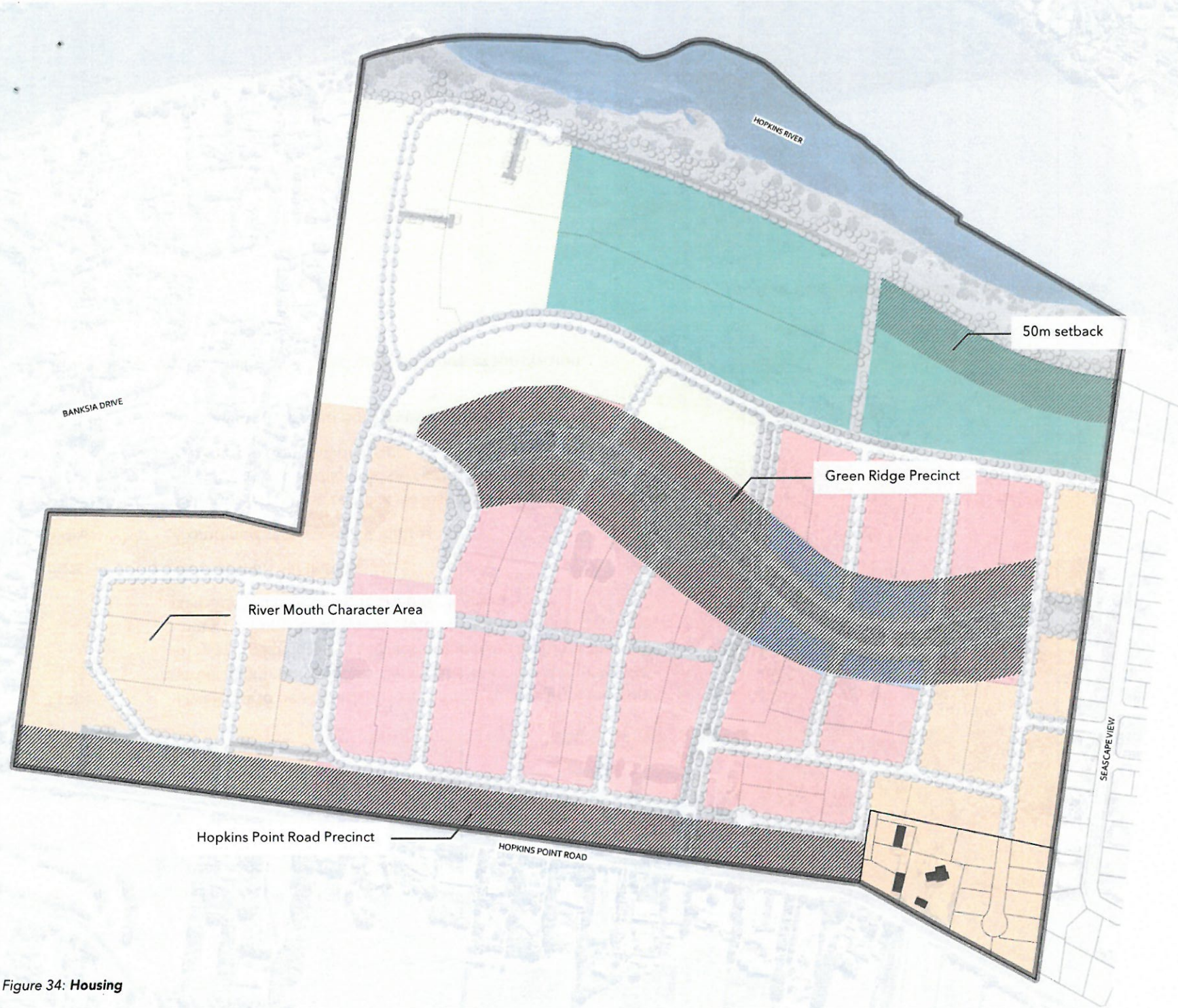


Figure 34: ***Housing***

Conventional Residential Lots

Lots will accommodate residential development at conventional residential densities with lot sizes ranging between 600 square metres and 800 square metres.

Setbacks

The following setbacks apply:

Front	Dwellings to be setback no less than 5.0 metres from the front street alignment. Porches, verandahs, masonry chimneys, etc. may encroach into the setback distance by no more than 1.0 metre. Eaves, fascias and gutters may encroach into the setback distance by no more than 600mm.
Rear	No less than 3.0 metres.
Side	Combined setback of 2.0 metres.
Garages	Garages should be setback no less than 6.0 metres from the street frontage and should be setback no less than 1.0 metre behind the front building line.
Outbuildings	Outbuildings should not be visible from the public realm.

Setback requirements will be registered on title at time of subdivision.

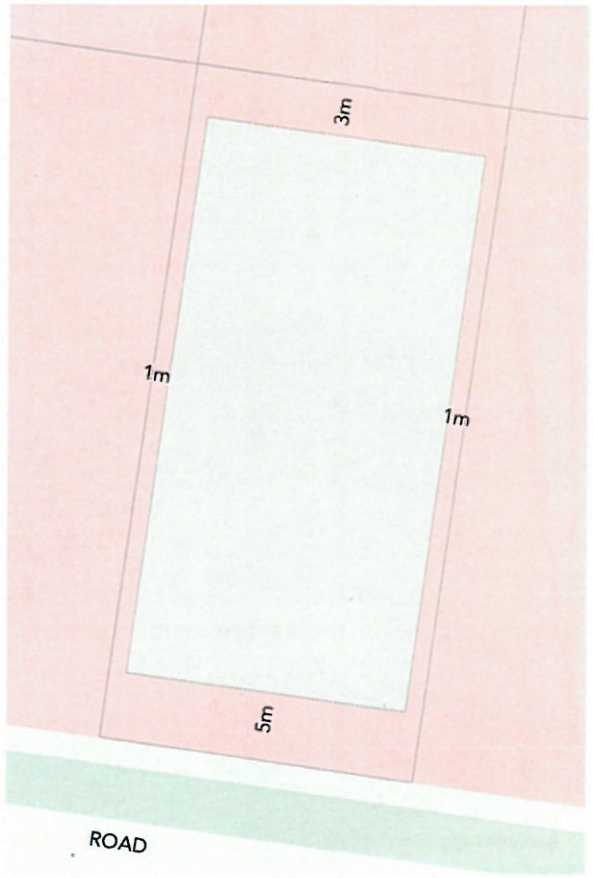


Figure 35: ***Conventional Residential Lots Building Envelope***

Character

Dwelling facades should include features such as porticos or verandahs to visually break up long walls. Garages should not dominate the appearance of the dwelling and must be a complementary and recessive element to the dwelling facade.

Designs for corner allotments should address both street alignments and/or linking space. Side elevations should be given equal attention to create 'multi-sided' buildings. The design should ensure habitable room windows overlook the side street and/or linking space.

Materials and colours

Dwellings should incorporate materials which respond to local climatic coastal conditions and should incorporate at least two contrasting materials / finishes to facades to ensure a visually interesting design and enhance streetscape appeal.

External building colours should reflect muted earthy tones which will blend with the coastal setting. A sample of colours for use on building exteriors is provided on pages 93-95.

Fencing

Front fence	Maximum height of 1.5 metres with minimum 50% transparency. Solid fencing below 1.2 metres in height is permitted.
Wing fence	Side wing fences must be setback at least 0.5 metres from the building facade and must be minimum 50% transparency. Solid fencing is not allowed.
Side fence	Solid fencing (greater than 1.5 metres in height) to a side street alignment should be setback 800mm to provide a landscaping strip along the street alignment. Fencing should have a minimum 50% transparency.

Fencing requirements will be registered on title at time of subdivision.

Access and driveways

Driveways should not dominate front gardens. They should be a secondary element to landscaping and not detract from the appearance of the streetscape.

The design and finish of driveways should complement the design of buildings and landscaping. A sample of materials and finishes is provided on pages 91-93.

Maximum width of crossover must be no wider than 5 metres.

Garages

Garages and garage doors should complement the design of the dwelling and proposed landscape and be finished with similar or complementary materials.

Garage doors should be of a panel lift door or slim line sectional door variety. Roller doors are not permitted to the facade.

Garage width should not exceed the width of the main dwelling facade.

Landscape

At least three (3) canopy trees should be provided (at least one in the front garden and at least two in the rear garden). Canopy trees must include indigenous species suited to the coastal setting.

Every dwelling must provide for on-site rainwater collection in water tanks for garden irrigation.

Ancillary structures and service equipment

Ancillary structures and elements should be located so that are not readily visible from the public realm. This includes items such as:

- Hot water systems (including solar heating)
- Heating and cooling units
- Water storage tanks
- Satellite dishes and TV aerials
- Solar panels and batteries
- Washing lines.

If service equipment is roof mounted (such as heating and cooling units), these should be positioned below the ridgeline and coloured to match the roof as far as practical.

Conventional Residential Lots (Green Ridge Precinct)

Similar to allotments within the 'Conventional Residential' area, allotments adjacent to the Green Ridge Precinct will accommodate medium density residential development, in some cases with zero setback to the street. Residential densities range between 600 square metres and 800 square metres.

Setbacks

The following setbacks apply:

Front	Dwellings to be setback a minimum of 4.0 metres from the front street alignment. Sections of the dwelling may be permitted to be built to the street if the purpose is for a non-residential use permitted under the General Residential Zone (such as home occupation). A wall on a front boundary should be limited to a total length of not more than 7.0 metres on that boundary
Rear	No less than 3.0 metres.
Side	Combined setback of 2.0 metres.
Garages	Garages should be setback no less than 5.0 metres from the street frontage and should be setback no less than 1.0 metre behind the front building line.
Outbuildings	Outbuildings should not be visible from the public realm.

Figure 36: ***Conventional Residential Lots Building Envelope (Green Ridge)***

Maximum building height

Allotments within the Green Ridge Precinct have a maximum building height of 5.0 metres above natural ground level.

Building envelope, setback and height requirements will be registered on title at time of subdivision.

Character

Dwelling facades should include features such as porticos or verandahs to visually break up long walls. Garages should not dominate the appearance of the dwelling and must be a complementary and recessive element to the dwelling facade.

Designs for corner allotments should address both street alignments and/or linking space. Side elevations should be given equal attention to create 'multi-sided' buildings. The design should ensure habitable room windows overlook the side street and/or linking space.

Materials and colours

Dwellings should incorporate materials which respond to local climatic coastal conditions and should incorporate at least two contrasting materials / finishes to facades to ensure a visually interesting design and enhance streetscape appeal.

External building colours should reflect muted earthy tones which will blend with the coastal setting. A sample of colours for use on building exteriors is provided on pages 93-95.

Fencing

Front fence	Maximum height of 1.5 metres with minimum 50% transparency. Solid fencing below 1.2 metres in height is permitted.
Wing fence	Side wing fences must be setback at least 0.5 metres from the building facade and must be minimum 50% transparency. Solid fencing is not allowed.
Side fence	Fencing (greater than 1.5 metres in height) to a side street alignment should be setback 800mm to provide a landscaping strip along the street alignment. Fencing should have a minimum 50% transparency.

Fencing requirements will be registered on title at time of subdivision.

Access and driveways

Driveways should not dominate front gardens. They should be a secondary element to landscaping and not detract from the appearance of the streetscape.

The design and finish of driveways should complement the design of buildings and landscaping. A sample of materials and finishes is provided on pages 91-93.

Maximum width of crossover must be no wider than 5 metres.

Garages

Garages and garage doors should complement the design of the dwelling and proposed landscape and be finished with similar or complementary materials.

Garage doors should be of a panel lift door or slim line sectional door variety. Roller doors are not permitted to the facade.

Garage width should not exceed the width of the main dwelling facade.

Landscape

At least three (3) canopy trees should be provided (at least one in the front garden and at least two in the rear garden). Canopy trees must include indigenous species suited to the coastal setting.

Every dwelling must provide for on-site rainwater collection in water tanks for garden irrigation.

Ancillary structures and service equipment

Ancillary structures and elements should be located so that are not readily visible from the public realm. This includes items such as:

- Hot water systems (including solar heating)
- Heating and cooling units
- Water storage tanks
- Satellite dishes and TV aerials
- Solar panels and batteries
- Washing lines.

If service equipment is roof mounted (such as heating and cooling units), these should be positioned below the ridgeline and coloured to match the roof as far as practical.

Conventional Residential Lots (Hopkins Point Road Precinct)

Allotments along Hopkins Point Road are designed to ensure dwellings address Hopkins Point Road. Residential densities range between 600 square metres and 800 square metres.

Setbacks

The following setbacks apply:

Front	Houses must be designed to have frontage to Hopkins Point Road. Dwellings to be setback no less than 5.0 metres from Hopkins Point Road. Porches, verandahs, masonry chimneys, etc. may encroach into the setback distance by no more than 1.0 metre. Eaves, fascias and gutters may encroach into the setback distance by no more than 600mm.
Rear	No less than 3.0 metres.
Side	Combined setback of 2.0 metres.
Garages	Garages may encroach into the rear setback distance. Garages oriented to the rear road may be built on the building line of this road if the garage doors are at 90 degrees from the road alignment (see precedent images on page 76). A wall on a rear boundary should must be limited to a total length of not more than 7.0 metres on that boundary.
Outbuildings	Outbuildings should be screened from the public realm.

Building envelope and setback requirements will be registered on title at time of subdivision.

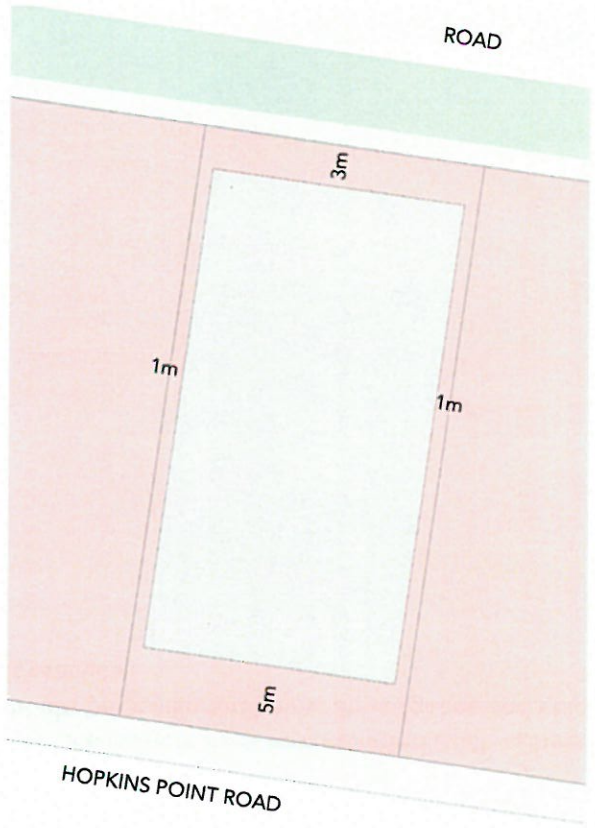


Figure 37: ***Conventional Residential Lots Building Envelope (Hopkins Point Road)***

Maximum building height

Hopkins Point Road Precinct **Area A** - Maximum building height of 7.5 metres above natural ground level. Where possible, building envelopes will be provided to enable view sharing of long-distance views to the Warrnambool Breakwater and Port Fairy.

Hopkins Point Road Precinct **Area B** - Maximum building height of 5.5 metres above natural ground level. Height will be limited to single storey to reduce potential visual impact of building form near the Hopkins Point Road cutting. Building envelopes will be provided to enable view sharing of long-distance views to the Warrnambool Breakwater and Port Fairy.

Hopkins Point Road Precinct **Area C** - Maximum building height of 7.5 metres above natural ground level reducing to single storey closer to the rear road frontage. Land within Area C contains slope which lends itself to split-level dwellings. Built form will be limited to single storey at the rear road frontage with opportunities to develop higher built form in response to slope.

Building envelope, setback and height requirements will be registered on title at time of subdivision.

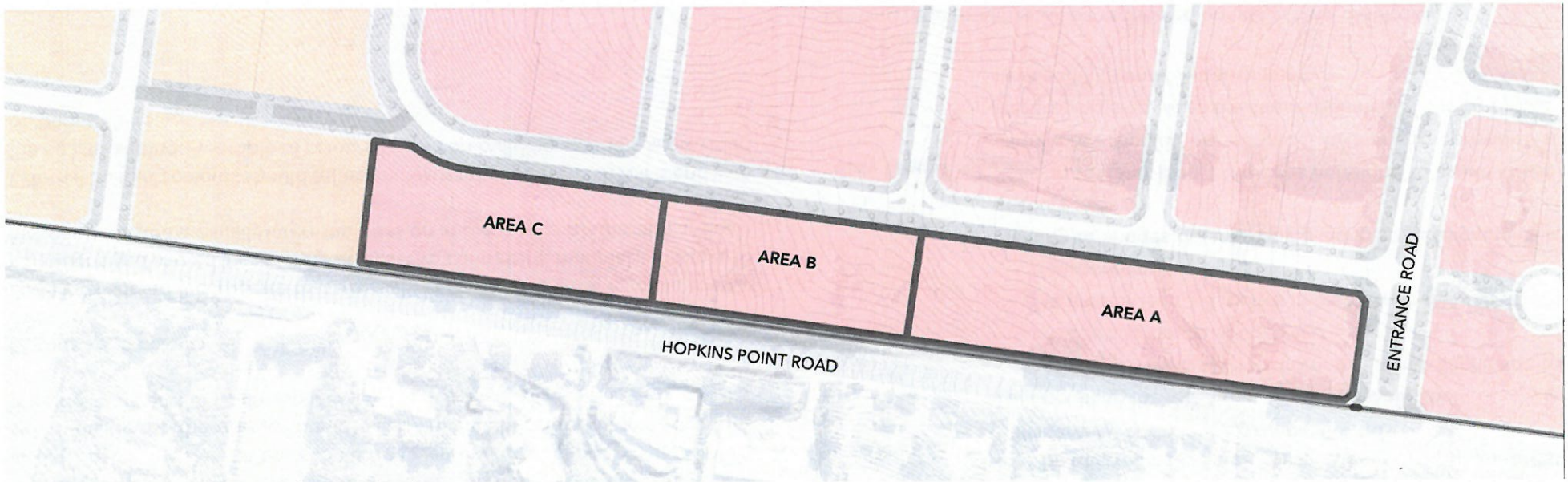


Figure 38: ***Building Height Areas - Hopkins Point Road***

Character

Dwelling facades should include features such as porticos or verandahs to visually break up long walls. Garages should not dominate the appearance of the dwelling and must be a complementary and recessive element to the dwelling.

Designs for corner allotments should address both street alignments and/or linking space. Side elevations should be given equal attention to create 'multi-sided' buildings. The design should ensure habitable room windows overlook the side street and/or linking space.

Materials and colours

Dwellings should incorporate materials which respond to local climatic coastal conditions and should incorporate at least two contrasting materials / finishes to facades to ensure a visually interesting design and enhance streetscape appeal.

External building colours should reflect muted earthy tones which will blend with the coastal setting. A sample of colours for use on building exteriors is provided on pages 93-95.

Fencing

Front fence Maximum height of 1.5 metres with minimum 50% transparency. Solid fencing below 1.2 metres in height is permitted.

Wing fence Side wing fences must be setback at least 0.5 metres from the building facade and must contain minimum 50% transparency. Solid fencing is not allowed.

Rear fences Fencing along the rear street alignment should be:

- Setback at least 400mm from the street alignment to provide a landscaping strip, and
- No greater than 1.8 metres in height with minimum 50% transparency.

Planting of hedges or landscaping along street alignments is encouraged.

Side fences Fencing (greater than 1.5 metres in height) to a side street alignment should be setback 800mm to provide a landscaping strip along the street alignment. Fencing should have a minimum 50% transparency.

Fencing requirements will be registered on title at time of subdivision.

Access and driveways

Driveways should be a secondary element to landscaping and not detract from the appearance of the streetscape.

The design and finish of driveways should complement the design of buildings and landscaping. A sample of materials and finishes is provided on pages 91-93.

Maximum width of crossover must be no wider than 5 metres.

Garages

Garages and garage doors should complement the design of the dwelling and proposed landscape and be finished with similar or complementary materials.

Garage doors should be of a panel lift door or slim line sectional door variety. Roller doors are not permitted to the facade.

Precedent image: example of rear garaging
Photo credit: David Dreadon, GroupGS

Precedent image: example of rear feature fence
Photo credit: David Dreadon, GroupGSA

Landscape

At least three (3) canopy trees should be provided (at least one in the front garden and at least two in the rear garden). Canopy trees must include indigenous species suited to the coastal setting.

Every dwelling must provide for on-site rainwater collection in water tanks for garden irrigation.

Ancillary structures and service equipment

Ancillary structures and elements should be located so that are not readily visible from the public realm. This includes items such as:

- Hot water systems (including solar heating)
- Heating and cooling units
- Water storage tanks
- Satellite dishes and TV aerials
- Solar panels and batteries
- Washing lines.

If service equipment is roof mounted (such as heating and cooling units), these should be positioned below the ridgeline and coloured to match the roof as far as practical.

Spacious Residential Lots

Lots will accommodate residential development at lower densities to promote generous landscaping and space between buildings. Residential densities range between 1,000 square metres and 2,000 square metres. Allotments are to contain building envelopes (generally measuring 20 metres by 30 metres).

Setbacks

The following setbacks apply:

Front	Dwellings to be setback no less than 6.0 metres from the front street alignment. Porches, verandahs, masonry chimneys, etc. may encroach into the setback distance by no more than 1.0 metre. Eaves, fascias and gutters may encroach into the setback distance by no more than 600mm.
Rear	No less than 3.0 metres.
Side	No less than 3.0 metres.
Garages	Garages should be setback no less than 7.0 metres from the street frontage and should be setback no less than 1.0 metre behind the front building line.
Outbuildings	Outbuildings may be permitted to encroach into the rear boundary setback a distance of 50% of the length of the building envelope along the rear boundary. Outbuildings should not be visible from the public realm.

Building envelope and setback requirements will be registered on title at time of subdivision.

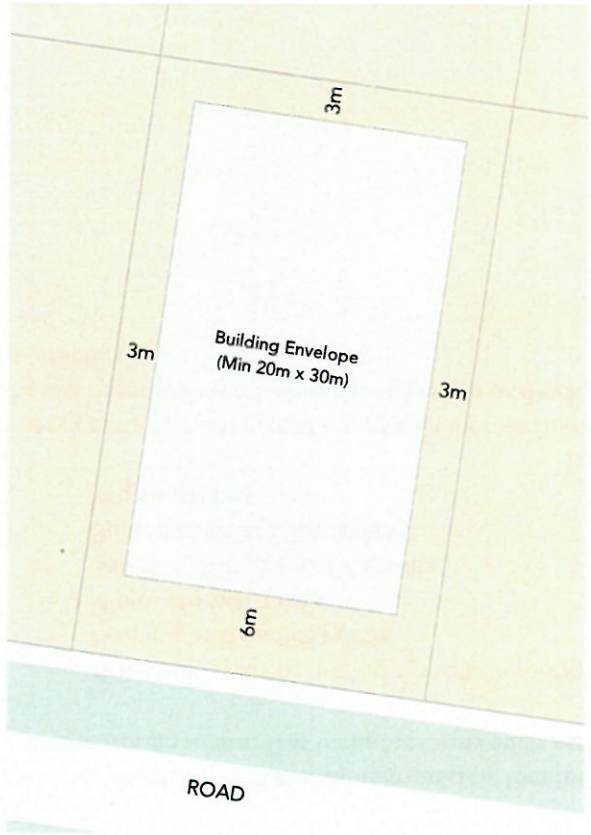


Figure 39: ***Spacious Residential Lots***

Character

Dwelling facades should include features such as porticos or verandahs to visually break up long walls. Garages should not dominate the appearance of the dwelling and must be a complementary and recessive element to the dwelling facade.

Designs for corner allotments should address both street alignments and/or linking space. Side elevations should be given equal attention to create 'multi-sided' buildings. The design should ensure habitable room windows overlook the side street and/or linking space.

Dwellings within the River Mouth Character Area should be contemporary in design, finish and form and reflect a contemporary coastal style of architecture.

Roof design

Dwellings within the River Mouth Character Area should include a roof design which is simple in style and is integrated with the building design (maximum 14 degree pitch). Roof materials should be matt in finish and non-reflective. Where eaves are to be provided, they are encouraged to be a minimum depth of 450mm.

Materials and colours

Dwellings should incorporate materials which respond to local climatic coastal conditions and should incorporate at least two contrasting materials / finishes to facades to ensure a visually interesting design and enhance streetscape appeal.

External building colours should reflect muted earthy tones which will blend with the coastal setting. A sample of colours for use on building exteriors is provided on pages 93-95.

Fencing

Front fence	Maximum height of 1.5 metres with minimum 50% transparency. Solid fencing below 1.2 metres in height is permitted.
Wing fence	Side wing fences must be setback at least 0.5 metres from the building facade and must contain minimum 50% transparency. Solid fencing is not allowed
Side fences	Fencing (greater than 1.5 metres in height) to a side street alignment should be setback 800mm to provide a landscaping strip along the street alignment. Fencing should have a minimum 50% transparency.

Fencing requirements will be registered on title at time of subdivision.

Access and driveways

Driveways should not dominate front gardens. They should be a secondary element to landscaping and not detract from the appearance of the streetscape.

The design and finish of driveways should complement the design of buildings and landscaping. A sample of materials and finishes is provided on pages 91-93.

Maximum width of crossover must be no wider than 5 metres.

Garages

Garages and garage doors should complement the design of the dwelling and proposed landscape and be finished with similar or complementary materials.

Garage doors should be of a panel lift door or slim line sectional door variety. Roller doors are not permitted to the facade.

Garage width should not exceed the width of the main dwelling facade.

Landscape

At least three (3) canopy trees should be provided (at least one in the front garden and at least two in the rear garden). Canopy trees must include indigenous species suited to the coastal setting.

Every dwelling must provide for on-site rainwater collection in water tanks for garden irrigation.

Ancillary structures and service equipment

Ancillary structures and elements should be located so that are not readily visible from the public realm. This includes items such as:

- Hot water systems (including solar heating)
- Heating and cooling units
- Water storage tanks
- Satellite dishes and TV aerials
- Solar panels and batteries
- Washing lines.

If service equipment is roof mounted (such as heating and cooling units), these should be positioned below the ridgeline and coloured to match the roof as far as practical.

Spacious Residential Lots (South West)

Allotments along Hopkins Point Road are designed to ensure dwellings address Hopkins Point Road. Residential densities range between 1,000 square metres and 2,000 square metres.

Setbacks

The following setbacks apply:

- ...oad. Dwellings to be setback no less than 5.0 metres fr
  Hopkins Point Road. Porches, verandahs, masonry chimne
  etc. may encroach into the setback distance by no more th
  .0 metre. Eaves, fascias and gutters may encroach into t
  setback distance by no more than 600mm.
- e ...lo less than 3.0 metres.
- ...arages oriented to the rear road may be built on t
  ...uilding line of this road if the garage doors are at 90 degre
  ...om the road alignment (see precedent images on page 7
  ... wall on a rear boundary should must be limited to a tc
  length of not more than 7.0 metres on that boundary.

Figure 40: ***Spacious Residential Lots (Hopkins Point Road)***

Building envelope and setback requirements will be registered on title at time of subdivision.

Character

Dwellings should be contemporary in design, finish and form and reflect a contemporary coastal style of architecture.

Dwelling facades should include features such as porticos or verandahs to visually break up long walls. When located within the dwelling facade, garages should not dominate the appearance of the dwelling and must be a complementary and recessive element to the dwelling facade.

Designs for corner allotments should address both street alignments and/or linking space. Side elevations should be given equal attention to create 'multi-sided' buildings. The design should ensure habitable room windows overlook the side street and/or linking space.

Roof design

Dwellings should include a roof design which is simple in style and is integrated with the building design (maximum 14 degree pitch). Roof materials should be matt in finish and non-reflective. Where eaves are to be provided, they are encouraged to be a minimum depth of 450mm.

Materials and colours

Dwellings should incorporate materials which respond to local climatic coastal conditions and should incorporate at least two contrasting materials / finishes to facades to ensure a visually interesting design and enhance streetscape appeal.

External building colours should reflect muted earthy tones which will blend with the coastal setting. A sample of colours for use on building exteriors is provided on pages 93-95.

Fencing

Front fence Maximum height of 1.5 metres with minimum 50% transparency. Solid fencing below 1.2 metres in height is permitted.

Wing fence Side wing fences must be setback at least 0.5 metres from the building facade and must be minimum 50% transparency. Solid fencing is not allowed.

Rear fences Fencing along the rear street alignment should be:

- Setback at least 400mm from the street alignment to provide a landscaping strip, and
- No greater than 1.8 metres in height with minimum 50% transparency.

Planting of hedges or landscaping along street alignments is encouraged.

Side fence Fencing (greater than 1.5 metres in height) to a side street alignment should be setback 800mm to provide a landscaping strip along the street alignment. Fencing should have a minimum 50% transparency.

Fencing requirements will be registered on title at time of subdivision.

Access and driveways

Driveways should not dominate front gardens. They should be a secondary element to landscaping and not detract from the appearance of the streetscape.

The design and finish of driveways should complement the design of buildings and landscaping. A sample of materials and finishes is provided on pages 91-93.

Maximum width of crossover must be no wider than 5 metres.

Garages

Garages and garage doors should complement the design of the dwelling and proposed landscape and be finished with similar or complementary materials.

Garage doors should be of a panel lift door or slim line sectional door variety. Roller doors are not permitted to the facade.

Landscape

At least three (3) canopy trees should be provided (at least one in the front garden and at least two in the rear garden). Canopy trees must include indigenous species suited to the coastal setting.

Every dwelling must provide for on-site rainwater collection in water tanks for garden irrigation.

Ancillary structures and service equipment

Ancillary structures and elements should be located so that are not readily visible from the public realm. This includes items such as:

- Hot water systems (including solar heating)
- Heating and cooling units
- Water storage tanks
- Satellite dishes and TV aerials
- Solar panels and batteries
- Washing lines.

If service equipment is roof mounted (such as heating and cooling units), these should be positioned below the ridgeline and coloured to match the roof as far as practical.

Low Density Bush Lots

Residential densities range between 1,500 square metres and 2,500 square metres and provide space for substantial tree planting around buildings to enhance to vegetation appearance of the development plan area. Allotments are to contain building envelopes (generally measuring 20 metres by 30 metres).

Setbacks

The following setbacks apply:

Front	Dwellings to be setback no less than 6.0 metres from the front street alignment. Porches, verandahs, masonry chimneys, etc. may encroach into the setback distance by no more than 1.0 metre. Eaves, fascias and gutters may encroach into the setback distance by no more than 600mm.
Rear	No less than 3.0 metres.
Side	No less than 3.0 metres.
Garages	Garages should be setback no less than 7.0 metres from the street frontage and should be setback no less than 1.0 metre behind the front building line.
Outbuildings	Outbuildings should not be visible from the public realm.

Maximum building height

Maximum building height of 5.0 metres above natural ground level.

Building envelope, setback and height requirements will be registered on title at time of subdivision.

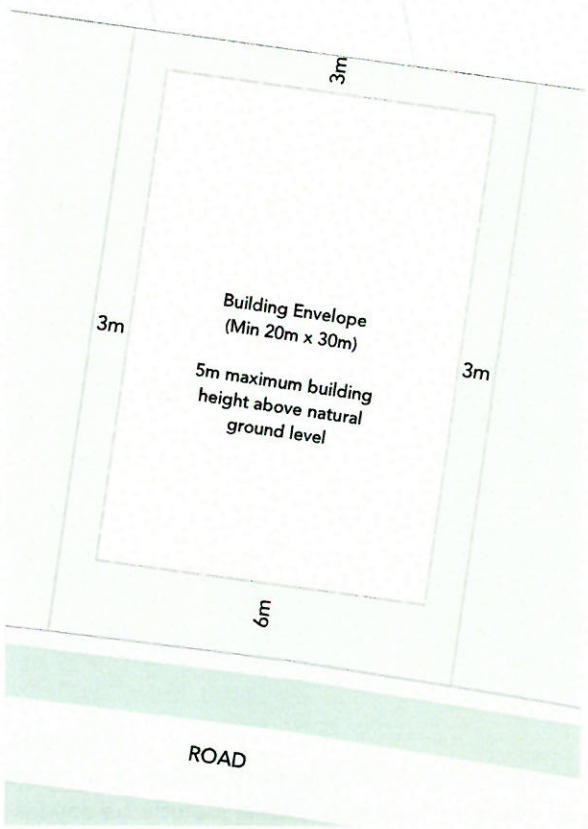


Figure 41: ***Low Density Bush Lots***

Character

Dwellings should be contemporary in design, finish and form and reflect a contemporary coastal style of architecture.

Dwelling facades should include features such as porticos or verandahs to visually break up long walls. Garages should not dominate the appearance of the dwelling and must be a complementary and recessive element to the dwelling facade.

Designs for corner allotments should address both street alignments and/or linking space. Side elevations should be given equal attention to create 'multi-sided' buildings. The design should ensure habitable room windows overlook the side street and/or linking space.

Roof design

Dwellings should include a roof design which is simple in style and is integrated with the building design (maximum 14 degree pitch). Roof materials should be matt in finish and non-reflective. Where eaves are to be provided, they are encouraged to be a minimum depth of 450mm. Gable roof forms are not encouraged.

Materials and colours

Dwellings should incorporate materials which respond to local climatic coastal conditions and should incorporate at least two contrasting materials / finishes to facades to ensure a visually interesting design and enhance streetscape appeal.

External building colours should reflect muted earthy tones which will blend with the coastal setting. Dark roof colours are encouraged. A sample of colours for use on building exteriors is provided on pages 93-95.

Fencing

No front fencing shall be permitted (to be managed via a restriction on title).

Side fencing must be constructed 1 metre behind the front facade and return to abut the dwelling.

Fencing requirements will be registered on title at time of subdivision.

Access and driveways

Driveways should not dominate front gardens. They should be a secondary element to landscaping and not detract from the appearance of the streetscape.

The design and finish of driveways should complement the design of buildings and landscaping. A sample of materials and finishes is provided on pages 91-93.

Maximum width of crossover must be no wider than 5 metres.

Garages

Garages and garage doors should complement the design of the dwelling and proposed landscape and be finished with similar or complementary materials.

Garage doors should be of a panel lift door or slim line sectional door variety. Roller doors are not permitted to the facade.

Garage width should not exceed the width of the main dwelling facade.

Landscape

At least three (3) canopy trees should be provided (at least one in the front garden and at least two in the rear garden). Canopy trees must include indigenous species suited to the coastal setting.

Every dwelling must provide for on-site rainwater collection in water tanks for garden irrigation.

Ancillary structures and service equipment

Ancillary structures and elements should be located so that are not readily visible from the public realm. This includes items such as:

- Hot water systems (including solar heating)
- Heating and cooling units
- Water storage tanks
- Satellite dishes and TV aerials
- Solar panels and batteries
- Washing lines.

If service equipment is roof mounted (such as heating and cooling units), these should be positioned below the ridgeline and coloured to match the roof as far as practical.

Riverside Lots

In recognition of the precinct's topographic and access constraints, lots within the 'Riverside Lots' area range between 2,000 square metres and 5,000 square metres. Lots have generous setbacks to encourage extensive landscaping.

Setbacks

The following setbacks apply:

Front	Dwellings to be setback no less than 9.0 metres from the front street alignment. Porches, verandahs, masonry chimneys, etc. may encroach into the setback distance by no more than 1.0 metre. Eaves, fascias and gutters may encroach into the setback distance by no more than 600mm.
Rear	No less than 25.0 metres (50.0 metres where lots have a shared boundary with the river reserve).
Side	No less than 5.0 metres.
Outbuildings	Outbuildings should not be visible from the public realm.

Building envelope and setback requirements will be registered on title at time of subdivision.

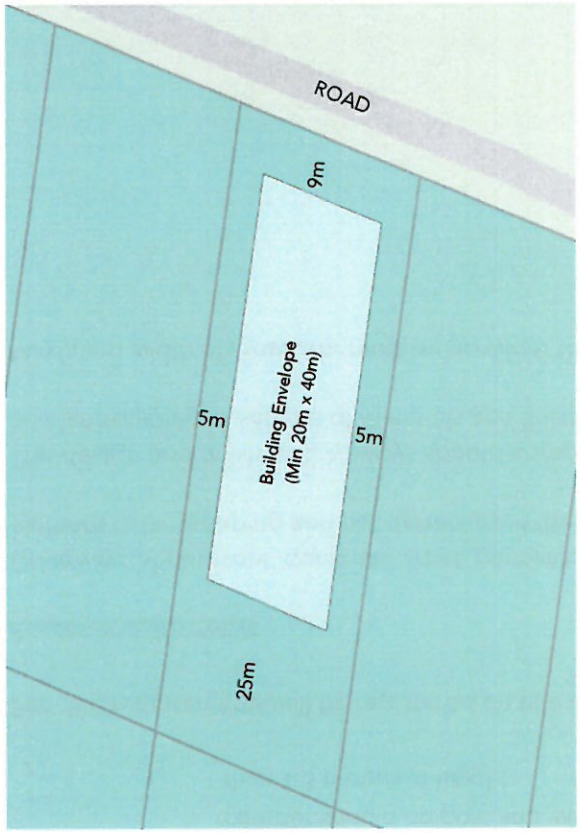


Figure 42: ***Riverside Lots***

Character

Dwellings should be contemporary in design, finish and form and reflect a contemporary coastal style of architecture.

Dwelling facades should include features such as porticos or verandahs to visually break up long walls. Garages should not dominate the appearance of the dwelling and must be a complementary and recessive element to the dwelling facade.

Designs for corner allotments should address both street alignments and/or linking space. Side elevations should be given equal attention to create 'multi-sided' buildings. The design should ensure habitable room windows overlook the side street and/or linking space.

Roof design

Dwellings should include a roof design which is simple in style and is integrated with the building design (maximum 14 degree pitch). Roof materials should be matt in finish and non-reflective. Where eaves are to be provided, they are encouraged to be a minimum depth of 450mm.

Materials and colours

Dwellings should incorporate materials which respond to local climatic coastal conditions and should incorporate at least two contrasting materials / finishes to facades to ensure a visually interesting design and enhance streetscape appeal.

External building colours should reflect muted earthy tones which will blend with the coastal setting. A sample of colours for use on building exteriors is provided on pages 93-95.

Fencing

No front fencing shall be permitted (to be managed via a restriction on title).

Side fencing must be constructed 1 metre behind the front facade and return to abut the dwelling.

In addition to the above fencing requirements, the following requirements apply to lots which adjoin the biodiversity corridor.

Rear fences Fencing along the rear boundaries adjoining the biodiversity corridor should be post and wire construction and no greater than 1.5 metres in height.

Fencing requirements will be registered on title at time of subdivision.

Access and driveways

Driveways should not dominate front gardens. They should be a secondary element to landscaping and not detract from the appearance of the streetscape.

The design and finish of driveways should complement the design of buildings and landscaping. A sample of materials and finishes is provided on pages 91-93.

Maximum width of crossover must be no wider than 5 metres.

Garages

Garages and garage doors should complement the design of the dwelling and proposed landscape and be finished with similar or complementary materials.

Garage doors should be of a panel lift door or slim line sectional door variety. Roller doors are not permitted to the facade.

Garage width should not exceed the width of the main dwelling facade.

Landscape

At least eight (8) canopy trees should be provided (at least three in the front garden and at least five in the rear garden). Canopy trees must include indigenous species suited to the coastal setting.

Every dwelling must provide for on-site rainwater collection in water tanks for garden irrigation.

Ancillary structures and service equipment

Ancillary structures and elements should be located so that are not readily visible from the public realm. This includes items such as:

- Hot water systems (including solar heating)
- Heating and cooling units
- Water storage tanks
- Satellite dishes and TV aerials
- Solar panels and batteries
- Washing lines.

If service equipment is roof mounted (such as heating and cooling units), these should be positioned below the ridgeline and coloured to match the roof as far as practical.

Hopkins Heights 'village centre'

With vibrant cafes, restaurants and providores within easy walking distances of homes, the Hopkins Heights 'village centre' is the heart of the Hopkins Heights Estate.

The 'village centre' is a central gathering place where people can linger over a late brunch on the weekend or meet clients for lunch meetings, with different menus and venues on offer. On your way to work? Swing by your favourite barista for a takeaway brew and soak in the magnificent vistas which remind you Hopkins Heights is an amazing place to call home.

With providores within walking distance from home, you won't have to go far if you need to dash to the shops for fresh produce. It's the perfect location to visit when you feel like whipping up something special after work.

The 'village centre' will feature well-designed buildings and public spaces which draw people in the make them want to spend time in them. The linear park serves an important role in the connectiveness of the local community, as it provides a range of flexible spaces that cater for different activities. This area will be designed with opportunity for food trucks and temporary market stalls in mind. Most food and drink uses are permissible under the existing General Residential Zone.

Precedent image: street corner café seating example (Tusmo Café Bar, Forde ACT)

Precinct Character

Development (including subdivision, landscaping and construction of dwellings) should respond to the preferred character of each precinct. Design guidelines, including preferred colour palette and materials and finishes for each precinct, is set out on the following pages.

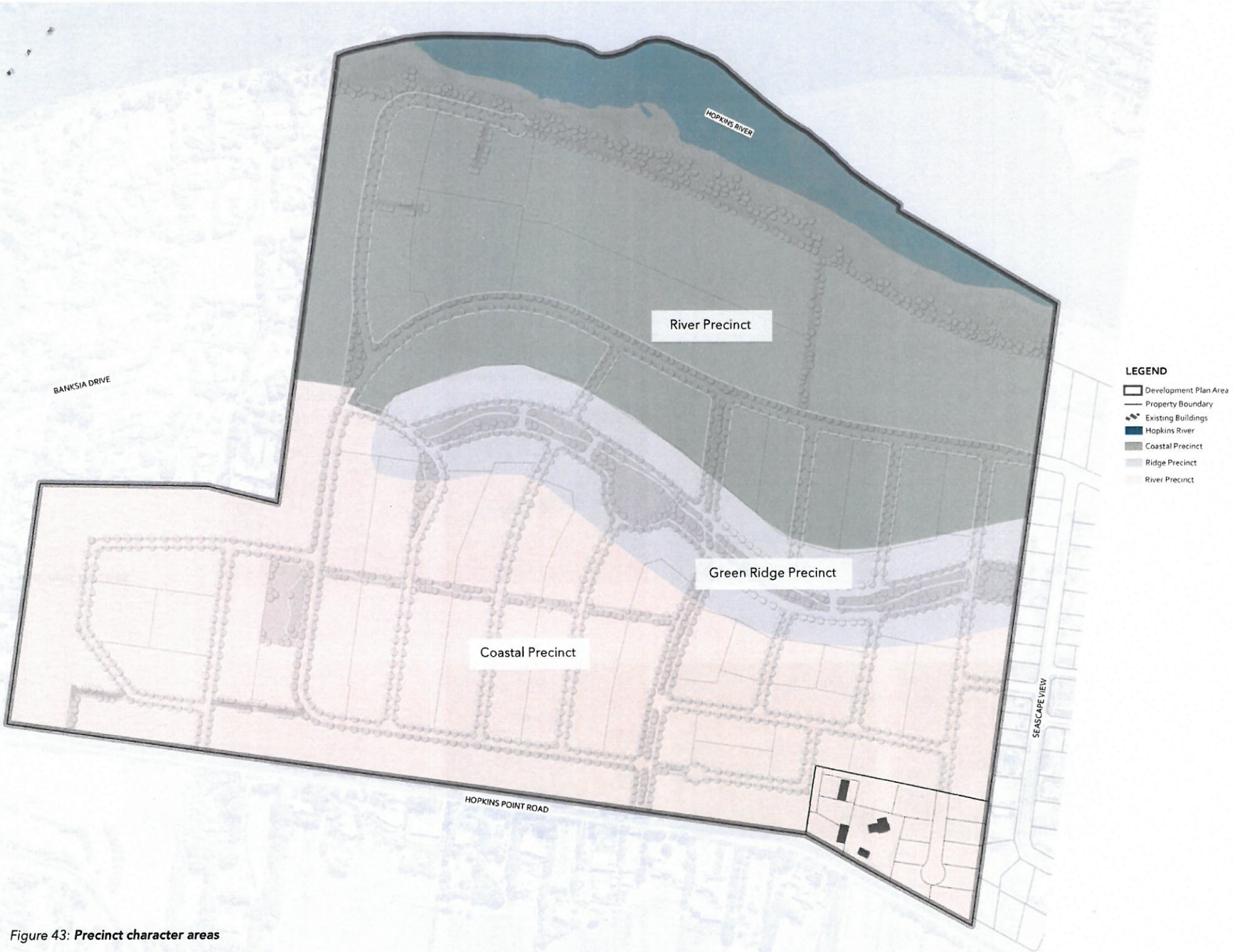
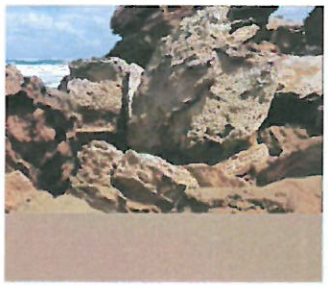


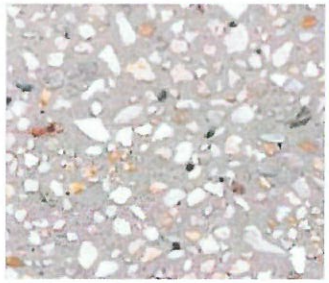
Figure 43: ***Precinct character areas***

Coastal Precinct

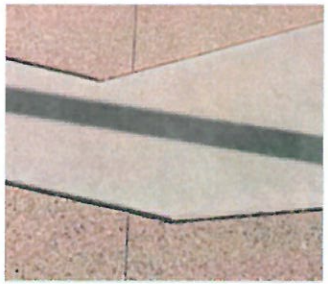
Colour Palette



Material and finishes



Exposed aggregate concrete with warm colour finish



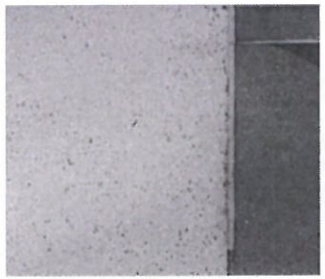
Exposed aggregate concrete unit paver with plain concrete paving

Feature paving area

Green Ridge Precinct

Colour Palette

Material and finishes



Exposed aggregate concrete unit paver

Feature paving area with exposed feature rocks

Granitic sand paving area

Shared path crossing treatment

River Precinct

Colour Palette

Material and finishes

Exposed aggregate concrete

Granitic sand paving area

6.4 Utilities and drainage

The development plan area is capable of being serviced by all major urban services.

Water supply

Wannon Water is the responsible authority for the provision of water supply facilities to the development plan area. Reticulated water supply will be provided by the developer at time of construction in accordance with agreement reached with Wannon Water. The development plan makes allowance for a water storage facility (located on the ridge along the eastern boundary of the development plan area) and water pump station located in the north-western corner of the development plan area.

Sewer

Wannon Water is the responsible authority for the provision of sewerage facilities to the development plan area.

All future residential allotments can be serviced via a gravity sewer. A pump station will be located in the north-western corner of the development plan area which will enable future allotments to the north of the ridgeline to connect to the existing sewer. Sewerage infrastructure will be provided by the developer at time of construction in accordance with agreement reached with Wannon Water.

Electricity

Powercor is the responsible authority for the provision of electricity supply to service the development plan area.

Electricity supply can be provided to the area from existing transmission lines. A power kiosk will be required to be installed in order to serve the proposed development[1].

Gas

SP AusNet is the responsible authority for provision of gas reticulation to service the development plan area. A high pressure gas pipeline exists in to the west of the development plan area which is available and the preferred option for connection / extension.

Telecommunications

The National Broadband Network Company (NBNco) is the responsible authority for the provision of telecommunication facilities to service the development plan area. Connection is proposed to be made via an extension to existing services in the area.

[1] *To be included as part of the subdivisional works completed during the civil construction phase of the development.*

Drainage

Warrnambool City Council is the responsible authority for stormwater drainage within the development plan area.

A Stormwater Management Plan setting out the existing drainage constraints and future infrastructure is provided with this development plan. In summary, the Stormwater Management Plan identifies stormwater will be collected and treated via proposed infiltration / bio-retention facilities. Post development stormwater flows will be retarded by a series of rain gardens and detention basis, and ultimately discharged into the Hopkins River.

Figure 44: ***Water storage and pump stations***

6.5 Staging

The logical staging of the development plan area will revolve around the incremental roll out of the services as required. Areas located to the east of the development plan area and along Hopkins Point Road will be the first areas which are likely to be developed as they have access to existing services. As such, these areas have been identified as the most likely Stage 1 and 2 areas.

Guidelines for planning permit applications:

- Applications for subdivision must be accompanied with a Servicing Report which sets out likely staging and infrastructure delivery and proposed and ultimate drainage infrastructure (including temporary wetland requirements).

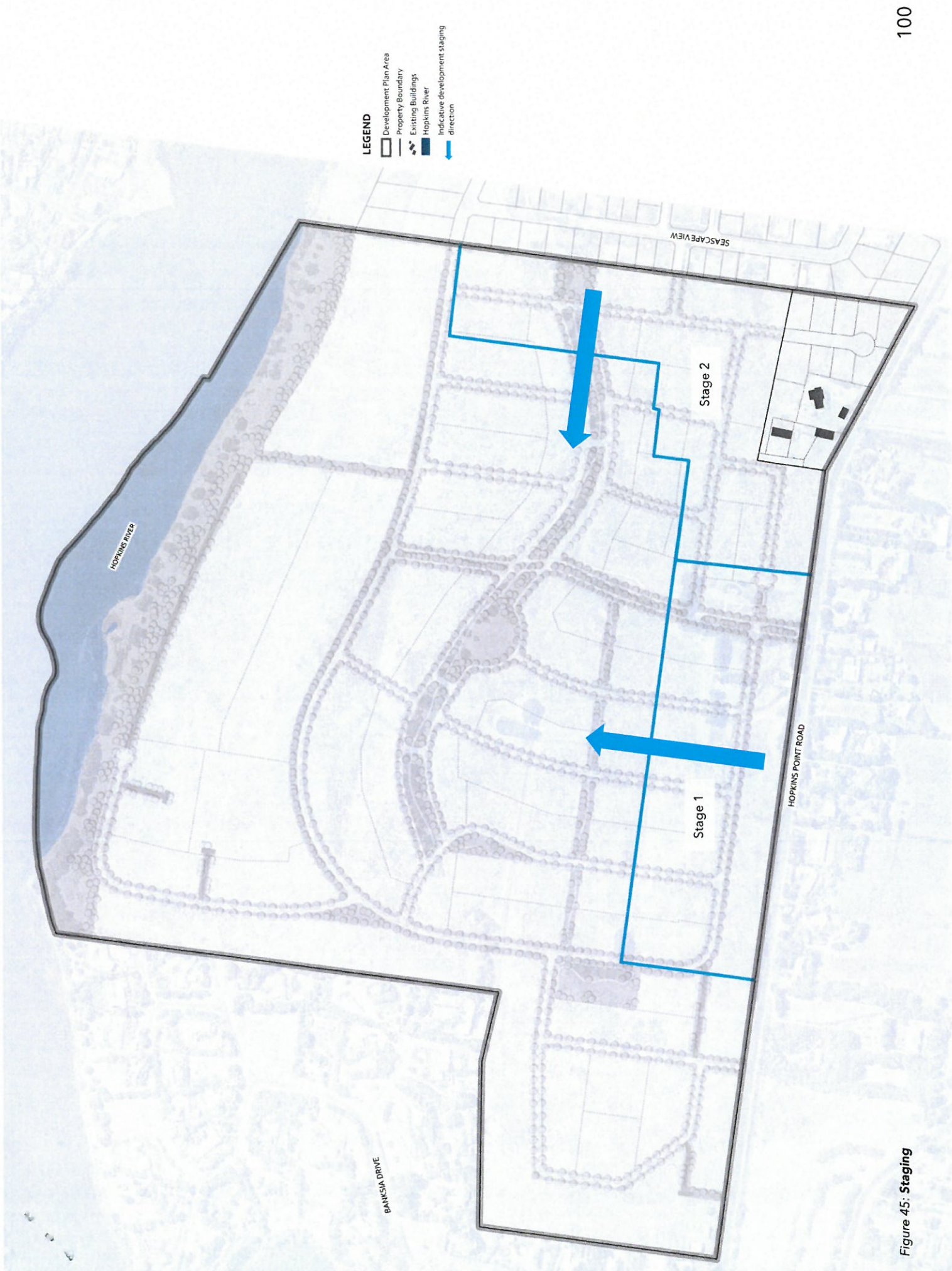


*Figure 45: **Staging***

MYERS PLANNING GROUP

182B Lava Street
Warrnambool VIC 3280

T 03 5562 9443

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The following table details:

- Objectives and requirements in schedule 13 to the Development Plan Overlay (DPO13) under the Warrnambool Planning Scheme.
- Council officer discussion and comments.
- An assessment on whether the DPO13 objective / requirement has been satisfied.

Objective / Requirement	Officer discussion and comments	DPO objective / requirement satisfied YES/NO
Overall objectives		
To implement the vision of the Coastal Hopkins River Environment Structure Plan May 2008 and to implement the layout, design and density objectives of the Coastal/Hopkins River Outline Development Plan in Clause 21.05.	The Coastal Hopkins River Environment Structure Plan 2008 contains a vision at page 35 and this is incorporated into the Schedule to the Development Plan Overlay (13). The submitted Development Plan (DP) acknowledges and responds to the vision, adding commentary around matters such as pedestrian and bicycle linkages, urban design, public transport, diversity in residential densities, public open space and access to shops and services. The content referred to under Clause 21.05 is now at 21.11-5 following the Planning Scheme Rewrite. The DP is considered in some ways to deviate from the Coastal/ Hopkins River Outline Development Plan, however the DP provides a satisfactory response to support an alternative.	**YES**
Subdivision and building envelope objectives		
To provide a neighbourhood that: i. Provides diversity in lot sizes and housing styles, with smaller lots in key, high amenity locations and larger lots in appropriate locations such as on steep slopes. ii. Ensures future buildings and structures can be sited to incorporate space for the planting of substantial vegetation and avoids steep slopes. iii. Has wide nature strips to allow planting that nominate the roadside setting. iv. Incorporates the use of Water Sensitive Urban Design principles.	Section 4 of the DP responds to the individual objectives of the Overlay. i. The DP shows the four (4) different precincts as anticipated by the Outline Development Plan; 'Riverside Bush Lots' located adjacent to the Hopkins on sites affected by topography, 'Low Density Bush Lots' located parallel to contours, 'Spacious Residential Lots' allowing for re-vegetation and 'Conventional Lots' adjacent to Hopkins Point Road. ii. At section 6.3 of the DP there are design guidelines that support each of the precincts and which are intended to influence future development design, layout and siting. iii. The proposed road layouts incorporate wide nature strips allowing for significant planting on the road sides. iv. The DP has been prepared in line with recommendations from a number of other documents including a Services and Drainage Plan prepared by TGM Group August 2018. The detail will be incorporated in subsequent planning permits for the subdivision of the land.	**YES**

Objective / Requirement	Officer discussion and comments	DPO objective / requirement satisfied YES/NO
Movement network objectives		
To provide a movement network, including a connector road, local street and pedestrian/cycle path network that: i. Responds to the topography. ii. Establishes a permeable street network which allows for safe and convenient pedestrian, bicycle and vehicle movement. iii. Enhances pedestrian and bicycle links between public open spaces within and beyond the study area and between existing and future residential development in the Coastal / Hopkins River Environment area. iv. Ensures that development is designed to be integrated with existing public transport systems. v. Manages the impacts of residential development on the existing road network.	Movement network has been addressed at section 6.1 of the DP. The developer has engaged TGM Group to prepare a Functional Design/ Layout plan. The plan is considered to respond to all the relevant objectives. Areas of the site are significantly constrained by slope and TGM has provided an appropriate response accommodating for all abilities access (where possible) and the requirements of the emergency services. The proposed road network allows for a hierarchy and connectivity with Hopkins Ridge subdivision to the east. A central reserve runs along the ridgeline accommodating a 'village centre' and public transport connections. A central reserve is connected to the surrounding area via footpaths and cycle paths. Vehicular access is provided to the Hopkins River where a proposed footpath provides the opportunity to walk the future reserve.	YES
Open Space and landscape objectives		
To provide an interlinked open space network. • Provides accessible and high amenity public open spaces incorporating existing landscape and environmental features and takes advantage of key views. • Provides the opportunity for views of the surrounding landscape from private allotments, and public domain. • Minimises the visual intrusion of residential development when viewed from key locations in the surrounding areas. • Provides pedestrian links in open space to adjoining areas.	Landscaping and open space has been addressed a section 6.2 of the DP. The plan is considered to respond to all the relevant objectives. The DP responds in a way that is anticipated by the Structure Plan and Outline Development Plan, including: • Incorporating the existing trees on the ridge line • Inclusion of 'pause places' at a number of intersections. • Several shared footpaths 2.5m in width provide accessibility throughout the estate. • Reconfiguration of a 1 hectare park to an alternative layout that caters for a variety of users • Significant landscaping of road reserves, public areas to contribute to amenity while also providing screening from external viewing points • Consideration of controls applied to private land e.g vegetation envelopes and minimum number of canopy trees. • Enhancement of primary entrance to the subdivision through the use of canopy trees. • Focus on the use of native species	YES

Objective / Requirement	Officer discussion and comments	DPO objective / requirement satisfied YES/NO
Service provision and drainage objectives		
To provide physical services and infrastructure that: • Meets the needs of the future community and the development. • Provides for the efficient, staged delivery of services and infrastructure to ensure all lots are provided with adequate services. • Incorporates a Water Sensitive Urban Design approach to stormwater management to protect water quality.	Service and drainage provision has been addressed a section 6.2 of the DP The plan is considered to respond to all the relevant objectives. • Water, sewer, electricity, gas and telecommunications have all been considered as part of preparing the DP. • A high-level water storage facility has been indicated on the ridgeline within the site, following consultation with Wanon Water. Officers understand that the final design has yet to be developed in consultation with Wannon Water. • All future residential allotments can be serviced via a gravity sewer, • Post- development stormwater flows will be retarded by a series of rainwater gardens and detention ponds/ basins. A Stormwater Management Plan has been prepared to guide the final drainage design solution.	YES
Site Analysis		
A development plan must include a detailed site analysis and design response that includes the following items to the satisfaction of the responsible authority: • An environmental assessment of the flora, fauna and habitat significance. • A landscape assessment that defines any important landscape views or vistas and any landscape features • An environmental audit identifying any environmental hazards or contamination on the land and proposed treatments, if any; or a qualified statement indicating the absence of such hazards or contamination. • A consolidated site analysis plan in digital and hard copy format that depicts all relevant site analysis information.	Site analysis and design response have been addressed at section 4.2 of the DP. The plan has considered the recommendations from the following supporting documents: • Environmental assessment *Flora and Fauna Assessment and Net Gain Analysis* Ecology Partners Pty Ltd, June 2011 • Cultural Heritage Management Plan *Hopkins Point Road Warrnambool: Residential Subdivision, Cultural Heritage Management Plan, Number 11721* Urban Colours Art and Cultural Heritage Consultants, 2 September 2011 (approved 7 October 2011) • Functional design *Functional design, Drawing Number 18311-03* TGM Group Pty Ltd, March 2019 • Geotechnical site analysis *Geotechnical Investigation* A.S. James Pty Ltd, 30 May 2012	YES

Objective / Requirement	Officer discussion and comments	DPO objective / requirement satisfied YES/NO
A geotechnical assessment which incorporates at least the following information: • Location of proposed lots, • Proposed services, such as sewer, stormwater, water, gas, electricity, telephone and other utility services, • Contour lines to AHD (500mm vertical intervals) • Earthwork details, and · Identification of trees to be removed or retained. A geotechnical site analysis that includes a: · • Stability Assessment Report; and · • Landslide Hazard Rating Analysis	• Services and drainage *Site Stormwater Management Plan* TGM Group Pty Ltd, August 2018 • Traffic *Traffic Engineering Assessment, Proposed Residential Subdivision as 'Madden Lane' Hopkins Point Road, Warrnambool* Traffix Group Pty Ltd, September 2018 • Environmental Assessment *Preliminary Site Investigation at Hopkins River Residential Growth Area, Warrnambool* Environmental Earth Sciences, November 2018	
Design Response		
The development plan must comprise: • A design response that is based on the results of the site analysis process, and is generally consistent with the objectives and requirements of Coastal / Hopkins River Environment - Structure Plan. • A written report and plans addressing the objectives described in this schedule	The submitted DP is considered generally consistent with the objectives and requirements of Coastal / Hopkins River Environment - Structure Plan. The DP consists of a written report, plans and images that address the objectives in the Overlay.	**YES**
Subdivision and building envelopes		
An indicative lot layout plan in accordance with the Coastal / Hopkins River Outline Development Plan in Clause 21.05 (now 21.11-5) and the following requirements:		

Objective / Requirement	Officer discussion and comments	DPO objective / requirement satisfied YES/NO
Movement Network	The DP provides an acceptable design outcome that includes: • Street layout plan (informed by a Traffic Management Plan) that details all aspects of the movement network, including streets, intersection treatments, traffic management devices, public transport routes and pedestrian/cycle paths. • Typical cross-sections for all streets. 2.5 metre wide shared paths. • Where possible, pedestrian and cycle accesses has been located on slopes less than 5%. • Road alignment and infrastructure is of low visual impact including narrow road pavements, rollover kerbs and wide nature strips where possible. • Road reserves should contain significant space to provide a vegetated backdrop/foreground to future buildings and structures. • A link has been provided to adjacent areas to the east.	YES
Open Space and Landscape	The DP provides an acceptable design outcome that includes: • An open space plan generally in accordance with the Open Space Network contained in the Coastal / Hopkins River Environment - Structure Plan. Any proposed beach access must be in accordance with the Coastal Management Act 1995. The plan must include: • A biodiversity corridor along the Hopkins River edge. • An open space corridor of at least 30 metres in width along the ridge line within Area 2 (Low Density Bush Lots). • Parkland throughout the site in excess of 1ha, including south of the ridgeline. • A landscape masterplan for each open space area and a street tree theme for streets and any common property accessways, including nomination of suitable species • Selected site vegetation to encourage the use of indigenous native species and species that realise appropriate growth heights and forms to achieve a vegetated backdrop and softening of future residential development. • A plan detailing vegetation to be preserved on site, vegetation to be removed and any revegetation works required in accordance with the recommendations of the flora and fauna assessment, including the types of species to be used. • Details of fencing treatments proposed for land abutting open space areas. • Landscape envelopes for all lots within Residential Precincts 1 and 2. • Details of proposed signage including aquatic safety signage and educational signage.	YES

War

Objective / Requirement	Officer discussion and comments	DPO objective / requirement satisfied YES/NO
Service provision and drainage	The DP provides an acceptable design outcome that includes: • A drainage report detailing how stormwater will be collected and treated, including adoption of Water Sensitive Urban Design principles; overland flow paths, and treatment and storage of stormwater. • A physical services report detailing the provision of water, sewerage, drainage and other utility services in accordance with requirements of relevant service authorities.	YES

Yes **Meets DPO requirements**

No **Does not meet DPO requirements**

5.5. TENDER NO. 2018047 - RECEIPT & PROCESSING OF RECYCLED PRODUCTS

Cr. Herbert remained out for this item.

PURPOSE:

To seek Council approval to abandon the tender process for Tender 2018047 Receipt and Processing of Recycled Products, to seek an interim recycling processing arrangement, and to support investigations into glass diversion or separation options.

EXECUTIVE SUMMARY

- Council nominated SKM Industries as its preferred tenderer for Tender 2018047 Receipt and Processing of Recycled Products at its 17th December 2018 ordinary meeting.
- Since being awarded preferred tender status, SKM have been issued notices by the EPA which resulted in them suspending the acceptance of recycling materials at a number of their plants for a short period. Although the EPA suspension has now been lifted, uncertainty remains in the industry and therefore Council needs to reconsider the appropriateness of awarding this tender.
- In abandoning this tender process, Council will need to put in place a contingency arrangement for recycling processing while a new tender process occurs. The contingency arrangement would need to run for the period of 1st July 2019 to at least the 30th January 2020.
- The contingency arrangement period would provide Council with the opportunity to consult the community over glass separation or diversion options which have been offered through other tender processes.

MOVED: CR. MICHAEL NEOH
SECONDED: CR. DAVID OWEN

That Council:

1. **Formally abandon the tender process for Tender 2018047 Receipt and Processing of Recycled Products and notify the preferred tenderer SKM industries of Councils decision.**
2. **Authorise officers to enter into an interim recycling processing arrangement.**
3. **Agree to consult with the community on glass diversion or separation options.**

CARRIED – 6:0

BACKGROUND

Council at its special meeting of 17th December 2018 nominated SKM Industries as its preferred tenderer for the Receipt and Processing of Recycled Products.

Since being awarded preferred tender status, SKM have been issued notices by the EPA which resulted in them suspending the acceptance of recycling materials at a number of their plants for a short period. Although the EPA suspension has now been lifted, uncertainty remains in the industry and therefore Council needs to reconsider the appropriateness of awarding this tender.

Council's collection contract contains an option for the provision of a separate glass collection service.

ISSUES

Councils current recycling processing contract ends on 1 July 2019 and contractual arrangements need to be put in place to ensure that kerbside comingled recyclables can be processed. There is currently a lot of uncertainty in the waste industry regarding recyclables with the recent suspension of SKM services.

Council through its waste services contract and recyclables investigations have found that there is a strong industry push to move towards a system that either diverts glass from the comingled collection or which provides a separate collection option. These are options which are worthy of consideration and therefore some consultation should occur to determine if they should be introduced.

FINANCIAL IMPACT

Interim processing costs can be accommodated within existing waste management charge projections.

LEGISLATION / POLICY / COUNCIL PLAN CONTEXT

1 Sustain and enhance the natural environment
1.4 Encourage environmentally sustainable business.
1.5 Review options for managing waste.

5 Practice good governance through openness and accountability
5.8 Ensure financial sustainability through effective use of Councils resources and assets and prudent management of risk.

TIMING

This decision would abandon the tender process with immediate effect.

The contingency arrangements for recycling are proposed to occur until at least January 30th, 2020 unless a tender process is completed prior.

Consultation on alternative glass collection or separation models can commence quickly and help to inform new tender specifications.

COMMUNITY IMPACT / CONSULTATION

No community consultation is required as part of an open tender process.

Before Councils makes or considers significant changes to the recycling collection service arrangements, it should first consult the community.

LEGAL RISK / IMPACT

Council should note that any interim recycling processing arrangements should not exceed the threshold value of $150,000 under procurement legislation.

Council should note that the recycling industry is volatile and that should recyclable processing rates increase during the interim arrangement period, this cost will be passed onto Council.

There is a risk that future tender offers for recycling processing may be limited due to the small number of operators in this sector.

OFFICERS' DECLARATION OF INTEREST

No conflicts of interest were declared.

CONCLUSION

This report seeks Council approval to abandon the tender process for Tender 2018047 Receipt and Processing of Recycled Products, to authorise officers to seek an interim recycling processing solution, and to consult the community on glass separation or diversion options.

ATTACHMENTS

Nil

Cr. Herbert returned to the meeting at 6.32pm and resumed the Chair.

5.6. PLANNING APPLICATION - 43 ATKINSONS LANE, DENNINGTON - LOOKOUT DRUG AND REHABILITATION CENTRE

Cr. Sue Cassidy declared an interest and left the meeting at 6.34pm.

PURPOSE:

This report recommends that Council consider Planning Application PP2018-0105, for a Drug and Alcohol Rehabilitation Centre at 43 Atkinsons Lane, Dennington

EXECUTIVE SUMMARY

- An application for review has been lodged with VCAT following Council's failure to determine on a planning application within the prescribed statutory timeframe for the use and development of 43 Atkinsons Lane, Dennington for the purposes of a residential drug and alcohol rehabilitation centre.
- The VCAT hearing dates are as follows:-
  - Compulsory conference – 26th April 2019, VCAT, 55 King Street, Melbourne
  - Hearing – 24th June – 1st July 2019 – 3 days in Warrnambool and 3 days in Melbourne
- Notification of the application has resulted in 34 objections to the application and 4 submissions in support of the application.
- The application has been assessed against the relevant criteria of the Warrnambool Planning Scheme, including its State and Local Policies and the provisions of the Farming Zone.
- Council has a duty to form a position on the permit application notwithstanding the proposal is now to be formally determined by VCAT.

MOVED: CR. MICHAEL NEOH
SECONDED: CR. PETER HULIN

Part i) That Council resolves to advise VCAT of Council's decision to not support the planning assessment recommendations as provided by the officers, on the following grounds:-

1. **The specific development site locate (as proposed within the Farming Zone) is inappropriate in terms of the integration within the localised precinct area.**
2. **The application is inconsistent with the objectives and strategies of the Planning Policy Framework and Local Planning Policy Framework.**
3. **Having regard to Clause 65 of the Warrnambool Planning Scheme, the proposal does not provide an orderly planning outcome.**
4. **The application will result in adverse amenity impacts on the surrounding areas.**
5. **The application will result in adverse social impacts of the surrounding area.**

Part ii) That Council resolves to provide a recording of the debate of this item to the VCAT Panel members to provide context to its position.

CARRIED - 4:2

For : Cr. David Owen, Cr. Michael Neoh, Cr. Peter Hulin, Cr. Tony Herbert
Against :Cr. Kylie Gaston, Cr. Robert Anderson

BACKGROUND

Council received a planning application seeking approval for the use and development of 43 Atkinsons Lane, Dennington for the purposes of a residential drug and alcohol rehabilitation centre.

The proposed facility will accommodate up to 20 residents and 10 staff at any one time and will accommodate approximately 80 residents per year that are suffering from problematic alcohol and other drug (AOD) use and associated issues.

A management plan, prepared by Western Region Alcohol and Drug Centre Inc (WRAD), has been submitted in support of the application. Notification of the application has resulted in 34 objections to the application and 4 submissions in support of the application.

ISSUES

An application for review following Council's failure to determine the planning application within the prescribed statutory timeframe for has been lodged with VCAT by the Permit Applicant for Planning Application PP2018-0105. The hearing dates have been set for the following:-

- Compulsory conference – 26th April 2019, VCAT, 55 King Street, Melbourne
- Hearing – 24th June – 1st July 2019 – 3 days in Warrnambool and 3 days in Melbourne

Prior to the VCAT compulsory conference and hearing, Council are required to consider the application and advise of their position, if they had have determined on the matter.

The detailed planning assessment is at **Attachment 1** and planning application documents are contained within **Attachment 2.**

The application has been subject to public notice and internal and external referrals. Objections have been received from nearby residents and members of the community. The objections are contained within **Attachment 3.** Four submissions of support have been received and are contained within **Attachment 4**.

FINANCIAL IMPACT

The costs associated with the assessment of the application and any subsequent reviews have been allowed for in the City Strategy and Development budget.

LEGISLATION/POLICY/COUNCIL PLAN CONTEXT

2 Foster a healthy City that is socially and culturally rich
2.1 Promote healthy lifestyles
2.2 Seek equity, access, safety and inclusion for everyone.
2.3 Increase community health and social connections.
2.7 Actively acknowledge local Aboriginal culture.
2.8 Increase participation opportunities for disadvantaged members of the community.
5 Practice good governance through openness and accountability
5.2 Annual Budget
5.3 Council Plan
5.4 Community Plan
5.5 Reporting to the Community.
5.7 Develop policies, strategic plans and processes to address local and regional issues, guide service provision and ensure operational effectiveness.
5.8 Ensure financial sustainability through effective use of Councils resources and assets and prudent management of risk.

COMMUNITY IMPACT/CONSULTATION
The application was notified and subsequent VCAT appeal has been undertaken in accordance with the provisions of the Planning and Environment Act 1987.

LEGAL RISK/IMPACT
Risk is managed through assessment of the proposal in accordance with the relevant requirements of the Planning Scheme and the *Planning and Environment Act 1987.*

OFFICERS' DECLARATION OF INTEREST
None.

ATTACHMENTS
1. Lookout Attachment 2 **[5.6.1]**
2. Lookout Attachment 3 **[5.6.2]**
3. Lookout Attachment 4 **[5.6.3]**
4. Lookout Planning Assessment Attachment 1 **[5.6.4]**

Attachment 2

MYERS PLANNING GROUP

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Warrnambool VIC 3280
Australia
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ABN: 53 253 414 622
www.myersplanninggroup.com.au

31 May 2018

Warrnambool City Council
P O Box 198
WARRNAMBOOL VIC 3280

By Email: planning@warrnambool.vic.gov.au

Dear Sir/Madam

PROPOSED USE AND DEVELOPMENT OF A RESIDENTIAL ALCOHOL AND OTHER DRUG REHABILITATION CENTRE (THE LOOKOUT RESIDENTIAL REHABILITATION CENTRE) – 43 ATKINSONS LANE, DENNINGTON

Please find attached Town Planning Report and Permit Application in support of the use and development of a residential alcohol and other drug rehabilitation centre (The Lookout Residential Rehabilitation Centre), at 43 Atkinsons Lane, Dennington.

The following documents are provided as part of the application:

- Certificate of Title
- Site Plan (prepared by Myers Planning Group)
- Proposed Floor Layout and Elevations Plans (prepared by Baudinette and Associates)
- Cultural Heritage Management Plan (prepared by AKWP Heritage Advisers)
- Land Capability Assessment (prepared by Paul Williams and Associates)
- Proposed Management Plan for the Lookout Residential Rehabilitation Centre (WRAD)

We look forward to hearing from you regarding this project. If you have any queries or require any further information, please do not hesitate to contact us on telephone (03) 5562 9443.

Yours sincerely,

STEVE MYERS
Principal Planner

Warrnambool City Council
31 MAY 2018
Ref N°
Officer
Scanned Yes / No Ch:

WARRNAMBOOL CITY COUNCIL

Office Use Only

Application No.: Date Lodged: / /

Application for
Planning Permit

Planning Enquiries
Phone: 03 5559 4800
Web: http://www.warrnambool.vic.gov.au

If you need help to complete this form, read How to complete the Application for Planning Permit form.

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ **Questions marked with an asterisk (*) are mandatory and must be completed.**

⚠ **If the space provided on the form is insufficient, attach a separate sheet.**

Clear Form

The Land

(1) Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.: | St. No.: 43 | St. Name: Atkinsons Lane

Suburb/Locality: Dennington | Postcode: 3280

Formal Land Description *
Complete either A or B.

⚠ This information can be found on the certificate of title.

A Lot No.: 12 ○ Lodged Plan ○ Title Plan ◉ Plan of Subdivision No.: 321948R

OR

B Crown Allotment No.: | Section No.:

Parish/Township Name:

If this application relates to more than one address, please click this button and enter relevant details. Add Address

The Proposal

⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

(2) **For what use, development or other matter do you require a permit? ***

If you need help about the proposal, read: *How to Complete the Application for Planning Permit Form*

Select the focus of this application and describe below: Other

Proposed use and buildings and works associated with a drug and alcohol and other drug rehabilitation centre.

☑ Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

(3) **Estimated cost of development for which the permit is required ***

Cost $ 2,000,000 ⚠ You may be required to verify this estimate.

Insert '0' if no development is proposed (eg. change of use, subdivision, removal of covenant, liquor licence)

Existing Conditions

(4) **Describe how the land is used and developed now** *

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Residential

☑ Provide a plan of the existing conditions. Photos are also helpful.

Title Information

(5) **Encumbrances on title** *

If you need help about the title, read: How to complete the Application for Planning Permit form

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ○ Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ◉ No
- ○ Not applicable (no such encumbrance applies).

☑ Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

Applicant and Owner Details

(6) Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Name:
Title: | First Name: | Surname:
Organisation (if applicable): Myers Planning Group Pty Ltd
Postal Address: | If it is a P.O. Box, enter the details here:
Unit No.: | St. No.: 182B | St. Name: Lava Street (PO Box 207)
Suburb/Locality: Warrnambool | State: VIC | Postcode: 3280

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Contact person's details * Same as applicant (if so, go to 'contact information') ☐
Name:
Title: | First Name: Steve | Surname: Myers
Organisation (if applicable): Myers Planning Group Pty Ltd
Postal Address: | If it is a P.O. Box, enter the details here:
Unit No.: | St. No.: 182B | St. Name: Lava Street (PO Box 207)
Suburb/Locality: Warrnambool | State: VIC | Postcode: 3280

Please provide at least one contact phone number *

Contact information
Business Phone: (03) 5562 9443 | Email: admin@myersplanninggroup.com.au
Mobile Phone: | Fax:

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name: Same as applicant ☐

Title: | First Name: | Surname:

Organisation (if applicable): Western District Employment Access Inc

Postal Address: If it is a P.O. Box, enter the details here:

Unit No.: | St. No.: 86 | St. Name: Lava Street

Suburb/Locality: Warrnambool | State: VIC | Postcode: 3280

Owner's Signature (Optional): | Date: 31 May 2018 (day / month / year)

Declaration

(7) **This form must be signed by the applicant** *

⚠ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: | Date: 31 May 2018 (day / month / year)

Need help with the Application?

If you need help to complete this form, read How to complete the Application for Planning Permit form
General information about the planning process is available at www.dpcd.vic.gov.au/planning

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

(8) **Has there been a pre-application meeting with a Council planning officer?**

(•) No ( ) Yes If 'yes', with whom?:

Date: day / month / year

Checklist

(9) **Have you:**

- [ ] Filled in the form completely?
- [ ] Paid or included the application fee? ⚠ Most applications require a fee to be paid. Contact Council to determine the appropriate fee.
- [x] Provided all necessary supporting information and documents?
  - [ ] A full, current copy of title information for each individual parcel of land forming the subject site
  - [ ] A plan of existing conditions
  - [ ] Plans showing the layout and details of the proposal
  - [ ] Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.
  - [ ] If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).
- [ ] Completed the relevant Council planning permit checklist?
- [ ] Signed the declaration (section 7)?

Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Warrnambool City Council
PO Box 198 Warrnambool VIC 3280
25 Liebig Street Warrnambool VIC 3280

Contact information:

Telephone: 61 03 5559 4800
Email: wbool_city@warrnambool.vic.gov.au
DX: Ausdoc 28005

Deliver application in person, by fax, or by post:

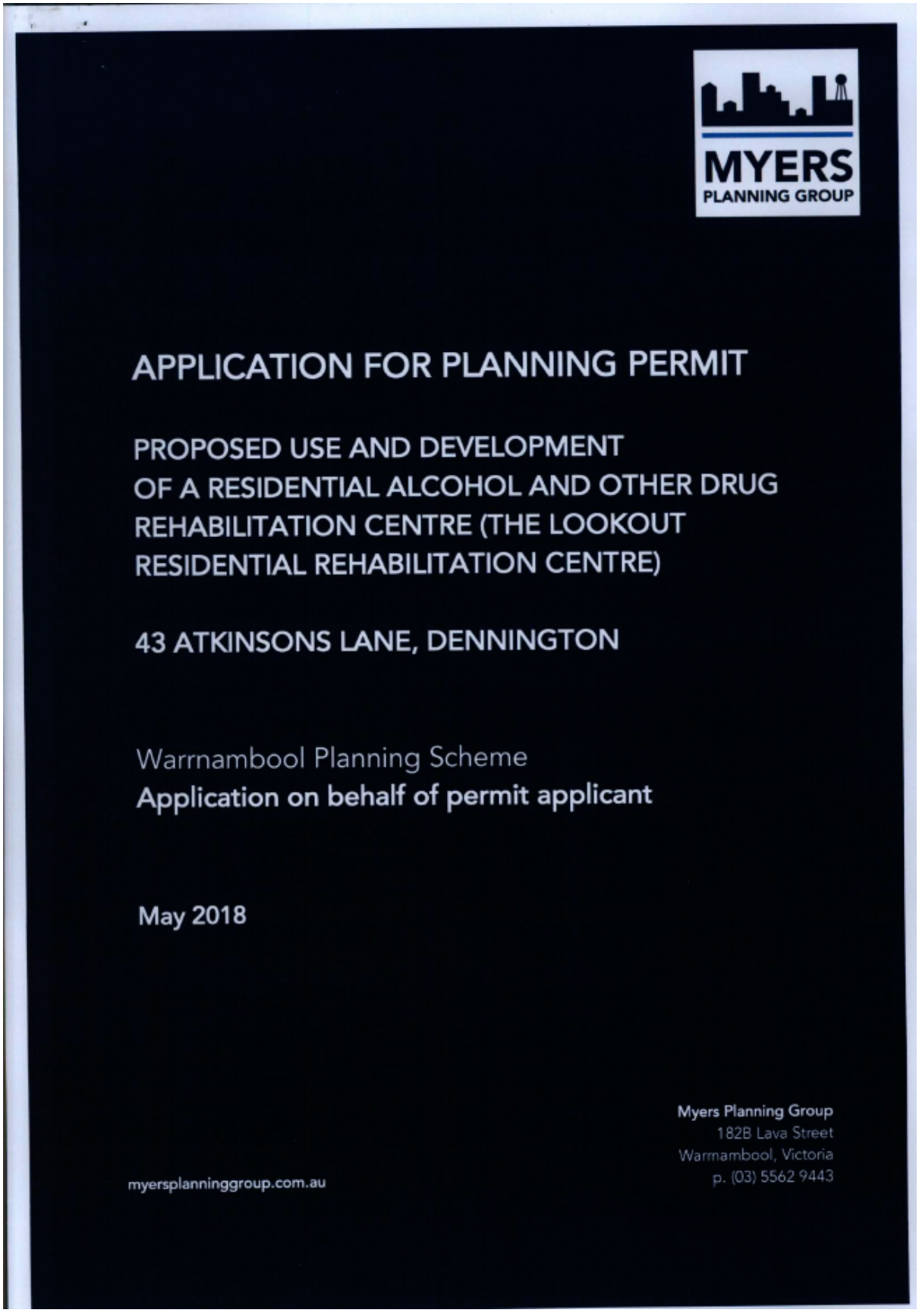
Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

Save Form To Your Computer

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.


MYERS
PLANNING GROUP
APPLICATION FOR PLANNING PERMIT
PROPOSED USE AND DEVELOPMENT
OF A RESIDENTIAL ALCOHOL AND OTHER DRUG
REHABILITATION CENTRE (THE LOOKOUT
RESIDENTIAL REHABILITATION CENTRE)
43 ATKINSONS LANE, DENNINGTON
Warrnambool Planning Scheme
Application on behalf of permit applicant
May 2018
Myers Planning Group
182B Lava Street
Warrnambool, Victoria
p. (03) 5562 9443
myersplanninggroup.com.au

Prepared for:

Western Region Alcohol and Drug Centre (WRAD)

Prepared by:

Myers Planning Group

182B Lava Street (PO Box 207)

Warrnambool, VIC 3280

p. (03) 5562 9443

e. admin@myersplanninggroup.com.au

ABN 53 253 414 622

Quality Information

Document:	Town Planning Report
Reference:	2018-024
Date:	29 May 2018
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Reviewed by:	Steve Myers

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Myers Planning Group proudly supports **Kids Under Cover**, a not for profit organisation dedicated to preventing youth homelessness. Kids Under Cover supports vulnerable and disadvantaged young people by providing studio accommodation in the backyard of family or carers homes.

Visit www.kuc.org.au for more information.

Myers Planning Group also proudly supports **Western Region Alcohol and other Drug Centre** and the establishment of **The Lookout Rehabilitation Centre**, a residential rehabilitation centre for individual with problematic alcohol and other drug use and associated problems. Our services have been provided free of charge in support of this important initiative.

Table of contents

1	**Introduction**	**2**
2	**Subject site, site interfaces and nearby land uses**	**4**
2.1.	Subject site	4
2.2.	Site interfaces and nearby land uses	5
3	**The proposal**	**6**
4	**Planning context**	**7**
4.1.	State Planning Policy Framework	7
4.2.	Local Planning Policy Framework	8
4.3.	Zoning	9
4.4.	Overlays	9
4.5.	Particular provisions	9
4.6.	Cultural heritage sensitivity	10
4.7.	Australian Community Support Organisation Ltd v Moira SC	10
5	**Planning Permit Requirements**	**11**
5.1.	Use	11
5.2.	Buildings and works	11
5.3.	Notice and review	11
6	**Planning assessment**	**12**
6.1.	Strategic context	12
6.2.	Development in the Farming Zone	13
7	**Conclusion**	**16**

1 Introduction

Myers Planning Group has been engaged by the Western Region Alcohol and Drug Centre Inc. (WRAD) to prepare a planning permit application in support of the use and development of a residential alcohol and other drug rehabilitation centre (The Lookout Residential Rehabilitation Centre), at 43 Atkinsons Lane, Dennington (**the subject site**).

The Lookout Residential Rehabilitation Centre will provide structured, supervised services in a drug and crime-free environment. Residential rehabilitation centres have operated across Victoria more 35 years. They have a strong history of helping people to rebuild their lives in a safe and supported environment. This form of therapeutic response has been clinically proven to help people overcome drug and alcohol dependency, improve family relationships and even to save lives.

With no similar facilities in our region, there is widespread community support for a residential rehabilitation centre in Warrnambool.

The proposal requires a permit under the Warrnambool Planning Scheme in accordance with Clause 35.06 **Farming Zone**, whereby a permit is required to use land for a residential alcohol and drug centre, an innominate use known as a Section 2 Use, and to construct a building or construct or carry out works associated with a Section 2 Use.

Developed to address an evident problem within the local community, WRAD identified the need for an intensive type of treatment that included residential accommodation for those who required specialist alcohol and other drug rehabilitation. As such, WRAD envisioned 'The Lookout' project to establish a local residential rehabilitation centre within the Warrnambool and Great South Coast region. It is here that residents and their families can participate in structured programs, counselling, recreation and other related activities. This facility will support the existing WRAD centre located within the Warrnambool CBD.

This report assesses the planning permit application for the use and development of a residential alcohol and drug rehabilitation centre against the planning provisions that apply to the site and provides details of the subject site, relevant planning controls and policies, and a discussion of relevant planning matters.

The land is also subject to Aboriginal Cultural Heritage, whereby a Cultural Heritage Management Plan is required.

The following documents should be read in conjunction with this report and provided as part of the application:

- Certificate of Title
- Site Plan (prepared by Myers Planning Group)
- Proposed Floor Layout and Elevation Plans (prepared by Baudinette and Associates)
- Cultural Heritage Management Plan (prepared by AKWP Heritage Advisers)
- Land Capability Assessment (prepared by Paul Williams and Associates)
- Proposed Management Plan for the Lookout Residential Rehabilitation Centre (WRAD).

2 Subject site, site interfaces and nearby land uses

2.1. Subject site

The subject site is recognised by the rated address of 43 Atkinsons Lane, Dennington, and is further described and identified by its relevant title details which are:

- Lot 12 on Plan of Subdivision 321948R (Vol. 11281, Folio 252).

The subject site is located on the eastern side of Atkinsons Lane, approximately 350 metres south of the Princes Highway. Generally rectangular in shape, the land has an area of approximately 3.27 hectares. Setback 60 metres east from the western (front) boundary is an existing building (former dwelling) previously associated with disability services, two rainwater tanks, a carport and a workshop.

The balance of the site contains grassland with mature vegetation along the western (front) boundary and southern (side) boundaries towards the southwest corner of the site. With gradually undulating topography, the existing building is nestled into the landscape, utilising mature vegetation to screen from view from Atkinsons Lane. No easements exist on the land.

In recent years, the former dwelling has been utilised by the Western District Employment Access Community Day Services. This facility provided day programs based on the ideals of the Disability Act and the State Plan, focusing on inclusion into the local community and development of independent living skills.

Cadastral Plan (Image source: NearMap)

2.2. Site interfaces and nearby land uses

Situated within proximity of the Princes Highway and approximately 6 kilometres west of the Warrnambool CBD, the subject land is appropriately connected to Warrnambool, Dennington and the surrounding area.

Located within the Farming Zone, which extends out to the north and west, the subject land is surrounded by similarly large lots ranging in area from 2.5 hectares to 35 hectares. Many of the surrounding lots contain existing dwellings and associated outbuildings, utilising land for pasture or other agricultural activities. Native vegetation is sparse throughout the landscape, dominated by grassland and mature, planted vegetation lining boundaries.

The Merri River is located approximately 440 metres east within the Public Conservation and Resource Zone, meandering to the north of Warrnambool. Adjacent to the eastern side of the Merri River lies a variety of General Residential Zone (Schedule 1), Urban Flood Zone, Low Density Residential Zone, Industrial 1 Zone and Farming Zone.

Landscape Context Plan (Source: NearMap)

3 The proposal

This application seeks planning approval for the use and development of the land for the purposes of a residential alcohol and other drug rehabilitation centre at 43 Atkinsons Lake, Dennington. The use itself is an innominate[1] use within the Planning Scheme.

The land contains an existing building (former dwelling) which is to be predominately utilised for administrative purposes for the proposed use and includes three offices, open plan kitchen and dining area, additional dining room, library, recreation, medical room and three toilets.

An additional two buildings will be constructed upon the land to form the main resident units to the south and south east of the existing dwelling. These buildings will each consist of the following:

- Accommodation Wing 1 (directly south): six bedrooms, three bathrooms, a private space, group room, kitchenette, balcony and glazed passage.
- Accommodation Wing 2 (southeast): four bedrooms, a staff bedroom with ensuite, two bathrooms, a private space, kitchenette, group room and glazed passage.

Each bedroom will sleep up to two residents at one time. Sheltered courtyards will be constructed to the north of each of the new buildings, with pedestrian links connecting all three buildings together. Opening windows on accommodation wings have been designed to restrict exit. All doors and windows will be fitted with silent alarms to alert night staff. CCTV will be installed at external doors and the entry gate.

Two rainwater tanks, a workshop and a single carport will be retained to the east of the existing building, forming part of the proposed use.

A maximum of 10 staff and 20 residents will be on site at any one time, with accommodation catering for all residents and two staff members. Car parking (12 spaces) will be located north of the existing building, providing ease of access to the existing entrance.

No vegetation will require removal, nor will be impacted by the proposed works. Substantial landscaping to include trees and shrubs is also proposed, particularly in association with the proposed buildings and their sheltered courtyards. Extensive plantings (coastal natives) are proposed along property boundaries (as depicted on the Proposed Site Plan). The balance of the property will be used for work program activities (such as an orchard, general gardening, animal care).

[1] Not named or classified

Minimal earthworks are required as the proposed development will generally be constructed in accordance with the natural fall of the land.

Details on the operation of the centre are outlined within the Proposed Management Plan submitted with the application.

4 Planning context

Clause 65 identifies the relevant decision guidelines that a responsible authority must consider in assessing a planning permit application. The following are relevant to the proposed subdivision:

- The matters set out in Section 60 of the *Planning and Environment Act 1987*;
- The State Planning Policy Framework and the Local Planning Policy Framework including the Municipal Strategic Statement and the local planning policies;
- The purpose of the zone, overlay or other provision;
- The orderly planning of the area;
- The effect on the amenity of the area.

These matters form the framework of the sections of this report.

4.1. State Planning Policy Framework

The State Planning Policy Framework (SPPF) seeks to ensure the objectives of planning in Victoria (as set out in Section 4 of the *Planning and Environment Act 1987*) are fostered through appropriate land use and development policies and practices. The SPPF informs the preparation and implementation of local planning policy objectives and the introduction of zone and overlay controls, and seeks to integrate relevant environmental, social and economic factors in the interest of net community benefit and sustainable development. Those clauses most relevant to this proposal include:

Settlement

- Clause 11.01-1 **Settlement Networks**: *To promote the sustainable growth and development of Victoria to deliver choice and opportunity for all Victorians through a network of settlements.*

Regional Victoria

- Clause 11.07-1 **Regional planning:** *To develop regions and settlements which have a strong identity, are prosperous and are environmentally sustainable.*

Great South Coast

- Clause 11.11-3 **Liveable communities:** *To enhance liveability through improved health, education and standards of living.*
- Clause 11.11-4 **Networked settlements**: *To build on the network of towns and the roles played by them.*
- Clause 11.11-5 **Agricultural productivity**: *To manage and utilise strategic assets and support agricultural productivity.*

Environment and Landscape Values

- Clause 12.01-1 **Protection of biodiversity**: *To assist the protection and conservation of Victoria's biodiversity.*

Natural Resource Management

- Clause 14.01-1 **Protection of agricultural land**: *To protect productive farmland which is of strategic significance in the local or regional context.*

The SPPF provides strategic and policy level support for the use of the land for residential alcohol and other drug rehabilitation. Considerable attention is turned towards providing appropriate community facilities which meet the changing needs on a local and landscape scale. Non-agricultural uses are supported in locations that provide servicing efficiencies, avoid impact upon highly productive land and areas not strategically identified for urban growth. Protection of agriculturally productive land is of great importance to the region, contributing to the economic value of the land.

4.2. Local Planning Policy Framework

The Local Planning Policy Framework (LPPF) sets out a local strategic planning context for a municipality. It comprises the Municipal Strategic Statement (MSS) and specific local planning policies. Those clauses most relevant to this proposal include:

- Clause 21.01 **Municipal Profile, Council Vision and Strategic Directions**
- Clause 21.02 **Settlement**
- Clause 21.03-1 **Biodiversity**
- Clause 21.05-1 **Agriculture**

The MSS and LPPF seek to promote community health and wellbeing by providing appropriate facilities within the municipality. Protecting productive land from urban development, maintaining existing biodiversity, and mitigating fragmentation to prevent conversion of land to non-agricultural uses, are priorities within rural areas.

4.3. Zoning

The subject site is zoned Farming Zone (Clause 35.07). The purpose of the Farming Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To provide for the use of land for agriculture.*
- *To encourage the retention of productive agricultural land.*
- *To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture.*
- *To encourage the retention of employment and population to support rural communities.*
- *To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.*

Under the provisions of the Farming Zone, a permit is required to use the land for a residential alcohol and other drug rehabilitation centre, an innominate use considered a Section 2 Use, whereby a permit is required to construct or carry out works associated with a Section 2 Use.

4.4. Overlays

The land is not subject to any overlays.

4.5. Particular provisions

The particular provisions are specific prerequisites or planning provisions for a range of particular uses and development and apply consistently across the State.

There are no particular provisions applicable to the proposal.

It is noted that a residential alcohol and drug rehabilitation centre is not specifically listed within Clause 52.06 **Car Parking**, and therefore, car parking spaces are to be provided to the satisfaction of the responsible authority.

Twelve (12) car spaces are to be provided for staff, visiting consultants, and visitor parking. Resident cars are not permitted on site. Clients who enter residential rehabilitation are usually transported by centre staff.

4.6. Cultural heritage sensitivity

This property is within, or is affected by, one or more areas of cultural heritage sensitivity as described in the Aboriginal Heritage Regulations 2007.

A Cultural Heritage Management Plan (CHMP) is required for the proposal (Regulation 45). A CHMP has been prepared and has been submitted to the Department of Premier and Cabinet for approval.

4.7. Australian Community Support Organisation Ltd v Moira SC

Reference is made to recent VCAT decision *Australian Community Support Organisation Ltd v Moira SC (No.2) [2017]* (VCAT reference: P1789/2016).

Located within the Farming Zone, the proposal sought to use and develop the land for a residential alcohol and drug rehabilitation centre. Supported by planning officers, the proposal was then refused by Council before being appealed to VCAT. The tribunal made the following comments, which are relevant to this proposal:

- *'The proposal's location within the Farming Zone is acceptable in this instance because it will not have significant adverse impact on existing and future agricultural operations. The loss of agricultural land associated with the site's conversion to a drug and alcohol addiction facility is not significant. The proposal will not give rise to unacceptable amenity impacts.'*
- *'...the real and substantive purpose of the use is the rehabilitation of people with addiction to drugs and alcohol. The residential component of the use is relevant having regard to the policy context in which residential uses in the Farming Zone are to be assessed.'*
- *'...the short-term nature and specific purpose of the accommodation provided on the review site reduces the potential for land use conflicts of the type often encountered when residential uses intrude into agricultural areas.'*

In assessing the potential impacts of the proposal in conjunction with the relevant state and local policies, the tribunal determined the use and development of a residential alcohol and drug rehabilitation centre to be appropriate within the Farming Zone.

As a result, the tribunal granted a permit for the following:

- *The use of the land for a residential alcohol and drug rehabilitation centre in the Farming Zone.*

- *Construction of a building or construction or carrying out of works associated with a permit required use in the Farming Zone.*
- *Construction of a building or construction or carrying out of works in the Rural Flood Overlay.*

5 Planning Permit Requirements

5.1. Use

A planning permit is required to use land for the purpose of a residential alcohol and other drug rehabilitation centre, an innominate use, under Clause 35.07 **Farming Zone**.

5.2. Buildings and works

A planning permit is required to construct or carry out works associated with a Section 2 Use, under Clause 35.07 **Farming Zone**.

5.3. Notice and review

This application is not exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the *Planning and Environment Act 1987*.

6 Planning assessment

Based on the provisions of the Warrnambool Planning Scheme and the decision guidelines of Clause 65, the following are considered to be the key planning considerations relevant to the proposed subdivision of the subject site:

- Strategic Context
- Assessment against the requirements of the Farming Zone.

6.1. Strategic context

6.1.1. Assessment against the State Planning Policy Framework

The proposal requires assessment against the State Planning Policy Framework, seeking to ensure rural residential development is appropriately located within proximity of services and land not intended for urban growth, whilst protecting highly productive land. Respect to the surrounding design and character of the neighbourhood, as well as the natural landscape, should be considered.

The proposal seeks to provide for development of services across the southwest region with the development of the residential alcohol and other drug rehabilitation centre, whilst preserving the natural features of the rural landscape. The proposal ensures consolidation of the proposed buildings with the existing building on the land, constructing the additional two buildings to the south and southeast (Clause 11.01-1 **Settlement networks**).

The proposal appropriately responds to changing needs of the community by providing a residential alcohol and drug rehabilitation centre to combat a prevalent issue within the local community and broader southwest region. The residential accommodation component ensures accessibility to the service from the entire region (Clause 11.07-1 **Regional planning**).

Creating a connection within proximity to Warrnambool for a residential alcohol and drug rehabilitation centre sees the proposal providing rural residential development attributed to a vital community service. Located within the Farming Zone, the land has not been identified for future urban growth (Clause 11.11-3 **Liveable communities** and Clause 11.11-4 **Networked settlements**).

The Farming Zone appropriately encourages agricultural productivity and prevents fragmentation of the land. The land was previously used for the purpose of disability services and has long been removed from productive agriculture. The proposed use and development will also appropriately avoid any potential impact upon adjoining agricultural land. (Clause 11.11-5 **Agricultural productivity** and Clause 14.01-1 **Protection of agricultural land**).

The proposed buildings and works will not impact, nor require removal of, any existing native vegetation. Encroaching only upon existing grassland, the proposal minimises impact upon existing biodiversity of the surrounding landscape (Clause 12.01-1 **Protection of biodiversity**).

Appropriately supported by the SPPF, the proposed residential alcohol and drug rehabilitation centre responds to the service needs of the local community and broader southwest region. Located within proximity to services and avoiding potential detriment to highly productive land, the residential component of the proposal is considered appropriate.

6.1.2. Assessment against the Local Planning Policy Framework

The Local Planning Policy Framework outlines the strategic direction for the municipality. Warrnambool is referenced within Clause 21.02 **Municipal Profile, Council Vision and Strategic Directions** as containing a steady increase in population, with ever-changing community needs. The proposed residential alcohol and other drug rehabilitation centre seeks to contribute to community service, providing a facility which meets the needs of the southwest region.

Clause 21.02 **Settlement** seeks to ensure productive rural areas are protected from unnecessary residential development. As the land previously was used for disability services, the productivity of the land is considered to have diminished, and therefore, the proposed use as a residential alcohol and other drug rehabilitation centre is considered to be appropriately located.

Located within the Farming Zone, the impact upon the natural environment and existing biodiversity must be considered. Although the proposed use for residential alcohol and other drug rehabilitation does not directly support agricultural productivity upon the land, the proposed buildings will be consolidated with the existing building, minimising encroachment upon the surrounding productive land (Clause 21.05-1 **Agriculture** and Clause 21.03-1 **Biodiversity**).

The proposed residential alcohol and other drug rehabilitation centre is supported by the LPPF, providing a valuable service to the local community. The proposal minimises encroachment upon productive land and impact upon existing biodiversity, located upon land used for disability services that has diminished the agricultural value.

6.2. Assessment against the requirements of the Farming Zone

The proposal requires assessment under Clause 37.05 **Farming Zone**, which seeks to ensure development does not adversely affect agriculturally productive land. As a result, the proposal is required to consider the following decision guidelines:

General issues

- *The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies;*
- *The capability of the land to accommodate the proposed use or development, including the disposal of effluent.*
- *Whether the site is suitable for the use or development and whether the proposal is compatible with adjoining and nearby land uses.*
- *How the use and development makes use of existing infrastructure and services.*

Agricultural issues and the impacts from non-agricultural uses

- *Whether the use or development will support and enhance agricultural production.*
- *Whether the use or development will adversely affect soil quality or permanently remove land from agricultural production.*
- *The potential for the use or development to limit the operation and expansion of adjoining and nearby agricultural uses.*

Design and siting issues

- *The impact of the siting, design, height, bulk, colours and materials to be used, on the natural environment, major roads, vistas and water features and the measures to be undertaken to minimise any adverse impacts.*
- *The impact on the character and appearance of the area or features of architectural, historic or scientific significance or of natural scenic beauty or importance.*

The proposal seeks to use the land for a residential alcohol and other drug rehabilitation centre, utilising the existing buildings and constructing two additional buildings to the south and southwest. Located upon land previously used for disabled services, and consolidating proposed buildings with the existing building, the proposed use and development appropriately utilises existing infrastructure and services associated with the land.

As the land is no longer considered to be agriculturally productive due to the existing use of the land, the proposed facility will not detrimentally affect productivity or soil quality of the land or surrounding land. As outlined in the Land Capability Assessment, waste water can be appropriately treated and retained on-site. Consolidated with the existing buildings on the land, the proposed development will not adversely affect the operation and expansion of surrounding farmland.

The proposed buildings provide a modern, rural design which is appropriately nestled within the landscape. Articulation is prominent with the design of both buildings, encouraging various

colours and materials, contributing to a creative aspect of each building. The design appropriately blends the development with the natural environment, minimising visual impact to the surrounds and impact upon the existing character of the immediate area.

It is noted that the proposed use is not a specified use within Clause 52.06 - Car Parking, and therefore car parking must be provided to the satisfaction of the responsible authority. The proposal utilises existing vehicle access, whereby sufficient space is provided along the existing hardstand area north of the existing building. Twelve (12) car spaces are to be provided.

The proposed use and development of the land is considered to appropriately utilise the existing building and services, consolidating the development to minimise visual and environmental impact upon the immediate surrounds. The design appropriately utilises colours and materials that are complementary to the rural landscape and contributing to the existing and future character.

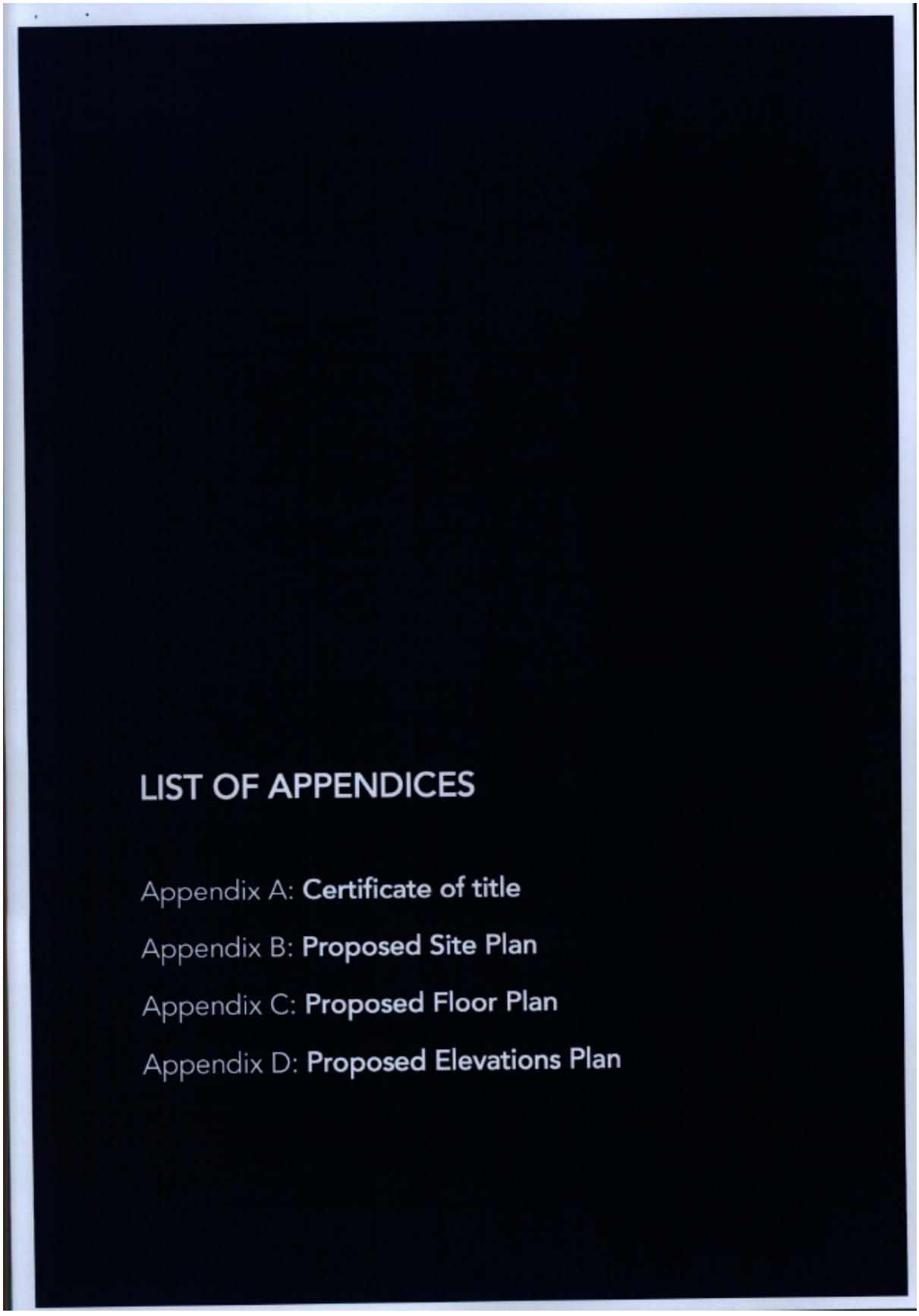
7 Conclusion

The proposal has been assessed against the relevant provisions of the State Planning Policy Framework and Local Planning Policy Framework. In addition, the proposal was assessed against the decision guidelines under the Farming Zone. As a result, conclusive comments are as follows:

- The proposed use and development of the land for a residential alcohol and other drug rehabilitation centre is appropriately supported by the SPPF and LPPF, contributing to vital community services within the local community and broader southwest region, whilst minimising potential impact upon surrounding agricultural uses.
- As the land was previously used for the purpose of providing disabled services, potential agricultural productivity on the land is considered to have already diminished, therefore, the proposal will not have an remove land from agricultural production.
- The proposed development appropriately meets the provisions of the Farming Zone, ensuring minimal impact upon agricultural production of the surrounds, with a design complementary to the existing and future character of the immediate surrounds.
- VCAT decision *Australian Community Support Organisation Ltd v Moira SC (No.2) [2017]*, provides valid reference as to the applied use defined within this report, and the appropriateness of the proposed use and development within the Farming Zone.

The proposal is commended to Council and, on behalf of our client, we look forward to a positive outcome from the application.

Myers Planning Group
May 2018



LIST OF APPENDICES

Appendix A: **Certificate of title**

Appendix B: **Proposed Site Plan**

Appendix C: **Proposed Floor Plan**

Appendix D: **Proposed Elevations Plan**

APPENDIX A: CERTIFICATE OF TITLE

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 11281 FOLIO 252 Security no : 124071726430S
Produced 10/05/2018 11:17 am

LAND DESCRIPTION

Lot 12 on Plan of Subdivision 321948R.
PARENT TITLES :
Volume 07441 Folio 161 Volume 09470 Folio 510 Volume 10160 Folio 342
Volume 10166 Folio 974
Created by instrument AJ039223M 29/06/2011

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
WESTERN DISTRICT EMPLOYMENT ACCESS INC of 86 LAVA STREET WARRNAMBOOL VIC 3280
AJ617024W 23/04/2012

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS321948R FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

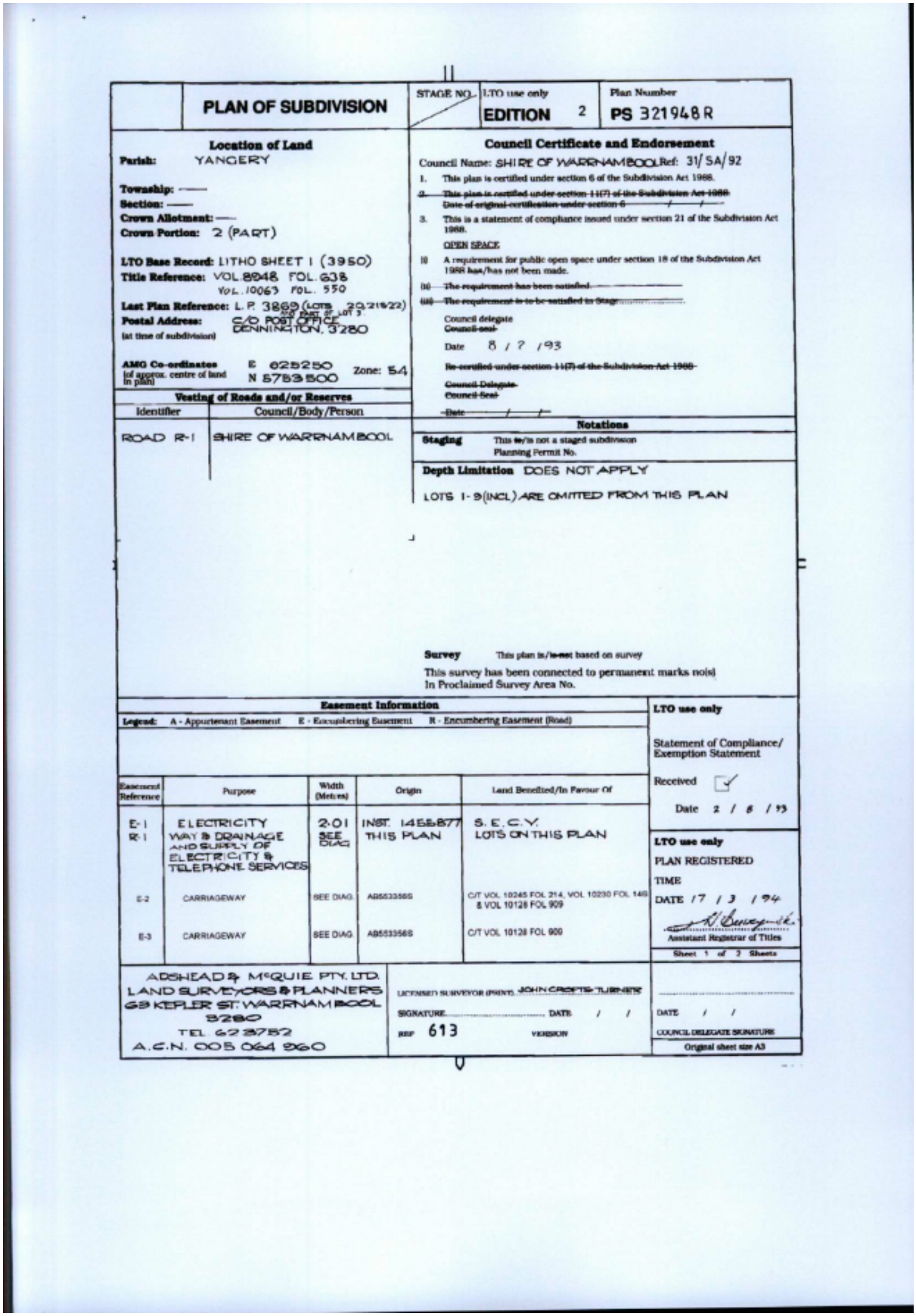
NIL

----------END OF REGISTER SEARCH STATEMENT----------

Additional information: (not part of the Register Search Statement)

Street Address: 43 ATKINSONS LANE DENNINGTON VIC 3280

DOCUMENT END



PLAN OF SUBDIVISION

STAGE NO. —

LTO use only

EDITION 2

Plan Number

PS 321948R

Location of Land

Parish: YANGERY

Township: —

Section: —

Crown Allotment: —

Crown Portion: 2 (PART)

LTO Base Record: LITHO SHEET 1 (3950)

Title Reference: VOL.8948 FOL.638
VOL.10063 FOL. 550

Last Plan Reference: L.P. 3869 (LOTS 20,21&22)
PT PART OF LOT 3

Postal Address: C/O POST OFFICE
(at time of subdivision) DENNINGTON, 3280

AMG Co-ordinates E 625250
(of approx. centre of land in plan) N 5753500 Zone: 54

Vesting of Roads and/or Reserves

Identifier	Council/Body/Person
ROAD R-1	SHIRE OF WARRNAMBOOL

Council Certificate and Endorsement

Council Name: SHIRE OF WARRNAMBOOL Ref: 31/SA/92

1. This plan is certified under section 6 of the Subdivision Act 1988.
2. ~~This plan is certified under section 11(7) of the Subdivision Act 1988.~~
~~Date of original certification under section 6~~ / /
3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.

OPEN SPACE

(i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made.

(ii) ~~The requirement has been satisfied~~

(iii) ~~The requirement is to be satisfied in Stage~~

Council delegate

~~Council seal~~

Date 8 / 7 /93

~~Re-certified under section 11(7) of the Subdivision Act 1988~~

~~Council Delegate~~

~~Council Seal~~

~~Date~~ / /

Notations

Staging This ~~is~~/is not a staged subdivision
Planning Permit No.

Depth Limitation DOES NOT APPLY

LOTS 1-9(INCL) ARE OMITTED FROM THIS PLAN

Survey This plan is/~~is not~~ based on survey

This survey has been connected to permanent marks no(s)
In Proclaimed Survey Area No.

Easement Information

Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1 R-1	ELECTRICITY WAY & DRAINAGE AND SUPPLY OF ELECTRICITY & TELEPHONE SERVICES	2.01 SEE DIAG	INST. 1455877 THIS PLAN	S.E.C.V. LOTS ON THIS PLAN
E-2	CARRIAGEWAY	SEE DIAG.	AB533356S	C/T VOL 10245 FOL 214, VOL 10230 FOL 148 & VOL 10128 FOL 909
E-3	CARRIAGEWAY	SEE DIAG.	AB533356S	C/T VOL 10128 FOL 909

LTO use only

Statement of Compliance/ Exemption Statement

Received ✓

Date 2 / 8 /93

LTO use only

PLAN REGISTERED

TIME

DATE 17 / 3 /94

Assistant Registrar of Titles

Sheet 1 of 3 Sheets

ADSHEAD & McQUIE PTY. LTD.
LAND SURVEYORS & PLANNERS
69 KEPLER ST. WARRNAMBOOL
3280
TEL 623752
A.C.N. 005 064 960

LICENSED SURVEYOR (PRINT) JOHN CROFTS TURNER

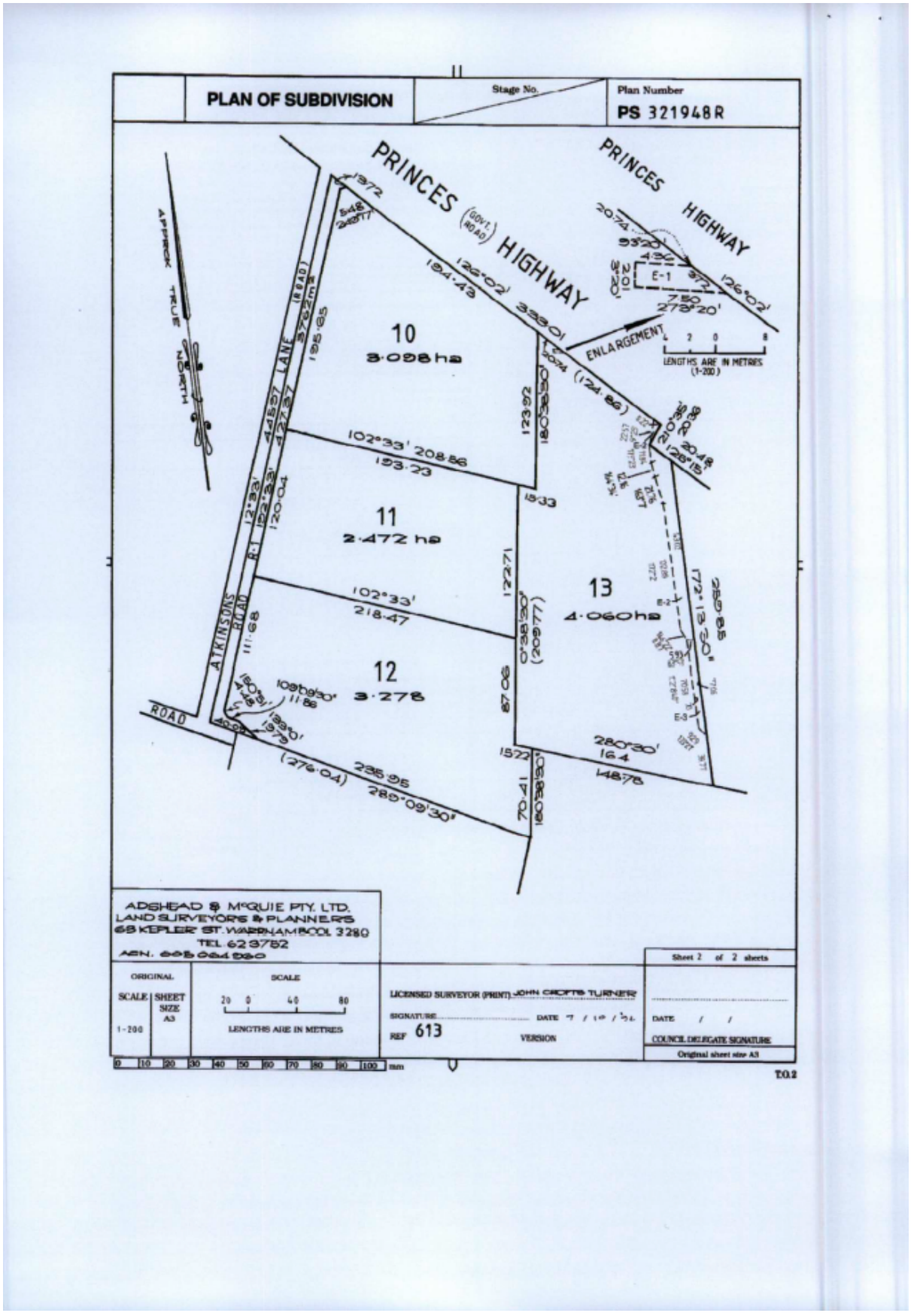
SIGNATURE ..... DATE / /

REF 613 VERSION

DATE / /

COUNCIL DELEGATE SIGNATURE

Original sheet size A3


PLAN OF SUBDIVISION
Stage No.
Plan Number
PS 321948R
PRINCES HIGHWAY (GOVT ROAD)
PRINCES HIGHWAY
ENLARGEMENT
LENGTHS ARE IN METRES (1-200)
10
3.098ha
11
2.472 ha
12
3.278
13
4.060ha
E-1
ATKINSONS ROAD
ROAD
APPROX TRUE NORTH
ADSHEAD & McQUIE PTY. LTD.
LAND SURVEYORS & PLANNERS
68 KEPLER ST. WARRNAMBOOL 3280
TEL 623752
A.B.N. 665 084 080
ORIGINAL SCALE 1-200
SHEET SIZE A3
SCALE
LENGTHS ARE IN METRES
LICENSED SURVEYOR (PRINT) JOHN CROFTS TURNER
SIGNATURE
DATE 7 / 10 / 94
REF 613
VERSION
Sheet 2 of 2 sheets
DATE / /
COUNCIL DELEGATE SIGNATURE
Original sheet size A3
T.O.2

MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

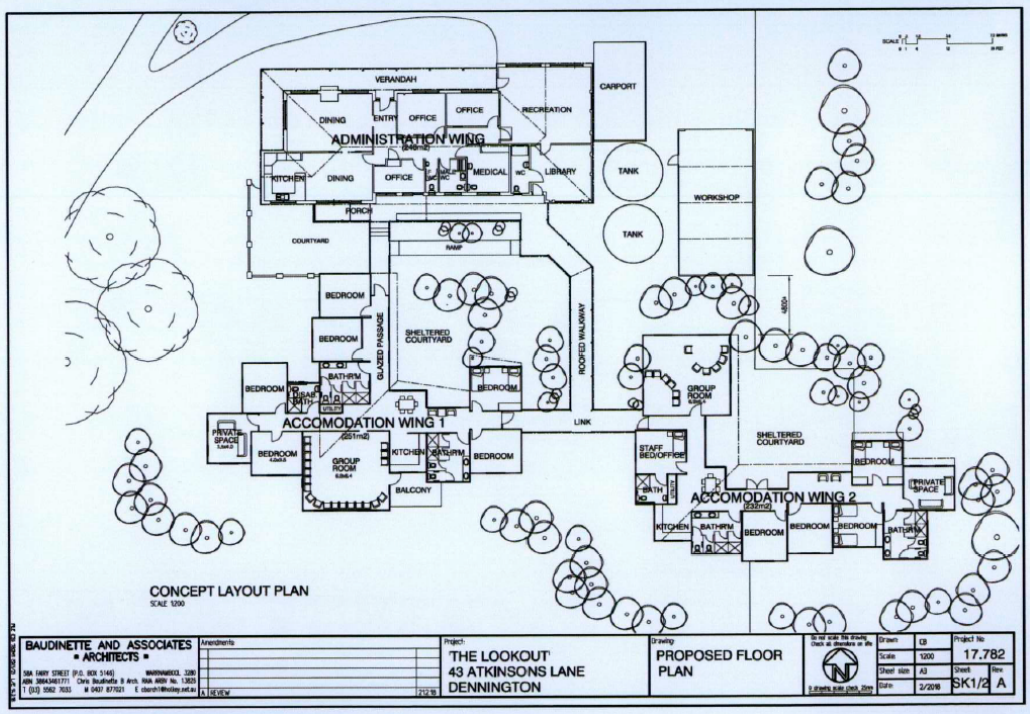
WARNING: THE IMAGE OF THIS PLAN/DOCUMENT HAS BEEN DIGITALLY AMENDED.
NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL PLAN/DOCUMENT.

PLAN NUMBER
PS321948R

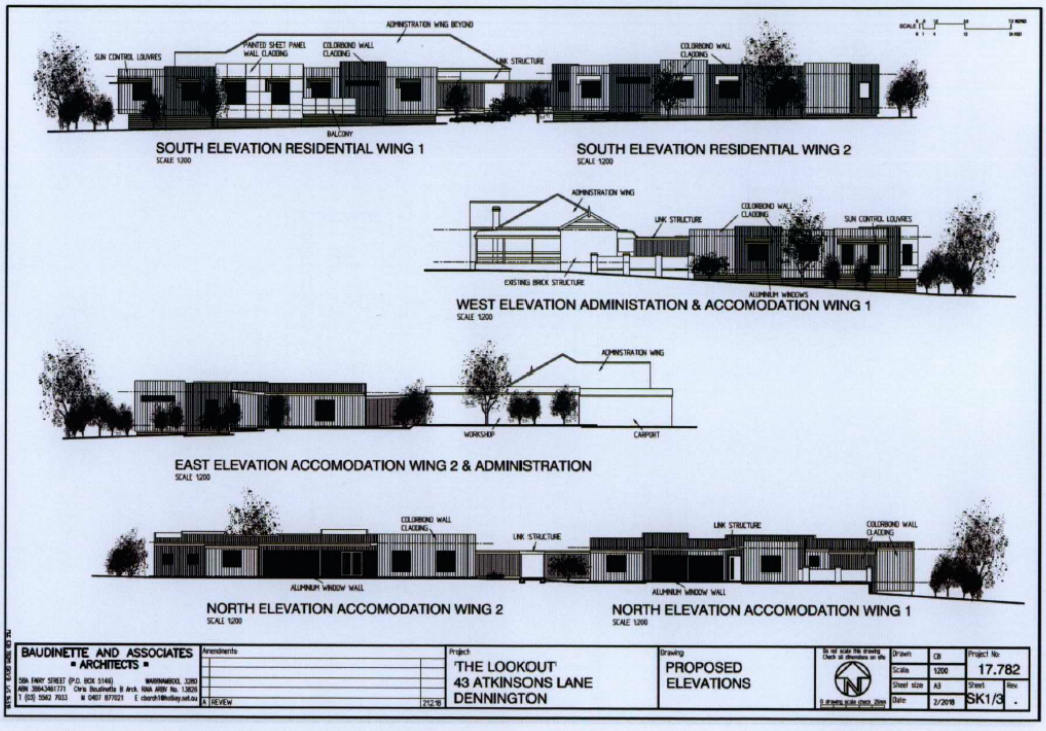
AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	TIME	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
LOT 13	E-2 & E-3	CREATION OF EASEMENT	AB563356S	12/09/2002		2	IRM

APPENDIX B: PROPOSED SITE PLAN

APPENDIX C: PROPOSED FLOOR PLAN



APPENDIX D: PROPOSED ELEVATIONS PLAN



WESTERN REGION ALCOHOL & DRUG CENTRE

LAND CAPABILITY ASSESSMENT FOR ON-SITE WASTEWATER MANAGEMENT AT 43 ATKINSONS LANE, DENNINGTON

REPORT No. A180307 MAY 2018

By

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CONSULTANTS IN THE EARTH SCIENCES

IMPORTANT NOTE

The land capability assessment report consists of this cover sheet, two written sections, three drawings and five appendices.
The report elements are not to be read or interpreted in isolation.

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TABLE OF CONTENTS

(ii) Assessor's Qualifications & Insurance

(iii) Executive Summary

SECTION 1 SITE INVESTIGATION

1.1	INTRODUCTION	
1.2	INVESTIGATION METHOD	1
1.3	CAPABILITY ASSESSMENT	2
1.3.1	Land-Soil Unit A	2
1.3.1.1	Climate	2
1.3.1.2	Slope and Aspect	2
1.3.1.3	Vegetation and Land Use	2
1.3.1.4	Slope Stability	2
1.3.1.5	Subsurface Profile	2
1.3.1.6	Soil Permeability	2
1.3.1.7	Basement Rock Permeability	3
1.3.1.8	Colloid Stability	3
1.3.1.9	AS1547:2012 Soil Classification	3
1.3.1.10	Surface Drainage	3
1.3.1.11	Groundwater	3
1.3.1.12	Nutrient Attenuation	4
1.4	RISK MANAGEMENT & MITIGATION	4
1.4.1	Water Usage	4
1.4.2	Secondary Treatment	4
1.4.3	Block Size	4
1.4.4	Management Plan	4
1.4.5	Sizing of Treatment System	4
1.4.6	Load Balancing	4
1.4.7	Zoned Dosing	5
1.4.8	Pressure Compensated Subsurface Disposal	5
1.4.9	Oversized Effluent Areas	5
1.4.10	Reserve Areas	5
1.4.11	Buffer Distances	5
1.4.12	System Failure	6
1.4.12.1	Accidents	6
1.4.12.2	Operational Breakdown	6
1.4.12.3	Maintenance Breakdown	6
1.4.13	Risk Summary	6

SECTION 2 RECOMMENDATIONS

2.1	APPLICATION	8
2.2	SUBSURFACE IRRIGATION	8
2.2.1	General	8
2.2.2	Effluent	8
2.2.2.1	Effluent Quality	8
2.2.2.2	Effluent Quantity	8
2.2.2.3	Load Balancing	8
2.2.3	Application Rates and Irrigation Areas	8
2.2.3.1	Hydraulic Loading	8
2.2.3.2	Nutrient Loading	8
2.2.3.3	Design Loading	8
2.2.4	General Requirements	8
2.2.5	Subsurface Distribution System	9
2.2.5.1	Ground Preparation and Excavation	9
2.2.5.2	Pump System and Pipe works	9
2.2.6	Sequential Zoned Irrigation	9
2.2.7	Inspections and Monitoring	9
2.2.8	Soil Renovation	9
2.3	RESERVE AREA	9
2.4	SITE DRAINAGE	9
2.5	BUFFER DISTANCES	10
2.6	SUMMARY OF RECOMMENDATIONS	10

DRAWING 1

DRAWING 2

APPENDIX A1
Soil Profile Photograph

APPENDIX A2
Results of Laboratory Testing

APPENDIX A3
Permeability Testing

APPENDIX B
Water Balance and Rainfall Data

APPENDIX C
Land Capability Rating Tables

APPENDIX D
Management Plan

DRAWING MP1

ASSESSOR'S ACADEMIC & PROFESSIONAL QUALIFICATIONS

Paul Williams is the Director and principal earth scientist at Paul Williams & Associates Pty Ltd. He has a Bachelors Degree in Applied Science (Geology and Land Use) (awarded in 1978) and has since specialised in vadose zone hydrology, soil science and engineering geology.

He is a member of the Foundation and Footings Society (Vic) Inc. and is a Registered Building Practitioner (EC1486)

All fieldwork and analyses are undertaken by, or directly supervised by Paul Williams.

ASSESSOR'S PROFESSIONAL INDEMNITY INSURANCE

Policy Number:	RSM0000001
Period of Cover:	14/2/2018 – 14/2/2019
Geographical Coverage:	Worldwide (excluding U.S.A. & Canada)
Retro-active Date:	Unlimited
Limit of Indemnity:	$4,000,000
Underwriting Company:	Lloyds of London (About Underwriting)

EXECUTIVE SUMMARY

The proposed development at 43 Atkinsons Lane, Dennington, is suitable for sustainable on-site effluent disposal.

The allotment of 3.4 hectares (approximately) is zoned Farming and is not in a Special Water Supply Catchment.

It is proposed to construct a treatment and accommodation centre (total 45 persons), as shown in Drawing 2.

The site is not sewered.

For design purposes the site is considered to be serviced by mains water supply equivalent.

The assessment has been made in the context of prioritising public and environmental health.

Table One
Description of Development

Parameter	Site specific element
SPI Number	12\PS321948
Property Address	43 Atkinsons Lane, Dennington
Owner	Western Region Alcohol & Drug Centre
Contact	Steve Myers 0402 079 429 steve@myersplanninggroup.com.au
Locality	Dennington
Zoning and Overlays	Farming
Area	3.4 hectares (approximately)
Usable Lot Area	At least double LAA requirement (i.e. 3,600m^2+)
Soil Texture	Type 3 (clay loam) over calcrete over Type 2 (sandy loam)
Soil Depth	2m+
Soil Structure	Sands/loams
Soil Constraints	Hardpan (requires ripping)
Permeability	2.9m/day (restrict DIR to 2.5mm/day)
Slope	1% to <10%
Distance to Surface Waters	>400m (Merri River)
Water Supply	Design for to mains supply equivalent
Wastewater Load	4500 litres/day (load-balanced)
Availability of Sewer	Not available

Our field testing which included soil profile logging and sampling, permeability testing, a differential level survey, laboratory testing and subsequent reporting has revealed that on-site effluent disposal is rational and sustainable.

Effluent should be treated to at least the 20/30 standard and distributed by pressure compensated subsurface irrigation utilising the processes of evapotranspiration and deep seepage at a design irrigation rate not exceeding 2.5mm/day.

The irrigation area been determined for the mean wet year and satisfies the requirements of *SEPPs (Waters of Victoria)* in that the effluent system cannot have any detrimental impact on the beneficial use of surface waters or groundwater.

For the proposed development the available area is limiting and continuous or long-term increases in effluent volume above 4,500 litres/day are not recommended.

With regard to density of development and cumulative risk the assessment has considered risk associated with subsurface flows and surface flows.

In regard to subsurface flows, it is clear that provided the on-site system is adequately designed, constructed, operated and maintained the risk to surface and ground waters is negligible. Once the effluent is placed underground, the extraordinary long travel times via ground water to surface waters ensures adequate nutrient attenuation.

In regard to surface flows, it is clear that provided the on-site system is adequately designed, constructed, operated and maintained, the risk to surface and ground waters is no greater than for a sewered development.

Residential use requires AWTS or sand filter with pressure compensated subsurface irrigation and load balancing facility.

The soils of the land application areas will require renovation (see Section 2.2.8).

The LCA recommends a conservative, scientifically based, well founded wastewater management system with inherent multiple barriers of safety.

Cumulative risk from the development is extremely low. The risk of serious or irreversible damage is extremely low.

All requirements of *SEPP (Waters of Victoria)* can be met.

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LAND CAPABILITY ASSESSMENT LAND USE MAPPING TERRAIN MODELLING HYDROGEOLOGY ENGINEERING GEOLOGY SOIL SCIENCE

A180307 – MAY 2018

LAND CAPABILITY ASSESSMENT FOR ON-SITE WASTEWATER MANAGEMENT AT 43 ATKINSONS LANE, DENNINGTON

SECTION 1. SITE INVESTIGATION

1.1 INTRODUCTION

On instruction from the land owner, an investigation was undertaken to assess land capability for on-site effluent disposal at 43 Atkinsons Lane, Dennington.

The allotment of 3.4 hectares (approximately) is zoned Farming and is not in a Special Water Supply Catchment.

It is proposed to construct a treatment and accommodation centre (45 total persons), as shown in Drawing 2.

The site is not sewered.

For design purposes the site is considered to be serviced by mains water supply equivalent.

The assessment has been made in the context of prioritising public and environmental health.

1.2 INVESTIGATION METHOD

The site investigation was carried out in accordance with *SEPPs (Waters of Victoria)* and related documents. This report is in accordance with current *SEPPs (Waters of Victoria)* and has been guided by *Code of Practice - Onsite Wastewater Management, E.P.A.* Publication 891.4, July 2016, *AS/NZS 1547:2012, Guidelines for Wastewater Irrigation*, E.P.A. Publication 168, April 1991, *AS 2223, AS 1726, AS 1289, AS 2870* and *Australian Laboratory Handbook of Soil and Water Chemical Methods.*

Our capability assessment involved the mapping of unique land-soil unit(s) which were defined in terms of significant attributes including; climate, slope, aspect, vegetation, soil profile characteristics (including colloid stability, soil reaction trend and electrical conductivity), depth to rock, proximity to surface waters and escarpments, transient soil moisture characteristics and hydraulic conductivity.

Exploratory boreholes were hand augered. The soil profile was logged and representative soil samples were taken for laboratory testing.

The results of the investigation and *in situ* and laboratory testing are given in Section 1.3, below, and in Appendix A, to this report.

Water and nutrient balance analyses were based on the mean wet year for Koroit and mean evaporation data for Durrdidwarah and were undertaken in accordance with *Guidelines for Wastewater Irrigation, E.P.A.* Publication 168, April 1991 (Part), *AS/NZS 1547:2012* and in-house methods.

The rainfall and evaporation data were obtained from the National Climate Centre, Bureau of Meteorology and represent the nearest recording station with at least 30 years record (rainfall) and conservative low evaporation from a sparse data base.

The data was subsequently analysed and applied to our water and nutrient balance analyses.

The results of the water and nutrient balance analyses are given in Appendix B, to this report.

1.3 CAPABILITY ASSESSMENT

We have used the attributes determined by the investigation to define one (1) land-soil unit, as follows:-

1.3.1 Land-Soil Unit A. This land-soil unit consists of gently sloping terrain, as shown in Drawing 2 and Figure 1.

The salient land-soil attributes and constraints are summarised in Appendix C.

1.3.1.1 Climate. The general area receives a mean annual rainfall of 786mm and a mean annual evaporation of 1026mm. Mean evaporation exceeds the mean rainfall in October through April.

1.3.1.2 Slope and Aspect. The unit (land application areas) slopes in multiple directions at 1% to less than 10%, generally, as shown in Drawing 2.

The unit is exposed to the prevailing winds and is exposed to full sunshine, as shown in Figure 1 and Drawing 2.

1.3.1.3 Vegetation and Land Use. The unit is vegetated with dense pasture grasses, as shown in Figure 1.

The land is currently used for cattle grazing.

The land application area has been designed for pasture grass (rye/clover equivalent).

1.3.1.4. Slope Stability. For the encountered subsurface conditions, slope degree and geometry and for the proposed range of hydraulic loadings, the stability of the natural ground slopes are unlikely to be compromised.

1.3.1.5 Subsurface Profile. The following interpretation of the general subsurface profile assumes conditions similar to those encountered in the boreholes are typical of the investigation area.

Note: If subsurface conditions substantially different from those encountered in the investigation are encountered during site preparation works, all work should cease, and this office notified immediately.

The unit is underlain by residual soils formed on aeolian sands of Quaternary Age.

The general subsurface profile consists of:-

- A topsoil (A-horizon) layer of brown, moist, medium dense silty sand with some clay of low plasticity (loam), with a soil reaction trend of 7.1 to 7.3 pH and electrical conductivity of 1.77 dS/m, containing a root mat and root zone, to a depth of 0.2m, overlying,
- An indurated (B_1-horizon) layer of grey, dry to moist, hard, fractured and discontinuous carbonate layer, with a soil reaction trend of 7.6 pH, electrical conductivity of 1.26 to 1.28 dS/m, to depth of 0.0 to 0.5m, overlying,
- An aeolian soil (B_2-horizon) layer of brown, dry to moist, medium dense silty sand with some clay of low plasticity (loam), containing shell grit with a soil reaction trend of 7.7 to 7.8 pH, electrical conductivity of 1.55 to 1.58 dS/m, to a depth of 1.0m, overlying,
- An aeolian soil (B_3-horizon) layer of yellow-brown, moist, medium dense sand with some clay of low plasticity (sandy loam), containing shell grit with a soil reaction trend of 8.0 pH, electrical conductivity of 1.07 to 1.31 dS/m, to a depth of at least 2m.

The encountered soil profile exhibits the typical characteristics of a well-drained duplex soil (Type 2/3), with hydraulic conductivity increasing with depth.

1.3.1.6 Soil Permeability. The *in situ* permeability tests were carried out on 26th April 2018 on one suite of seven (7) 9cm diameter holes, drilled and prepared in accordance with AS/NZS 1547:2012 (Talsma-Hallam method).

Permeability tests were carried out in the upper aeolian and fractured hardpan materials as follows:-

- The test holes were drilled to depths of 36 to 60cm,
- Time to equilibrium hydraulic conditions ranged from 0.1 to 0.25hrs, and,
- Testing used a wetted depth of soil section (hydraulic head) range of 5.8cm to 7.4cm.

The results of the constant head permeability tests are presented in Appendix A, to this report.

The saturated hydraulic conductivity (K_{sat}), was calculated via AS/NZS1547:2012.

The hydraulic conductivity ranged from about 2.5m/day to 3.2m/day.

The geometric mean saturated hydraulic conductivity (K_{sat}), was **2.889m/day**.

The deeper sand materials (estimated k_{sat}: 3m/day) soils will control effluent seepage rates with respect to determining the required trench area and to restrict surface rain flows to episodic events.

1.3.1.7 Basement Permeability. From the literature and from examination of sand profiles and defect character in the vicinity, the hydraulic conductivity of the basement materials would be in excess of 2m/day (adopt 3m/day for buffer design).

1.3.1.8 Colloid Stability. The results of the Emerson Crumb Tests, Dispersion Index tests and observations of any discolouration of water in the boreholes indicate that all encountered materials are non-dispersive.

The Emerson Class was 4, while the Dispersion Index was zero.

Free swell tests indicate that the clay fraction materials have a zero shrink-swell potential.

The electrical conductivity was determined for the A and B horizons using a 1:5 soil/water extract and converted to EC (saturation extract).

The determined electrical conductivity (EC_{se}) ranged from 1.07 to 1.77 dS/m.

To stabilise the colloids (by introducing sulphur) and to maintain the hydraulic conductivity, soil amelioration in the form of gypsum addition is recommended. Soil amelioration is described in Section 2.2.8, below.

Soil reaction trend ranged from 7.1 pH to 8.0 pH (at depth) which is within a tolerable range.

The laboratory test results are detailed in Appendix A2, to this report.

Assuming design, construction, operation and maintenance of the on-site effluent systems are in accordance with the recommendations contained in this report, we can conclude that there is a low salting potential.

1.3.1.9 AS1547:2012 Soil Classification. In accordance with *AS/NZS1547:2012* the soil materials can be classified as Type 2/3 soils (sandy loams).

1.3.1.11 Surface Drainage. Regional surface drainage is to the east, as shown in Drawing 1. The nearest surface waters (Merri River), are located over 400m from the land application areas (measured normal to contours).

1.3.1.12 Groundwater. No seepage was encountered in any of the boreholes.

Subsurface flow direction will generally reflect natural surface flow direction (i.e. an east, south-easterly direction), as shown in Drawing 2.

There are no ground water bores within a significant distance of the land application area.

The Victorian groundwater database and our bore logs indicate that groundwater is deeper than 5m metres of the surface. The groundwater is of moderate yield and fair to good quality (500-1000 mg/litre TDS) with beneficial use including domestic.

1.3.1.13 Nutrient Attenuation. The upper loamy soils and sands containing calcium carbonate (as found on this site) can fix large amounts of phosphorous. Phosphate-rich effluent seeping through these soils will lose most of the phosphorous within a few metres.

The limiting nutrient for this site is nitrogen. No phosphorous balance is required.

Nitrogen, contained in organic compounds and ammonia, forms nitrate-N and small amounts of nitrite-N when processed in an aerated treatment plant. Several processes affect nitrogen levels within soil after irrigation. Alternate periods of wetting and drying with the presence of organic matter promotes reduction to nitrogen gas (denitrification). Plant roots absorb nitrates at varying rates depending on the plant species, however nitrate is highly mobile, readily leached, and can enter groundwater via deep seepage and surface waters via overland flow and near-surface lateral flow.

Based on the water and nutrient balance, and assuming 30mg/litre N in the effluent, a denitrification rate of 20%, with N uptake of 220 kg/ha/year for an established grass cover of a rye/clover equivalent, a conservative estimate can be made of the nitrogen content in the deep seepage and lateral flow.

Without taking into account further expected denitrification below the root zone and in the groundwater (reported to be in the vicinity of 80%), denitrification in the lateral flow (external to the effluent areas but within the curtilage of the allotment) and plant uptake in the lateral flow, the effluent loading rate should not exceed 2.5mm/day.

On-site effluent disposal systems designed, constructed, operated and maintained in accordance with the following recommendations cannot adversely impact on the beneficial use of surface waters and groundwater in the area.

1.4 RISK MANAGEMENT & MITIGATION

SEPP (Waters of Victoria) requires that the proposal be assessed on a risk-weighted basis and cumulative effects[a] be considered.

A risk reduction approach is used in assessing this development, with components listed below:

1.4.1 Water Usage. With respect to daily effluent production, the system is overdesigned. Current best practice allows for a (maximum) continuous daily effluent flow of 4500 litres. Design usage estimates are as per *Code of Practice - Onsite Wastewater Management, E.P.A.* Publication 891.4, July 2016.

1.4.2 Secondary Treatment. The LCA recommends AWTS and sand filters. These systems generate a much higher quality of effluent than septic systems.

1.4.3 Block Size. Many under-performing effluent fields are placed on blocks where area is limited. Limited area can lead to inadequately sized or inappropriately placed effluent fields and a lack of options should the transient daily effluent volumes increase.

In the subject site, size is a constraining factor and long-term increases in effluent production cannot be accommodated.

1.4.4 Management Plan. Historically, inadequate maintenance has played a major part in the failure of onsite effluent disposal systems. There is a management plan within the LCA (see Appendix C). This plan gives guidance on the implementation of mandatory operation, maintenance and inspection procedures.

1.4.5 Sizing of Treatment Systems. No specific proprietary treatment plant is recommended, however treatment plants or sand filters must have current *JAS/ANZ* accreditation, which match effluent volumes with plant capacity.

1.4.6 Load Balancing. Surge flows are possible due to extended home-stay by relatives/friends, parties etc. Under these conditions the systems may become overwhelmed for a period. This potential problem can be eliminated by installing a plant with a load balancing facility (or equivalent function) which enables short-term

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[a] We would contend that there can be no significant cumulative effect if the provisions of *SEPP (Waters of Victoria)* are met (i.e. all wastes contained onsite).

storage and sustainable flows to the distribution area over extended time. The load balancing facility also provides temporary storage should the plant fail or if there is a power outage.

1.4.7 Zoned Dosing. The LCA stipulates that the effluent area is (automatically) irrigated sequentially by zones or time to promote the creation of transient aerobic and anaerobic soil conditions.

The effluent field is sized conservatively for nitrogen attenuation, using pasture grass (rye/clover eq mix), which has a nitrogen uptake of 220 kg/ha/year. Zoned dosing will increase the efficiency of the field for removing nitrogen from the soil.

Undersized effluent fields are at risk of becoming anaerobic for long periods, with the risk of microbial build-up. This leads to secretion of microbial polysaccharides, which coat soil particles and restrict the ability of the soil to adsorb nutrients and attenuate pathogens. Polysaccharides can also coat the interior of pipes and block drainage holes if drainage is slow due to the field being overloaded with effluent. This can lead to effluent surcharge from the ends of the drainage pipes, forming preferential flow paths through overlying soil and draining overland to nearby surface waters.

The alternating aerobic and anaerobic conditions created by zoned dosing prevent the build-up of microbial polysaccharides, and ensures efficient renovation of effluent.

1.4.8 Pressure Compensated Subsurface Disposal. Conservatively sized irrigation areas with pressure compensated subsurface disposal and zoned dosing deliver effluent directly into the soil. Under saturated conditions, water flow is downwards in the direction of maximum hydraulic gradient. For a surface flow containing effluent to occur, the effluent would have to rise, *against gravity*, through at least 150mm of soil. Under unsaturated conditions, water flow is multi-directional due to capillary forces and matrix suction. The atmosphere provides a capillary break with capillary forces and matrix suction reducing to zero at the air/soil interface. Gravitational forces outweigh the capillary forces and matrix suction long before the surface is reached. Hence, any surface flow from the effluent area cannot contain any effluent, regardless of the intensity and duration of rain events. Surface flow can only ever consist of **rainfall** in excess of soil storage capacity and hydraulic conductivity.

Except for the instance of a broken/damaged drip line or distribution line, surface flow cannot contain any effluent.

Note: For a pressure compensated distribution network to function properly, lines must be placed parallel to contours and/or horizontal for even effluent distribution.

1.4.9 Effluent Areas. Design effluent areas are oversized. They have been designed for a deep seepage less than 10% of hydraulic conductivity (after renovation).

1.4.10 Reserve Areas. Although reserve areas are not required for subsurface irrigation (*Code of Practice*, 2016), there is sufficient area available for duplication or extension of the irrigation area. The reserve area is a spare effluent field, which is left undeveloped, but can be commissioned in the case of increase in daily effluent production due to contingencies through the chain of ownership.

1.4.11 Buffer Distances. Buffer distances are set out in the *Code of Practice* to allow for attenuation of pathogens and nutrients, should an overland effluent surcharge occur.

The time taken for groundwater to reach the nearest surface waters can be estimated by using the Darcy equation (which states that velocity is the product of the hydraulic conductivity and the hydraulic gradient). From the literature and site data, the regional gradient is about 0.005, maximum.

Flow times can be estimated for groundwater to flow the 400m (minimum) to the nearest surface waters at this site.

For a conservative basement hydraulic conductivity of 3m/day[b] with a hydraulic gradient of 0.005, the time taken for groundwater to flow a distance of 400m is over 70 years.

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[b] This is a conservatively high figure to demonstrate maximum possible flow rates. A conservatively low figure was used for calculation of effluent application rates (see recommendations) to demonstrate irrigation sustainability.

For a (theoretical) surface effluent discharge on a 10% slope and for the prevailing soil hydraulic characteristics, the estimated maximum travel distance of the surface effluent discharge before reabsorption is less than 1m[c].

The design buffer distances comply the requirements of the Code of Practice.

1.4.12 System Failure. A properly designed and constructed onsite effluent system consisting of the treatment plant and the irrigation area can suffer degrees of failure.

Failure can take the form of mechanical (plant), accidental (toilet blockages, damaged irrigation lines, high BOD influent), operational (power outage, overloading) and maintenance (failure to check filters, failure to participate in maintenance programme).

1.4.12.1 Mechanical Breakdown. Mechanical plant breakdown typically involves compressor and pump malfunction causing no aeration and high water levels, respectively. Both of these situations are alarmed (both audible and visual). The proposed plants will benefit from a service contract providing 24 hour repair cycles. If the alarms were ignored (or malfunctioned) and the establishment continued to produce waste until the load balancing tank and plant capacities were exceeded (at least 3 days), a mixture of septic and raw effluent would back up to the interior of the toilet area and/or surcharge through the plant hatches. It is difficult to imagine how this outcome could be allowed to manifest. In addition, a plant malfunction with the occupants absent could not cause an effluent surcharge because no influent would be produced during this period.

1.4.12.2 Accidents. Toilet blockages and accidentally damaged irrigation lines could allow localised surface surcharge of treated effluent. This is why minimum buffers to surface waters have been maintained. High BOD influent (e.g. dairy or orange juice) can realise a lesser quality than 20/30 standard for some weeks. Provided the high BOD influent is not continuous, the soils will continue to satisfactorily renovate the effluent.

1.4.12.3 Operational Breakdown. Operational failures including power outages and transient hydraulic overloading are accommodated by the load balancing facility, as described in Section 1.4.6, above.

1.4.12.4 Maintenance Breakdown. Maintenance breakdowns such as failure to clean line filters can lead to expensive pump repairs and in extreme cases leakage (of 20/30 standard effluent) from the outlet pipe. This leakage would occur in proximity to the dwelling and would be noticed and acted on.

Refusal to participate in the management programme would be acted on by the responsible authority within one maintenance cycle.

AWTS and pumped systems have mechanical components which can malfunction and will age. The management plan including the maintenance and monitoring programmes are essential to ensure safe onsite effluent disposal.

1.4.13 Risk Summary. With regard to density of development and cumulative risk the assessment has considered risk associated with subsurface flows and surface flows.

In regard to subsurface flows, it is clear that provided the on-site system is adequately designed, constructed, operated and maintained (see items 1.4.1 through 1.4.12.4), the risk to surface and ground waters is negligible. Once the effluent is placed underground, the extraordinary long travel times via ground water to surface waters ensures adequate nutrient attenuation.

In regard to surface flows, it is clear that provided the on-site system is adequately designed, constructed, operated and maintained (see items 1.4.1 through 1.4.12.4), the risk to surface and ground waters is no greater than for a sewered development. Indeed, it could be considered that the risk is less than for a sewered development because there can be no mains failure (because there is no mains).

The LCA recommends a conservative, scientifically based, well founded wastewater management system with inherent multiple barriers of safety. Cumulative risk from the development is also extremely low. The risk of serious or irreversible damage is extremely low.

All requirements of *SEPP (Waters of Victoria)* have been met.

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[c] Source: *Approaches for Risk Analysis of Development with On-site Wastewater Disposal in Open, Potable Water Catchments* (Dr Robert Edis April 2014).

Figure 1: Land-soil unit A (proposed land application area) viewed from south-east to north-west.

SECTION 2. RECOMMENDATIONS

2.1 APPLICATION

The following recommendations are based on the results of our assessment, and are made in accordance with *SEPPs (Waters of Victoria)*, the *Code of Practice - Onsite Wastewater Management*, E.P.A. Publication 891.4, July 2016, *AS 1726*, and *AS/NZS 1547:2012*.

They are based on the mean saturated hydraulic conductivity of the limiting sand materials and are designed to demonstrate the viability of on-site effluent disposal for an accommodation centre and a daily effluent production of 4,500 litres and are considered to be conservative.

2.2 SUBSURFACE IRRIGATION

2.2.1 General. Based on the results of the water balance analysis and considering the prevailing surficial and subsurface conditions including soil profile thickness and slope and on condition that adequate site drainage is provided (as described in Section 2.4, below), on-site irrigation systems are appropriate for effluent disposal for land-soil unit A.

2.2.2 Effluent. Effluent will be generated from an accommodation centre and will include black and grey water (all wastes).

2.2.2.1 Effluent Quality. Effluent shall be treated (by AWTS or sand filter) to a standard that meets or exceeds the water quality requirements of the 20/30 standard for BOD/SS.

2.2.2.2 Effluent Quantity. The daily effluent volume of 4500 litres (load-balanced) has been calculated from *Code of Practice - Onsite Wastewater Management*, E.P.A. Publication 891.4, July 2016, Table 4 and assumes a total of 45 patrons and staff and outsourced laundry.

2.2.2.3 Load Balancing. Transient hydraulic loads in excess of the expected daily load may occur. In addition, and in the case of power outages and/or mechanical breakdown, the load balancing tank can act as a temporary storage.

We recommend that the effluent treatment system be fitted with a load balancing facility or equivalent function to allow any transient high hydraulic loads to be retained and distributed to the irrigation area during periods of low load.

2.2.3 Application Rates and Irrigation Areas. An irrigation area and application rate has been determined from the results of the water and nutrient balance analyses and *AS/NZS 1547:2012, Appendix M.*

2.2.3.1 Hydraulic Loading. To satisfy the requirement for no surface discharge in the mean wet year, effluent shall be applied at an application rate not exceeding 2.5mm/day.

2.2.3.2 Nutrient Loading. The requirements of *SEPPs (Waters of Victoria)* would be satisfied with effluent applied at an application rate not exceeding 2.5mm/day.

2.2.3.3 Design Loading. For a daily load-balanced effluent flow of 4500 litres and to satisfy the requirement for no surface discharge in the mean wet year and on-site attenuation of nutrients, the effluent shall be applied to an area of **1800m²** at a rate not exceeding **2.5mm/day**.

2.2.4 General Requirements. For subsurface irrigation, it is assumed that the design, construction, operation and maintenance are carried out in accordance with *AS/NZS1547:2012* and a "system specific" *JAS/ANZ* accreditation, as appropriate.

Sand filters shall be sized in accordance with the interim guidelines for sand filters given in *Code of Practice - Onsite Wastewater Management, E.P.A.* Publication 891.4, July 2016.

For a daily flow of 4500 litres, sand filters shall have a minimum surface area of 15m², or as directed by the Moyne Shire Council.

The irrigation area is to be a dedicated area. To prevent stock and vehicular movements over the area, the effluent area shall be "fenced".

2.2.5 Subsurface Distribution System. A distribution network design similar to that shown in *AS/NZS1547:2012, Figure M1* is appropriate.

2.2.5.1 Ground Preparation and Excavations. Following gypsum application and ripping, the land application area topsoil shall be regraded to form a smooth, convex-planar, free-draining surface.

Pipe excavations shall only be undertaken in drier periods when soil moisture contents are relatively low and when heavy rainfall and storms are not normally expected (see, also Section 2.2.8, below).

2.2.5.2 Pump System and Pipe works. Uniform delivery pressure of the effluent throughout the distribution system is essential. Percolation or drip rates shall not vary by more than 10% from the design rate over the whole of the system (i.e. pressure compensated).

The distribution pipes shall be placed coincident with slope contours. The dripper system is to provide an effective even distribution of effluent over the whole of the design area. Line spacing shall be no closer than 1000mm.

2.2.6 Sequential Zoned Irrigation. The efficiency of irrigation effluent disposal systems can be highly variable. We recommend that as part of the daily irrigation process, the effluent area be irrigated sequentially by zones or time to promote the creation of transient aerobic and anaerobic soil conditions.

The inspection regime described in Section 2.2.7, below, is to be strictly adhered to.

2.2.7 Inspections and Monitoring. We recommend that the mandatory testing and reporting as described in the *Code of Practice - Onsite Wastewater Management*, E.P.A. Publication 891.4, July 2016, include an annual (post spring) report on the functioning and integrity of the distribution system and on the functioning and integrity of the cut-off drains and outfall areas.

Treatment plant output is to be monitored and recorded against population.

It is expected that the frequency of inspections and monitoring will intensify as systems age.

2.2.8 Soil Renovation. To create and maintain water-stable peds (under irrigation with saline effluent), soil renovation in the form of deep ripping and gypsum application is required. Gypsum shall be broadcast over the effluent area at the rate of 1kg/m^2. The area shall then be deep ripped to break up the calcrete layer, to a depth of at least 500mm.

Gypsum shall be reapplied by broadcasting at the rate of 1kg/m^2 every five years.

Gypsum is to be fine-ground, A-Grade agricultural quality.

2.3 RESERVE AREA

The expected plant design life of fifteen years may vary due to construction and maintenance vagaries and possible effluent volume increases through the chain of ownership.

There is sufficient available area on the allotment for extension/duplication of the effluent area.

2.4 SITE DRAINAGE.

Our recommendations for on-site effluent disposal have allowed for incident rainfall only and are conditional on the installation of a shallow cut-off drain and bund, which shall be placed upslope of the disposal area.

Care shall be taken to ensure that the intercepted and diverted surface waters are discharged well away and down slope of the disposal field.

Locations of the cut-off drain and drain detail are shown in Drawing 2 and MP1.

The owner shall also ensure that any upslope site works do not divert and/or concentrate surface water flows onto the disposal area.

2.5 BUFFER DISTANCES

The water balance analysis has shown that potential surface (rain water) flows from the effluent area would be restricted to episodic events.

The estimated hydraulic properties of the upper soil materials and hydraulic gradient have been used to evaluate (via Darcy's Law) the buffer distances with respect to subsurface flows.

Our analysis and evaluation has shown that the default setback distances given in *Code of Practice - Onsite Wastewater Management*, E.P.A. Publication 891.4, July 2016, Table 5 and *Approaches for Risk Analysis of Development with On-site Wastewater Disposal in Open, Potable Water Catchments*, Dr Robert Edis, April 2014 are conservative and can be safely reduced, as shown in Drawing 2 and Section 1.4.11, above.

For a building located downslope of an effluent field, your engineer shall evaluate the integrity of building foundations with respect to the assigned buffer distance.

2.6 SUMMARY OF RECOMMENDATIONS

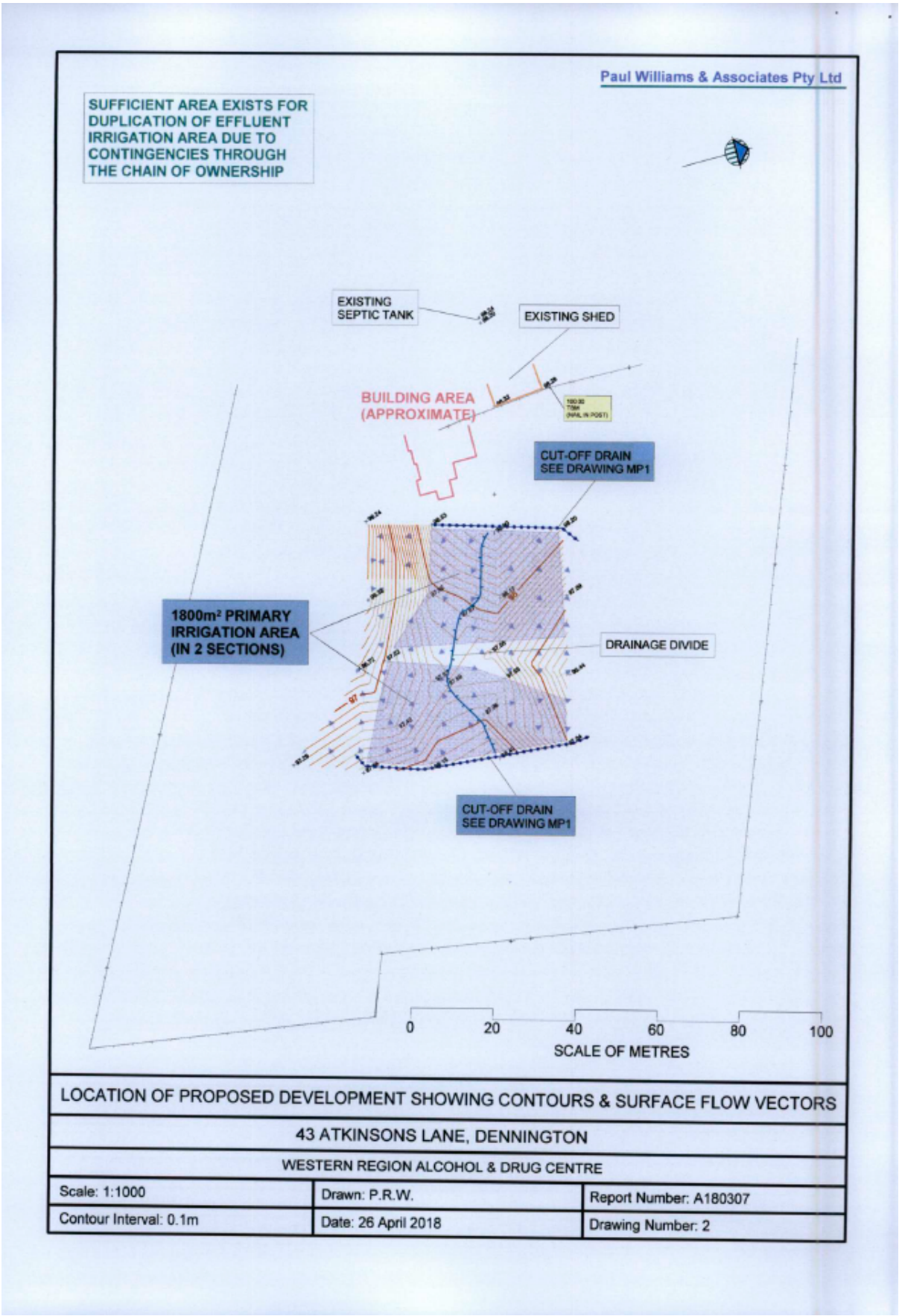
Our capability assessment has shown that at least one rational and sustainable on-site effluent disposal method (20/30 standard subsurface irrigation) is appropriate for the proposed development, subject to specific design criteria, described above.

A management plan is presented in Appendix C, to this report.

Paul R. WILLIAMS B.App.Sc.
PRINCIPAL HYDROGEOLOGIST
Building Practitioner No. EC-1486

Paul Williams & Associates Pty Ltd

LOCATION OF SUBJECT SITE		
43 ATKINSONS LANE, DENNINGTON		
WESTERN REGION ALCOHOL & DRUG CENTRE		
Scale: 1:20,000	Drawn: P.R.W.	Report Number: A180307
Contour Interval: 10m	Date: May 2018	Drawing Number: 1


Paul Williams & Associates Pty Ltd
SUFFICIENT AREA EXISTS FOR DUPLICATION OF EFFLUENT IRRIGATION AREA DUE TO CONTINGENCIES THROUGH THE CHAIN OF OWNERSHIP
EXISTING SEPTIC TANK
EXISTING SHED
BUILDING AREA (APPROXIMATE)
CUT-OFF DRAIN SEE DRAWING MP1
1800m² PRIMARY IRRIGATION AREA (IN 2 SECTIONS)
DRAINAGE DIVIDE
CUT-OFF DRAIN SEE DRAWING MP1
0 20 40 60 80 100
SCALE OF METRES
LOCATION OF PROPOSED DEVELOPMENT SHOWING CONTOURS & SURFACE FLOW VECTORS
43 ATKINSONS LANE, DENNINGTON
WESTERN REGION ALCOHOL & DRUG CENTRE
Scale: 1:1000
Drawn: P.R.W.
Report Number: A180307
Contour Interval: 0.1m
Date: 26 April 2018
Drawing Number: 2

APPENDIX A1
SOIL PROFILE

See Section 1.3.1.5 for detailed soil profile description.

APPENDIX A2
SUMMARY OF LABORATORY TEST RESULTS

Property	LAND-SOIL UNIT A			
Depth	0-20cm	20-50cm	50-70	70-200
Horizon	A	B	B	B
pH	7.1-7.3	7.6	7.7-7.8	8.0
EC (dS/m)	1.77	1.26-1.28	1.55-1.58	1.07-1.31
Exchangeable Sodium %	-	-	-	-
Exchangeable Magnesium %	-	-	-	-
Exchangeable Calcium %	-	-	-	-
CEC ($cmol^+/kg$)	-	-	-	-
Gypsum Req (t/ha)	-	-	-	-
Emerson	4	4	4	4
Dispersion Index	0	0	0	0
Free Swell (%)	0	0	0	0
Ksat (m/day)[1]	0.60	2.889	2.889	2.889+
Soil Permeability Category[1]	3b	2b	2b	2b
AS/NZS 1547 Classification	loam	sandy loam	sandy loam	sandy loam

1. After renovation including gypsum application. Estimated by visual tactile methods, AS/NZS1547, AS1289 and database and by insitu measurement as shown.

A180307

APPENDIX A3
DETERMINATION OF SATURATED HYDRAULIC CONDUCTIVITY (Ksat)
CONSTANT HEAD (TALSMA) METHOD
LAND-SOIL UNIT A
AEOLIAN MATERIALS

HOLE #	DEPTH (cm)	RADIUS (cm)	DEPTH TO ROCK(cm)	HEAD (cm)	Q (cm^3/min)	Ksat (m/day)
TS1	36	4.5	200+	5.8	21.40	2.948
TS2	40	4.5	200+	6	21.40	2.698
TS3	60	4.5	200+	7.4	34.24	2.564
TS4	50	4.5	200+	5.6	21.40	3.235
TS5	40	4.5	200+	5.5	19.26	3.055
TS6	50	4.5	200+	6	21.40	2.698
TS7	40	4.5	200+	5.7	21.40	3.087

Geometric Mean: **2.889**

APPENDIX B

Paul Williams & Associates Pty Ltd A189307

WATER/NITROGEN BALANCE (20/30 irrigation): With no wet month storage.

Rainfall Station: Koroit/ Evaporation Station: Dundidwarra

Location: Dennington
Date: May, 2018
Client: Myers Planning

ITEM	UNIT	#	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YEAR
Days in month:		D	31	28	31	30	31	30	31	31	30	31	30	31	365
Evaporation (Mean)	mm	A	181	142	102	66	40	24	31	47	63	93	111	146	1026
Rainfall (Mean)	mm	B1	36	34	52	66	77	82	91	91	80	71	58	49	786
Effective rainfall	mm	B2	36	34	52	66	77	82	91	91	80	71	58	49	786
Peak seepage Loss*	mm	B3	155	140	155	150	155	150	155	155	150	155	150	155	1825
Evapotranspiration(KA)	mm	C1	73	64	46	30	18	11	14	21	28	42	59	66	462
Waste Loading(C1=B3-B2)	mm	C2	192	170	149	115	96	79	78	85	98	126	142	171	1501
Net evaporation from lagoons (10(0.8A-B1xlagoon area/ha))	L	NL	0	0	0	0	0	0	0	0	0	0	0	0	0
Volume of Wastewater	L	E	139500	126000	139500	135000	139500	135000	139500	139500	135000	139500	135000	139500	1642500
Total Irrigation Water(E-NL)/G	mm	F	78	70	78	75	78	75	78	78	75	78	75	78	913
Irrigation Area(EXC2/annual	m^2	G													1800
Surcharge/Storage	mm	H	-114	-100	-72	-40	-19	-4	-1	-7	-23	-49	-67	-94	0
Actual seepage loss	mm	J	41	40	83	110	136	146	154	148	127	106	83	61	1056
Direct Crop Coefficient		I	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	Shade
Rainfall Retained:	100 %	K	1. Seepage loss (peak) equals deep seepage plus lateral flow: 5mm (after renovation).												
Lagoon Area:	0 ha	L	CROP FACTOR												
Wastewater/Irrigation):	4500 L	M	0.7	0.7	0.7	0.6	0.5	0.45	0.4	0.45	0.55	0.65	0.7	0.7	Pasture:
Seepage Loss (Peak):	5 mm	N	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	0.45	Shade
Irrig'n Area(No storage):	1800 m^2	P2	0.8	0.8	0.8	0.8	0.8	0.8	0.8	0.8	0.8	0.8	0.8	0.8	Fescue
Application Rate:	2.5 mm	Q	1	1	1	1	1	1	1	1	1	1	1	1	Woodlot
Nitrogen in Effluent:	30 mg/L	R													
Denitrification Rate:	20 %	S													
Plant Uptake:	220 kg/ha/y	T													
Average daily seepage:	3.4 mm	U													
Annual N load:	39.42 kg/yr	V													
Area for N uptake:	1792 m^2	W													
Application Rate:	2.5 mm	X													

NITROGEN UPTAKE

Species:	Kg/ha yr	pH	Species:	Kg/ha yr	pH	Species:	Kg/ha yr	pH
Ryegrass	200	5.6-8.5	Bent grass	170	5.6-8.9	Grapes	200	6.1-7.9
Eucalyptus	90	5.6-8.9	Couch grass	280	6.1-6.9	Lemons	90	6.1-6.9
Lucerne	220	6.1-7.9	Clover	180	6.1-6.9	C cunn'a	220	6.1-7.9
Tall fescue	150-320	6.1-6.9	Buffalo (soft)	280	6.1-6.9	P radiata	150	5.6-6.9
Rye/clover	220		Sorghum	90	5.6-6.9	Poplars	115	5.6-8.5

PART 2

RAINFALL DATA

Station: Koroit Number: 90051 Opened: 1889 Now: Open
Lat: 38.29° S Lon: 142.37° E Elevation: 66 m

Statistic	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
Mean	36.0	34.3	51.7	64.5	77.1	81.9	90.5	91.3	80.4	70.7	57.7	49.4	785.7
Lowest	2.8	0.0	2.1	0.0	9.5	18.1	28.0	13.9	16.5	13.0	7.9	1.5	487.4
5th %ile	8.1	2.4	10.9	17.8	24.1	33.8	45.6	35.4	36.0	26.3	19.5	9.4	614.8
10th %ile	10.3	5.4	19.1	23.7	39.3	41.2	51.5	47.2	45.5	31.4	27.6	16.2	638.6
Median	30.4	27.6	45.2	62.7	73.0	80.0	87.5	85.3	77.4	68.1	53.1	46.9	766.3
90th %ile	65.5	79.5	89.8	114.3	124.4	127.2	135.1	136.5	118.1	112.8	94.0	93.7	959.2
95th %ile	82.7	89.3	106.8	125.8	133.8	141.3	155.8	148.6	135.3	123.9	111.0	104.5	984.1
Highest	131.0	200.0	450.7	148.6	202.2	168.1	171.5	203.0	160.8	170.4	190.3	143.2	1323.5

APPENDIX C

LAND CAPABILITY ASSESSMENT TABLE
(Non-potable catchments)

LAND FEATURE	LAND CAPABILITY RISK RATING				AMELIORATIVE MEASURES & RISK REDUCTION
	LOW	MEDIUM	HIGH	LIMITING	
Available land for LAA	Exceeds LAA and duplicate LAA requirements	Meets LAA and duplicate LAA requirements	Meets LAA and partial duplicate LAA requirements	Insufficient LAA area	Non-Limiting for trenches & beds: Full reserve area available. Non-limiting for subsurface irrigation: Full reserve areas available.
Aspect	North, north-east and north-west	East, west, south-east, south-west	South	South, full shade	Multiple aspects, as shown in Drawing 2.
Exposure	Full sun and/or high wind or minimal shading	Dappled light (partial shade)	Limited light, little wind to heavily shaded all day	Perpetual shade	Full sun exposure. Exposed to prevailing winds.
Slope Form	Convex or divergent side slopes	Straight sided slopes	Concave or convergent side slopes	Locally depressed	Free draining, however finished LAA surface requires smoothing and redistribution of topsoil.
Slope gradient:					
Trenches and beds	<5%	5% to 10%	10% to 15%	>15%	1% to <10%: Non-limiting for trenches.
Subsurface irrigation	<10%	10% to 30%	30% to 40%	>40%	1% to <10%: Non-limiting for subsurface irrigation.
Site drainage: runoff/run-on	LAA backs onto crest or ridge	Moderate likelihood	High likelihood	Cut-off drain not possible	Cut-off drain required upslope.
Landslip[1]	Potential	Potential	Potential	Existing	Unremarkable
Erosion potential	Low	Moderate	High	No practical amelioration	Non-dispersive soils (all runoff to be dispersed without concentrating flows and LAA stabilised with gypsum).
Flood/inundation	Never		<1%AEP	>5% AEP	Unremarkable
Distance to surface waters (m)	Buffer distance complies with Code requirements		Buffer distance does not comply with Code requirements	Reduce buffer distance not acceptable	No surface waters within 400m (Merri River).
Distance to groundwater bores (m)	No bores on site or within a significant distance	Buffer distances comply with Code	Buffer distances do not comply with Code	No suitable treatment method	No bores within a significant distance (50m). Any future bore to be sited at least 20m from the land application area(s).
Vegetation	Plentiful/healthy vegetation	Moderate vegetation	Sparse or no vegetation	Propagation not possible	Existing grasses suitable for LAA.
Depth to water table (potentiometric) (m)	>2	2 to 1.5	<1.5	Surface	Water table between 5m and 10m.
Depth to water table (seasonal perched) (m)	>1.5	<0.5	0.5 to 1.5	Surface	Perching unlikely.
Rainfall[2] (Mean) (mm)	<500	500-750	750-1000	>1000	Non-limiting for trench systems. Non-limiting for subsurface irrigation - Design by water balance.
Pan evaporation (mean) (mm)	1250 to 1500	1000 to 1250	750 to 1000	<750	Design by water balance.
SOIL PROFILE CHARACTERISTICS					
Structure	High or moderately structured	Weakly structured	Structureless, massive or hardpan		Sandy loams (maintain structure by gypsum application).
Fill materials	Nil or mapped good quality topsoil	Mapped variable depth and quality material/s	Variable quality and/or uncontrolled filling	Uncontrolled poor quality/unsuitable filling	No fill present on selected land application area(s).
Thickness: (m)					
Trenches and beds	>1.4		<1.4	<1.2	Non-limiting for trench systems.
Subsurface irrigation	1.5+	1.0 to 1.5	0.75	<0.75	Non-limiting for subsurface irrigation.
Permeability[3] (limiting horizon) (m/day)	0.15-0.3	0.03-0.15 0.3-0.6	0.01-0.03 0.6-3.0	>3.0 <0.03	High risk for trenches, irrigation. Restrict DIR to 2.5mm and design by water balance.
Permeability[4] (buffer evaluation) (m/day)	<0.3	0.3-3	3 to 5	>5.0	Evaluate flow times via Darcy's Law (assume 3m/day for sands)
Stoniness (%)	<10	10 to 20	>20		Unremarkable
Emerson number	4, 5, 6, 8	7	2, 3	1	Non-dispersive. Apply gypsum (at least 1kg/m²) to create and maintain stable peds.
Dispersion Index	0	1-8	8-15	>15	Non-dispersive. Apply gypsum (at least 1kg/m²) to create and maintain stable peds.
Reaction trend (pH)	5.5 to 8	4.5 to 5.5	<4.5>8		Ideal range for grasses
E.C. (dS/m)	<0.8	0.8 to 2	>2	>2.0	Non-restrictive
Exchangeable Na (%)	<5	5 to 8	8-14	>14	Non-sodic (from EC, FS, pH and data base).
Exchangeable Mg (%)	12-15	15 to 25	25-35	35+	Swelling (from EC, FS, pH and data base).
Exchangeable Ca (%)	65-70	40-65	20-40	<20	Non-Sodic (from EC, FS, pH and data base).
Free swell (%)	<30	30-90	90-200	>200	Non-swelling clay fraction. Apply gypsum (at least 1kg/m²)

There are near-limiting and high-risk factors for primary effluent trench systems (high k_{sat}, high rainfall).

There are no limiting factors for secondary effluent subsurface irrigation.

Recommend increasing topsoil thickness (obtain from adjacent building site strip). Possible perched groundwater can be managed by installation of cut-off drains. Evaluation of buffer distances via Darcy's Law shows EPA default buffer distances to be adequate.

Hence, in terms of the definitions provided in Onsite Domestic Wastewater Management, the design, engineering and management inputs required for sustainable on-site effluent disposal are rational and easily achieved but with significant impost on the landowner.

[1] Landslip assessment based on proposed hydraulic loading, slope, profile characteristics and past and present land use.
[2] Mean monthly rainfalls used in water balance analyses.
[3] Saturated hydraulic conductivity estimated from AS/NZS1547:2012, laboratory tests and data base.
[4] Saturated hydraulic conductivity estimated from AS/NZS1547:2012 and data base.

APPENDIX D

MANAGEMENT PLAN

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CONSULTANTS IN THE EARTH SCIENCES

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LAND CAPABILITY ASSESSMENT LAND USE MAPPING TERRAIN MODELLING HYDROGEOLOGY ENGINEERING GEOLOGY SOIL SCIENCE

A180307-MAY 2018

MANAGEMENT PLAN
FOR
ON-SITE EFFLUENT DISPOSAL VIA SUBSURFACE IRRIGATION
AT
43 ATKINSONS LANE, DENNINGTON

1. INTRODUCTION

This document identifies the significant land-soil unit constraints (as identified in A180307) and their management and day-to-day operation and management of the on-site effluent system.

2. SIGNIFICANT LAND-SOIL UNIT CONSTRAINTS

2.1 Allotment Size. The day-to-day operation and management of on-site effluent systems, as described below, is not constrained by lot size or geometry.

Although all requirements of *SEPPs* have been met or exceeded through conservative design, prudence dictates that individual lot owners assiduously follow the management programme given in Section 4, below.

2.2 Nitrogen Attenuation. To reduce nitrates to insignificant levels, the effluent should not contain more than 30mg/litre total nitrogen.

Provided the irrigation areas are at least as large as those required to satisfy the nitrogen loading, as described in A180307 Sections 1.3.1.13, 1.3.2.13 and 2.2.3.2, and that the (specified) grass is cut and (periodically) harvested, nitrogen will be attenuated on-site.

2.3 Hydraulic Conductivity. The soils of this site are deep sands with a high hydraulic conductivity. The hydraulic conductivity is significantly influenced by soil structure, soil colloid stability and swell characteristics. Breakdown or reduction of these soil parameters over time may manifest as reduced performance of the irrigation system. The monitoring and inspection regime detailed in Section 4.7.2, below, should be adhered to.

2.4 Site Drainage. Our recommendations for on-site effluent disposal have allowed for incident rainfall (not surface flow or lateral subsurface flow) and are conditional on the installation of a cut-off drain (shallow dish and bund), which should be placed upslope of the disposal area. Care should be taken to ensure that the intercepted and diverted surface waters and any perched groundwater are discharged well away and down slope of the disposal field (see Drawing MP1).

The owner should also ensure that any upslope works do not divert and/or concentrate surface water flows onto the disposal area.

2.5 Vegetation. The effluent disposal areas have been sized via water balance analyses utilising crop factors for pasture (rye/clover mix).

3. THE ONSITE EFFLUENT SYSTEM

The onsite effluent system consists of the influent (toilets, kitchens, bathroom and outsourced laundry), a load balancing tank/facility, the treatment plant/sand filter (a device to treat the effluent to at least the 20/30 standard), the irrigation area including effluent distribution system (delivery pipes and drippers), prescribed irrigation area vegetation, associated infrastructure (cut-off drains, outfall areas, fencing), a service and maintenance programme and on-going management.

4. MANAGEMENT

The owner is required to understand (and ensure that any tenants understand) that sustainable operation of the onsite effluent system is not automatic. Sustainable operation requires on-going management, as outlined below.

4.1 Effluent. Effluent will be generated from a special accommodation centre and will include black and grey water (all wastes).

4.1.2 Effluent Quality. Effluent should be treated to a standard that meets or exceeds the water quality requirements of the 20/30 standard.

4.1.3 Effluent Quantity. The daily effluent volume of 4500 litres (45 staff and patrons) has been calculated from *Code of Practice - Onsite Wastewater Management*, E.P.A. Publication 891.4, July 2016, Table 4 and assumes mains water supply and WELS-rated water-reduction fixtures and fittings – minimum 4 Stars for dual-flush toilets, shower-flow restrictors, aerator taps, flow/pressure control valves and minimum 3 Stars for all appliances.

4.2 Treatment Plant. For subsurface irrigation, it is assumed that the design, construction, operation and maintenance are carried out in accordance with *AS/NZS1547:2012* and a current *JAS-ANZ* accreditation.

4.3 Irrigation Area. The irrigation area has been determined from the results of the water and nutrient balance analyses and *AS/NZS 1547:2012, Appendix M.*

4.3.1 Effluent Area Requirement. For a daily effluent flow of 4500 litres and to satisfy the requirement for no surface rainwater flow in the mean wet year and on-site attenuation of nutrients, the effluent should be applied to an irrigation area of 1800m^2.

Effluent distribution is as detailed in Section 4.3.2, below.

In case of an increase in effluent production through the chain of ownership, there is sufficient area available for duplicating the irrigation areas.

Any landscaping and/or planting proposals require endorsement from the City of Warrnambool.

4.3.2 Distribution System. The distribution system must achieve controlled and uniform dosing over the irrigation area. A small volume of treated effluent should be dosed at predetermined time intervals throughout the day via a pressurised piping network that achieves uniform distribution over the entire irrigation area.

Uniform delivery pressure of the effluent throughout the distribution system is essential. Drip rates should not vary by more than 10% from the design rate over the whole of the system.

To minimise uneven post-dripper seepage, the distribution pipes must be placed parallel with slope contours.

Line spacing shall be no closer than 1000mm under any circumstances.

To facilitate the creation of transient aerobic and anaerobic soil conditions we recommend that as part of the daily irrigation process, the effluent area be irrigated sequentially by zones or time.

4.3.3. Soil Renovation: To create and maintain water-stable peds (under irrigation with saline effluent), soil renovation in the form of deep ripping and gypsum application is required. Gypsum shall be broadcast over the effluent area at the rate of 1kg/m^2. The area shall then be deep ripped to break up the calcrete layer, to a depth of at least 500mm.

Gypsum shall be reapplied by broadcasting at the rate of 1kg/m^2 every five years.

4.3.4 Buffer Distances. The water balance analysis has shown that potential surface rainwater flows from the effluent area would be restricted to episodic events.

The estimated hydraulic properties of the upper soil materials and hydraulic gradient (equivalent to the ground slope and regional gradients) have been used to evaluate (via Darcy's Law) the buffer distances with respect to subsurface flows.

Our analysis and evaluation has shown that the default setback distances given in *Code of Practice - Onsite Wastewater Management*, E.P.A. Publication 891.4, July 2016, Table 5 are conservative and can be applied without amendment.

For a building located downslope of an effluent field, your engineer should evaluate the integrity of building foundations with respect to the assigned buffer distance (6m minimum recommended).

Buffer distances are to be applied exclusive of the irrigation area.

4.3.5 Buffer Planting. All downslope (Title inclusive) buffers may be required to filter and renovate abnormal surface discharges. Hence, they are to be maintained with existing or equivalent groundcover vegetation.

4.3.6 Buffer Trafficking. On all allotments, buffer trafficking should be minimised to avoid damage to vegetation and/or rutting of the surface soils.

Traffic should be restricted to 'turf' wheeled mowing equipment and to maintenance, monitoring and inspections by pedestrians, where possible.

4.4 Vegetation. The system design for on-site disposal includes the planting and maintenance of suitable vegetation, as specified in A180307 and/or similar documents.

Specifically, this irrigation area has been sized (in part) utilising crop factors and annual nitrogen uptake for a rye/clover eq mix.

The grass needs to be harvested (mown and periodically removed from the irrigation area).

Additional plantings (shrubs and trees) are allowed, but such planting should not impede grass mowing activities.

Where a variation to recommended grass species is proposed, it must be demonstrated that the nitrogen uptake and crop factors (as specified in A180307 Appendix B – water balance) are met or exceeded.

4.5 Verification. The Council is to be satisfied that the effluent system has been constructed as designed.

4.6 Associated Infrastructure. The following items are an integral part of the onsite effluent system.

4.6.1 Cut-off drains. Cut-off drains are designed to prevent surface and near-surface water flows from entering the effluent area. They should be constructed and placed around the effluent area, as detailed in Drawing MP1.

4.6.2 Outfall areas. All pipe outfalls should be at grade and designed to eliminate scour and erosion.

A grassed outfall would normally be adequate. However, should monitoring and inspections reveal rill or scour formation, the outfall will need to be constructed so that energy is satisfactorily dissipated.

Should this situation occur, professional advice is to be sought.

4.6.3 Fencing. The disposal area is to be a dedicated area. Adequate fencing must be provided to prevent stock, excessive pedestrian and vehicular movements over the area.

4.7 Service and Maintenance Programme. The minimum requirements for servicing and maintenance are set out in the *JAS-ANZ* accreditation and the manufacturer's recommendations.

4.7.1 Treatment Plant. Aerated treatment plants and sand filters should be serviced at least one time per year (or as recommended in the *JAS-ANZ* accreditation and the effluent should be sampled and analysed as required by the *JAS-ANZ* accreditation. The local authority is to ensure compliance.

The manufacturer's recommendations are to be followed. Generally, low phosphorous and low sodium (liquid) detergents should be used. Plastics and other non-degradable items should not be placed into the tanks. Paints, hydrocarbons, poisons etc. should not be disposed of in sinks or toilets. Advice from a plumber should be obtained prior to using drain cleaners, chemicals and conditioners. It is important to ensure that grease does not accumulate in the tanks or pipes. Grease and similar products should be disposed of by methods other than via the on-site effluent system.

4.7.2 Monitoring and Inspections. We recommend that the mandatory testing and reporting as described in the *Code of Practice - Onsite Wastewater Management*, E.P.A. Publication 891.4, July 2016, include an annual (post spring) and post periods of heavy and/or prolonged rainfall report on the functioning and integrity of the distribution system and on the functioning and integrity of the cut-off drains, outfall areas and soil media.

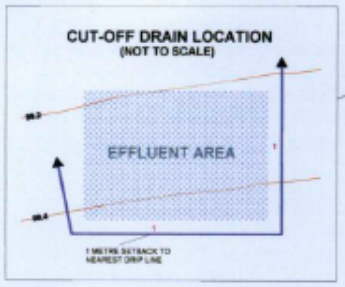
Output from the treatment plant is to be monitored and recorded against population.

The effluent areas should be regularly inspected for excessively wet areas and vegetation integrity.

The inspection regime described in A180307, Section 2.2.7, should be strictly adhered to.

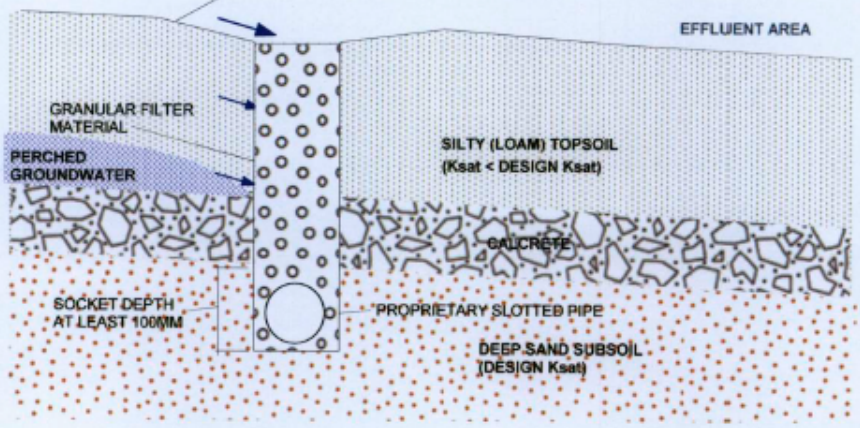
Paul WILLIAMS B.App.Sc. MFFS(Vic)
PRINCIPAL HYDROGEOLOGIST
Registered Building Practitioner EC1486

Paul Williams & Associates Pty Ltd



NOTE: CUT-OFF DRAIN LOCATION IS SCHEMATIC ONLY. FINAL LOCATION TO BE DETERMINED BY DESIGN ENGINEER AS PART OF SITE DRAINAGE DESIGN.

SURFACE REGRADED BY CUTTING TO FACILITATE COLLECTION OF SURFACE FLOWS - DEGREE OF CUT SLOPE LIMITED BY REQUIREMENTS FOR SAFE & EFFICIENT MOWING/MAINTENANCE



NOTES:
1. DRAIN TO BE DESIGNED, CONSTRUCTED & MAINTAINED TO ENSURE THAT NO SURFACE & PERCHED GROUNDWATER FLOWS ENTER THE IRRIGATION AREA.
2. DRAIN TO BE LOCATED ON ALL UPSLOPE SIDES OF IRRIGATION AREA (NO CLOSER THAN 1M FROM NEAREST SUBSURFACE DISTRIBUTION LINE).
3. DRAIN TO HAVE UNSPECIFIED FALL.
4. MINIMUM SOCKET DEPTH OF 100MM DEEPER THAN HARDPAN (WHERE ENCOUNTERED) OR AT LEAST 400MM DEEP.
5. DRAIN CROSS SECTIONAL AREA RELATED TO DESIGN FLOWS AS DETERMINED BY A SUITABLY QUALIFIED AND EXPERIENCED ENGINEER.
6. OFF-SITE DRAIN OUTFALL TO LEGAL POINT OF DISCHARGE SUBJECT TO LOCAL AUTHORITY REQUIREMENTS.
7. ON-SITE DRAIN OUTFALL TO INCLUDE APPROPRIATE ENERGY DISSIPATION TO AVOID EROSION.
8. ALL DRAINS AND OUTFALL AREAS SUBJECT TO POST-SPRING INSPECTION.

NOTE: DRAWING NOT TO BE USED FOR SET-OUT PURPOSES

CUT-OFF DRAIN DETAIL FOR 20/30 STANDARD EFFLUENT IRRIGATION FIELDS		
DEEP SANDS SOIL PROFILES WITH NEAR-SURFACE HARDPAN		
WESTERN REGION ALCOHOL & DRUG CENTRE		
Scale: 1:10 (Approximately)	Drawn: P.R.W.	Report Number: SPEC 014
Contour Interval: N/A	Date: May 2018	Drawing Number: MP1

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 11281 FOLIO 252 Security no : 124071726430S
Produced 10/05/2018 11:17 am

LAND DESCRIPTION

Lot 12 on Plan of Subdivision 321948R.
PARENT TITLES :
Volume 07441 Folio 161 Volume 09470 Folio 510 Volume 10160 Folio 342
Volume 10166 Folio 974
Created by instrument AJ039223M 29/06/2011

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
WESTERN DISTRICT EMPLOYMENT ACCESS INC of 86 LAVA STREET WARRNAMBOOL VIC 3280
AJ617024W 23/04/2012

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS321948R FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

----------END OF REGISTER SEARCH STATEMENT----------

Additional information: (not part of the Register Search Statement)

Street Address: 43 ATKINSONS LANE DENNINGTON VIC 3280

DOCUMENT END

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PLAN OF SUBDIVISION

STAGE NO. / LTO use only EDITION 2 | Plan Number PS 321948R

Location of Land

Parish: YANGERY

Township: ——

Section: ——

Crown Allotment: ——

Crown Portion: 2 (PART)

LTO Base Record: LITHO SHEET 1 (3950)

Title Reference: VOL.8948 FOL.638
VOL.10063 FOL. 550

Last Plan Reference: L.P. 3869 (LOTS 20 & 21 & PART OF LOT 3)

Postal Address: C/O POST OFFICE, DENNINGTON, 3280
(at time of subdivision)

AMG Co-ordinates (of approx. centre of land in plan) E 625250 N 5753500 Zone: 54

Council Certificate and Endorsement

Council Name: SHIRE OF WARRNAMBOOL Ref: 31/SA/92

1. This plan is certified under section 6 of the Subdivision Act 1988.
2. ~~This plan is certified under section 11(7) of the Subdivision Act 1988.~~
~~Date of original certification under section 6 / /~~
3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.

OPEN SPACE

(i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made.

~~(ii) The requirement has been satisfied.~~

~~(iii) The requirement is to be satisfied in Stage~~

Council delegate
~~Council seal~~

Date 8 / 2 / 93

~~Re-certified under section 11(7) of the Subdivision Act 1988~~

~~Council Delegate~~
~~Council Seal~~

~~Date / /~~

Vesting of Roads and/or Reserves

Identifier	Council/Body/Person
ROAD R-1	SHIRE OF WARRNAMBOOL

Notations

Staging This ~~is~~/is not a staged subdivision
Planning Permit No.

Depth Limitation DOES NOT APPLY

LOTS 1-9 (INCL) ARE OMITTED FROM THIS PLAN

Survey This plan is/~~is not~~ based on survey

This survey has been connected to permanent marks no(s)
In Proclaimed Survey Area No.

Easement Information

Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1 R-1	ELECTRICITY WAY & DRAINAGE AND SUPPLY OF ELECTRICITY & TELEPHONE SERVICES	2.01 SEE DIAG.	INST. 1456877 THIS PLAN	S.E.C.V. LOTS ON THIS PLAN
E-2	CARRIAGEWAY	SEE DIAG.	AB553356S	C/T VOL 10245 FOL 214, VOL 10230 FOL 146 & VOL 10128 FOL 909
E-3	CARRIAGEWAY	SEE DIAG.	AB553356S	C/T VOL 10128 FOL 909

LTO use only

Statement of Compliance/ Exemption Statement

Received ✓

Date 2 / 8 / 93

LTO use only

PLAN REGISTERED

TIME

DATE 17 / 3 / 94

Assistant Registrar of Titles

Sheet 1 of 2 Sheets

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LAND SURVEYORS & PLANNERS
69 KEPLER ST. WARRNAMBOOL
3280
TEL. 623752
A.C.N. 005 064 960

LICENSED SURVEYOR (PRINT) JOHN CROFTS-TURNER

SIGNATURE ..... DATE / /

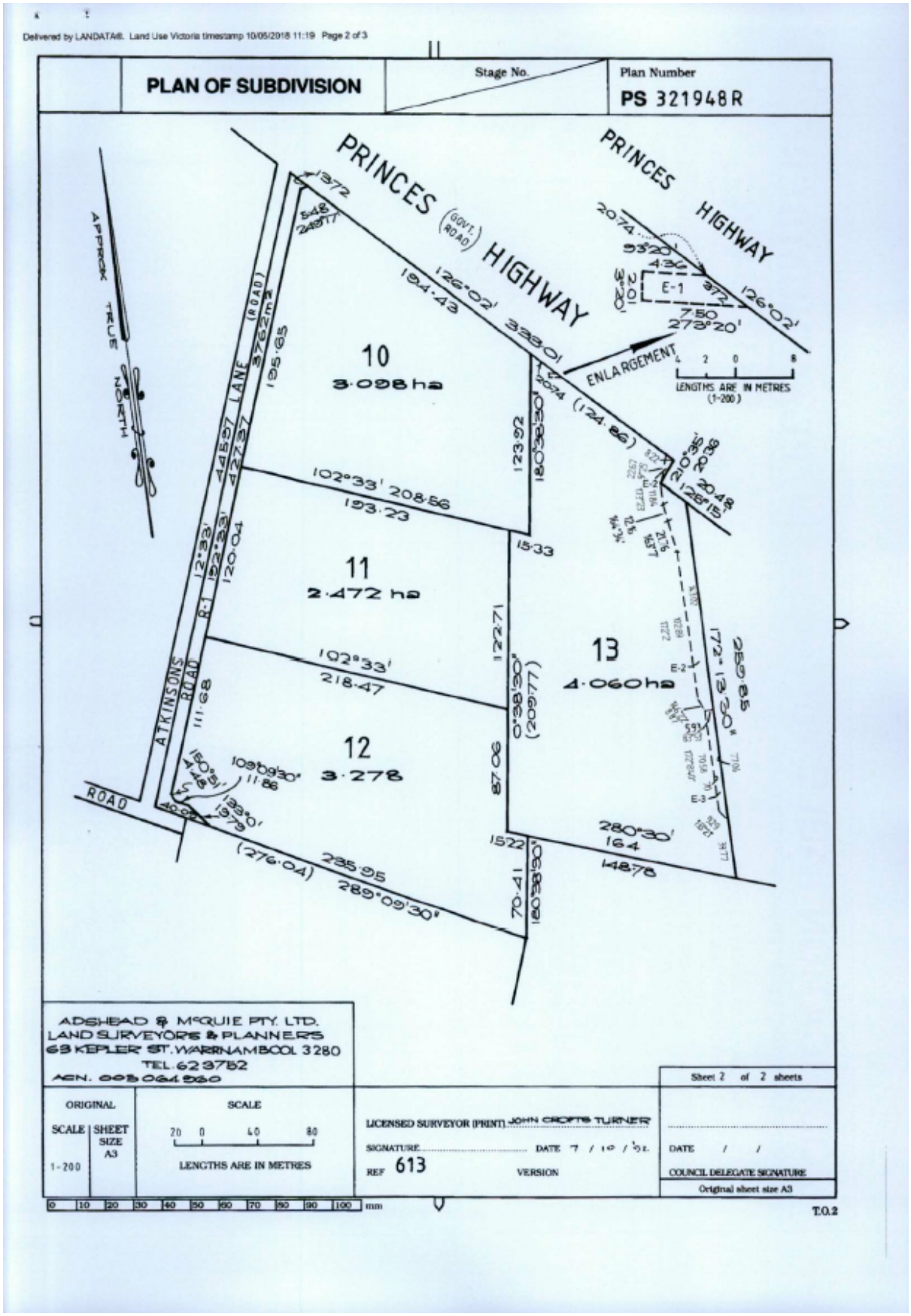
REF 613 VERSION

DATE / /

COUNCIL DELEGATE SIGNATURE

Original sheet size A3

T.O.1


Delivered by LANDATA®. Land Use Victoria timestamp 10/05/2018 11:19 Page 2 of 3
PLAN OF SUBDIVISION
Stage No.
Plan Number
PS 321948R
PRINCES HIGHWAY (GOVT. ROAD)
PRINCES HIGHWAY
ATKINSONS ROAD
ROAD
APPROX TRUE NORTH
10
3.098ha
11
2.472 ha
12
3.278
13
4.060ha
E-1
E-2
E-3
R1
ENLARGEMENT
LENGTHS ARE IN METRES (1-200)
ADSHEAD & McQUIE PTY. LTD.
LAND SURVEYORS & PLANNERS
63 KEPLER ST. WARRNAMBOOL 3280
TEL. 62 3752
ACN. 005 064 560
Sheet 2 of 2 sheets
ORIGINAL SCALE 1-200
SHEET SIZE A3
SCALE
LENGTHS ARE IN METRES
LICENSED SURVEYOR (PRINT) JOHN CROFTS TURNER
SIGNATURE
DATE 7 / 10 / 92
REF 613
VERSION
DATE / /
COUNCIL DELEGATE SIGNATURE
Original sheet size A3
T.O.2

MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

WARNING: THE IMAGE OF THIS PLAN/DOCUMENT HAS BEEN DIGITALLY AMENDED. NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL PLAN/DOCUMENT.

PLAN NUMBER
PS321948R

AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	TIME	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
LOT 13	E-2 & E-3	CREATION OF EASEMENT	AB553356S	12/09/2002		2	IRM

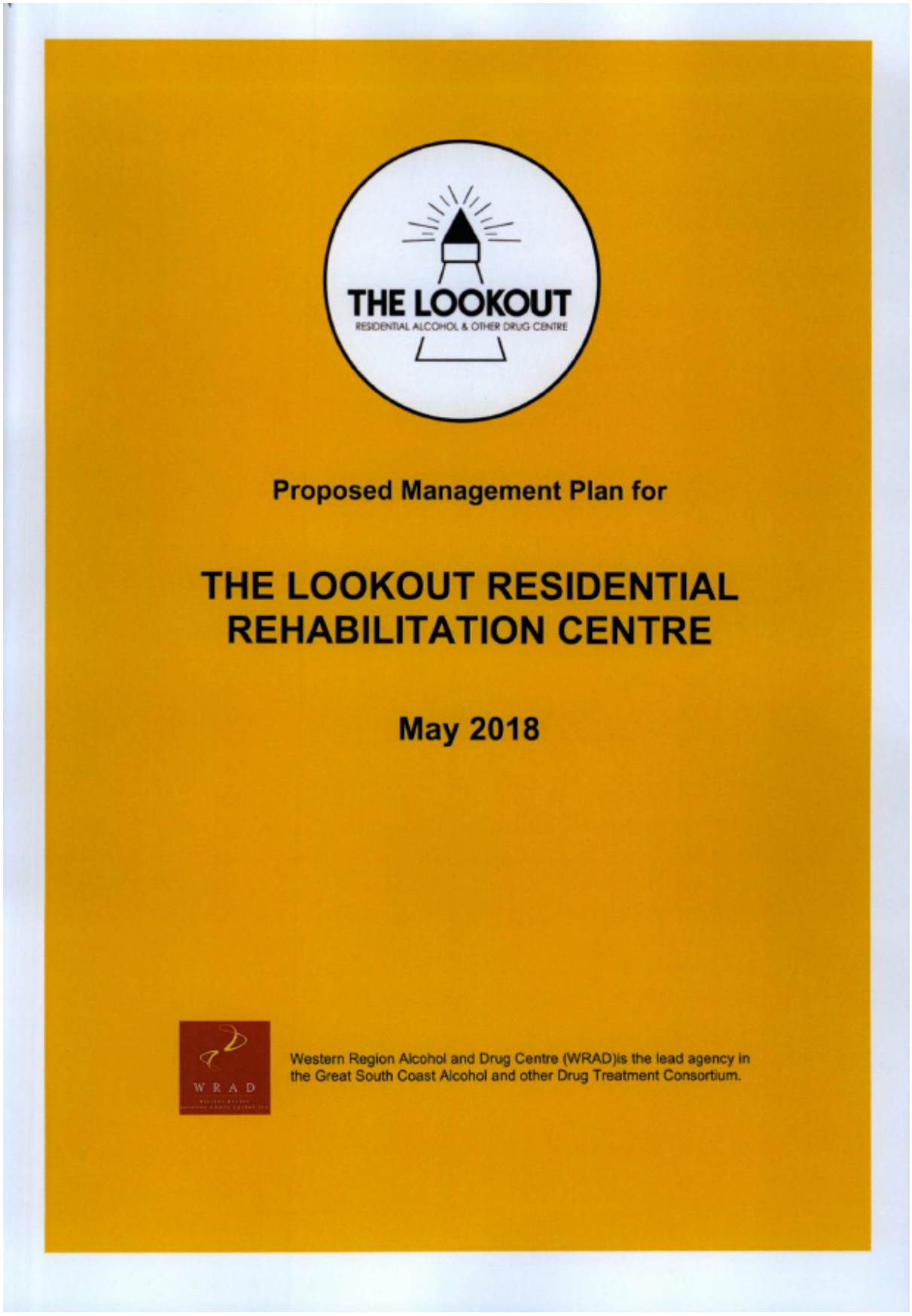

THE LOOKOUT
RESIDENTIAL ALCOHOL & OTHER DRUG CENTRE
Proposed Management Plan for
THE LOOKOUT RESIDENTIAL REHABILITATION CENTRE
May 2018
WRAD
Western Region Alcohol and Drug Centre (WRAD)is the lead agency in the Great South Coast Alcohol and other Drug Treatment Consortium.

Table of contents

Glossary 1
Community Consultative Group (CCG) 2
Section 1 - Background 3
Delivery Model 3
Complex Service Delivery 3
Evidence Based Service delivery Model 4
LRRC Program Service Delivery Model 5
Section 2 - Eligibility for LRRC 6
Section 3 - Referral Process 7
Section 4 - Intake, Assessment & Admission Process 8
Intake Process 8
Assessment Process 8
Admission Process 9
Resident (Client) Statement and costs 9
Section 5 - Health and Medication 10
Section 6 - Staff and Resident Roles 11
Role of LRRC Residents (Clients) 12
Section 7 - Afterhours on Call Management and Support 14
Section 8 - Co-ordination with Emergency Services 15
Section 9 - Emergency Management 16
Section 10 - Risk Management Framework 17
Risk register 17
Specific Risk Issues for the LRRC 17
Section 11 - Community Access 19
Section 12 - Exit Planning 20
Care Co-ordination - Throughcare 20
Section 13 - Service Quality and Clinical Governance 21
Quality Assurance 21
Clinical Governance 21
Key Roles in Clinical Governance 22

Glossary

AOD	Alcohol and other Drug
CCO	Community Corrections Order
Client	Individual that has been referred and accepted to LRRC but has not been admitted to the program
CCG	Community Consultative Group
CFA	Country Fire Authority
CJS	Criminal Justice System
COATS	COATS Community Offender Advice and Treatment Service - ACSO
DHHS	Department of Health and Human Services
LRRC	Lookout Residential Rehabilitation Centre
OHS	Occupational Health and Safety
QDC	Quarterly Data Collection
QIC	Quality Improvement Council
Resident	Individual that has been admitted to the LRRC program and is living onsite at 43 Aitkinson's Lane, Dennington.
WRMS	WRAD Risk Management System
TC	Therapeutic Community
TP	Treatment Plan
WRAD	Western Region Alcohol and other Drug Centre
RRS	Re Residential Rehabilitation service
CBT	Cognitive Behavioural Therapy

Community Consultative Group (CCG)

WRAD will establish a Lookout CCG (LRRC CCG) to assist with the establishment of the centre and provide advice on how the centre can successfully integrate within Warrnambool and the broader Great South Coast Catchment Region. WRAD will seek expressions of interest for membership from the Warrnambool Community and the broader Great South Coast Catchment Region. The CCG will be established as part of the Project Plan for construction of the LRRC.

The specific logistics of how the CCG will operate will be established in consultation with its inaugural members; such as terms of reference and meeting schedule.

Section 1 - Background

Delivery Model

The Lookout Residential Rehabilitation Centre (LRRC) is a 20-bed residential rehabilitation centre for individuals with problematic AOD use and associated problems. This service model is a major priority as identified in the Great South Coast catchment based plan.

The LRRC is an evidence-based AOD residential rehabilitation service (RRS) that will break the cycle of drug use and negative behaviour. The LRRC addresses a need articulated in *the Great South Coast AOD Plan*, for residential rehabilitation beds in the catchment for individuals requiring intensive support in their recovery that 'cannot be met by therapeutic non-residential services'. Researched data informs us that there are significantly high levels of AOD usage in the Great South Coast Catchment however access to RRS is limited and the majority of referrals are directed outside the region.

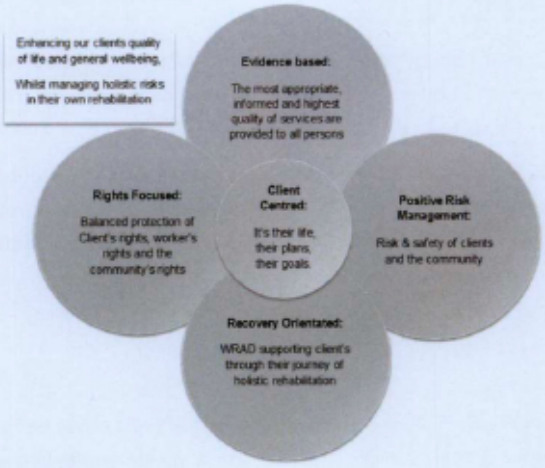
The 20-bed LRRC will support around *80 clients per year;* the target cohort being adult male and female (18+) individuals with problematic AOD use and a variety of clinical presentations. The LRRC will operate as a Therapeutic Community and address the multiple issues of AOD dependence. This model will use Cognitive Behavioural Therapy (CBT), individual counselling, group work and specialist support services within a structured and monitored environment. We anticipate that the entry point to the LRRC will be through multiple referral pathways, court system with a planned exit and supported into community integration model. Cohort 'exclusions' include those charged with sex offences at any time, those whose current offence is defined as a serious or violent offence those who have not yet completed AOD withdrawal and some who have behavioural and other factors that may impact on treatment outcomes.

The Lookout Residential Recovery Centre's service delivery model offers a comprehensive intake and assessment on entry utilising a range of State-sanctioned tools including the Step 1: AOD Initial Screen and the Step 2: Comprehensive AOD Assessment Tool. The Intake and Assessment phase identifies those clients who are suitable and motivated towards treatment. On exit participants receive seamless referral into community-based organisations and other support services.

Complex Service Delivery

WRAD will deliver flexible, person-centred care. LRRC will ensure the treatment approach is cognisant across the full spectrum of the individual's needs including mental and physical health, individuals with mild intellectual and/or cognitive disabilities, and other complex presentations. We are also cognisant that Aboriginal and Torres Strait Islander (ATSI) persons are significantly over-represented in the health system and have higher rates of AOD usage than the general and non-ATSI population. Our model ensures an individually-tailored service that is responsive to cultural needs and ensures seamless referral into ACCHOs where required.

The Lookout Residential Rehabilitation person-centred approach to care



Evidence Based Service delivery Model

(1) **Therapeutic Community**: participative, group-based treatment, with evidence of successful outcomes across the AOD and mental health sectors. Deloitte Access Economics concluded in their cost-benefit analysis of prison and RRSs, that TC resulted in better health outcomes and was a comparatively cheaper option[1].

(2) **Cognitive Behaviour Therapy (CBT):** achieving life-long change in the attitudes and behaviours of offenders, with regard to problematic drug usage sustainable beyond the life of the program. CBT is well supported in the literature as successful in addressing the offending needs of diverse forensic populations and supports the objectives of LRRC in reducing offending[2]. Landenberger and Lipsey reviewed meta-review and found CBT to be successful in reducing recidivism in both adult and youth offenders in prisons, residential and community correctional settings[3].

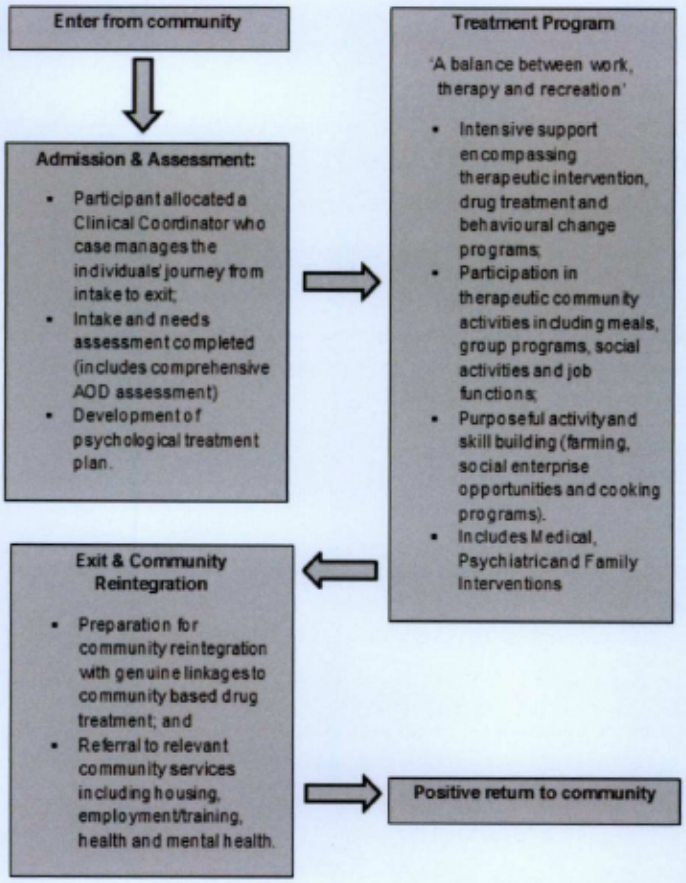
[1] ANCD 2012, An economic analysis for Aboriginal and Torres Strait Islander offenders, ANCD Research Paper 24.

[2] Jeglic, E.L., Malle, C., & Mercado, C.C. 2010 Treatment of Offender Populations: Implications for Risk Management and Community Reintegration. In L. Gideon & H. Sung (Eds.), Rethinking Corrections: Rehabilitation, re-entry and reintegration. Thousand Oaks, CA: Sage Press.

[3] Landenberger, N.A., & M. Lipsey 2005, "The Positive Effects of Cognitive-behavioral Programs for Offenders: A Meta-analysis of Factors Associated With Effective Treatment," *Journal of Experimental Criminology*, 1 (2005): 451-476.

LRRC Program Service Delivery Model

The Lookout Residential Rehabilitation delivery model



Section 2 - Eligibility for LRRC

The following criteria are from Victoria's specifications, which state that residential rehabilitation may be suitable for:

- Clients who have experienced substance dependence and seeking to address the issues related to their AOD use
- Clients at high risk of harm from AOD misuse impacted by multiple life complexities, such as mental illness, homelessness, family violence
- Clients requiring a sustained period of structured tertiary intervention in a therapeutic environment
- Clients whose home setting or social circumstances are not supportive of non-residential rehabilitation options
- Clients who are assessed as treatment-ready at admission (i.e., AOD-free, stabilised on pharmacotherapy treatment or undertaking slow-stream pharmacotherapy withdrawal treatment) (VDHHS, 2017b, p. 27)

Additional criteria for The Lookout include:

- Clients will be 18 years or older. Both females and males will be eligible. Dependent children cannot be accommodated
- Clients must be alcohol and other drug free on admission, preferably coming from residential withdrawal. At the discretion of staff involved in the admission process, new clients may be subject to urine screens / breathalyser tests before taking up residence at The Lookout
- Voluntary clients only
- Clients with low prevalence psychological conditions (e.g., antisocial personality disorder) will be accepted on a case-by-case basis. This will include consideration of the client's mental health condition, additional treatment options (e.g., psychiatrist providing sessions on an in-reach basis) and the composition of the therapeutic community (i.e., to support community well-being)
- Individuals who encounter the Justice System via police and courts for offending behaviour that relates to their substance abuse. The LRRC will focus on preventing individuals from entering prison subject to an appropriate screening and risk assessment.

Section 3 - Referral Process

Referrals for the LRRC are made from individuals seeking admission (self), family/partner on behalf of an individual, medical professional, community agency (including another AOD treatment service), magistrate, police or legal and health professional.

Section 4 - Intake, Assessment & Admission Process

Intake Process

Once a placement is accepted for the LRRC, the intake process involves an intensive assessment and treatment planning phase that is overseen by the LRRC Manager and conducted by the Clinical Manager and Care Coordinators (LRRC Intake Team). The assessment process is conducted based on individual needs and circumstances, this may take up to 3 weeks and is conducted offsite. Consideration is given to ensure that clients can transition straight from a withdrawal program to the LRRC, where possible. During this process the referred client is visited by members of the LRRC Intake Team at their current living arrangements. If appropriate, contact is made with significant and meaningful people in their life including; family, partner, children, Doctor, case workers, counsellor etc. The client will visit the LRRC once and be given a supervised site tour, which includes a presentation from a senior peer support resident.

Assessment Process

During the intake process, a thorough assessment is conducted to evaluate the resident's level of risk and individualised needs to inform their Treatment Plan and provide baseline measurement for future evaluation of needs and progress. The assessment involves the use of various standardised assessment tools at various points of time, as outlined in the table below. The assessment process utilises multiple sources, and is multidisciplinary to provide a comprehensive overview of the client's risks, needs and available management strategies.

Proposed suite of assessment measures and person/s responsible during assessment process.

Assessment/Measure	Person/s Responsible	Frequency of Administration
Kessler Psychological Distress Scale[6] (K-10)	Referring agency LRRC Intake Team	Intake Exit
Alcohol Use Disorders Identification Test (AUDIT)	Referring agency LRRC Intake Team	Intake
Drug Use Disorders Identification Test (DUDIT)	Referring agency LRRC Intake Team	Intake
The Adult AOD Comprehensive Assessment (Turning Point)	Referring agency LRRC Intake Team	Intake
Suicide Self Harm Risk Assessment	LRRC Clinical Team	Intake Ongoing
WRAD Client Risk Assessment Profile – Intake Form	LRRC Clinical Team	Intake
Dynamic Risk Assessment Monitoring Tool (DRAMS)	LRRC Clinical Team	Weekly
Global Assessment Scale (GAF)	Residential Support Worker	Daily

Admission Process

The admission of a new resident only occurs on a business day and only once the intake and assessment process is completed.

- On the day of admission, the new resident undergoes a thorough induction process that Search of belongings and clothes to ensure no drugs, contraband or weapons are brought onto the property. Random room checks may be conducted for all residents during their stay.
- Urine and breath testing is completed upon arrival. Random urine and breath testing is conducted for all residents during their stay. During treatment this will be monitored 4 times weekly. Specific policies and procedures to conduct these tests will be developed.
- Each new resident is allocated a 'LRRC Buddy', which is a fellow resident who has completed a significant part of their program. The Buddy assists the new resident to settle into the program, makes introductions to other residents and monitors the new resident closely for the first 48 hours. The Buddy will raise any behavioural concerns with LRRC staff to ensure new residents receive intensive support. Every resident must undertake the role of a 'LRRC Buddy' in order to successfully complete the program.

Resident (Client) Statement and costs

Prior to service commencement the client will be provided with an individual Residential Statement, which describes the house rules that residents and WRAD will abide by during the provision of service. These rules are:

- No violence or threats of.
- No drugs or contraband.
- No stealing.
- No sexual relationships.
- No gambling.

The Residential Statement is written in plain English to be easily comprehended. Any changes will be communicated to residents and documented accordingly. Residents are required to sign a contract agreement.

Information regarding the Residential costs is also documented in the Residential Statement to be clarified with the client prior to entering the residence. The costs will be reviewed yearly or as required to be responsive to changes in costs borne to WRAD. WRAD has proposed that the Residential costs will be paid as a proportion of a resident's income/pension/allowance not greater than 75%.

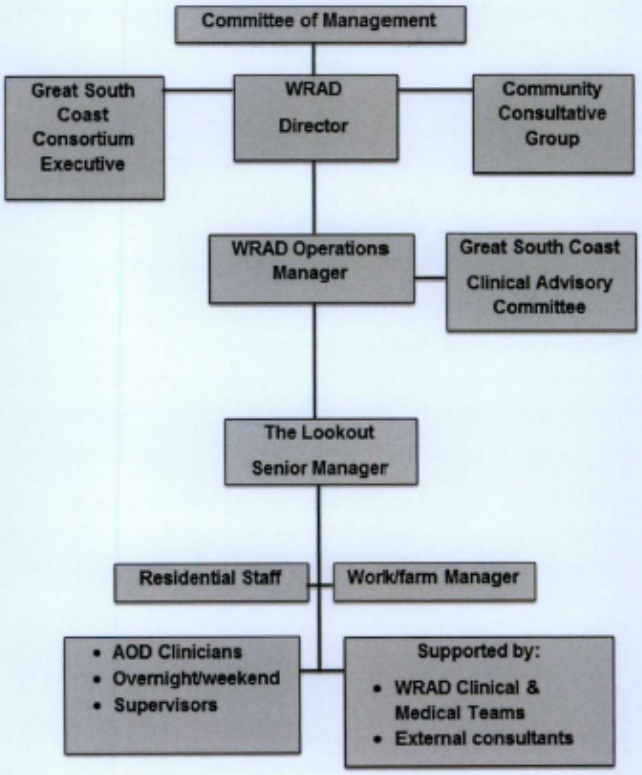
Section 5 - Health and Medication

Every LRRC resident will have a Health and Medication Plan that outlines their individual needs including their current treatment and any new treatment that needs to commence whilst they are at LRRC. The principle of maintaining continuity of care will be prioritised where possible; residents will be supported to continue their treatment with their existing practitioners. If the LRRC is approved WRAD will work closely with WRAD Medical Services to develop treatment pathways for LRRC residents. These arrangements would also include developing onsite visitation protocols for GP visits and pharmacotherapy.

Section 6 - Staff and Resident Roles

The LRRC will be staffed by qualified and experienced professionals with a clear management structure and roles that enhance safety, therapeutic and recovery outcomes. Operational management of the LRRC will be the responsibility of WRAD. The consortium governance executive will monitor the performance and standards of the residential rehabilitation service.

Proposed management



The indicative staff qualifications and roles that will be used at the facility will include the following. The specific position descriptions will be developed if the LRRC is approved.

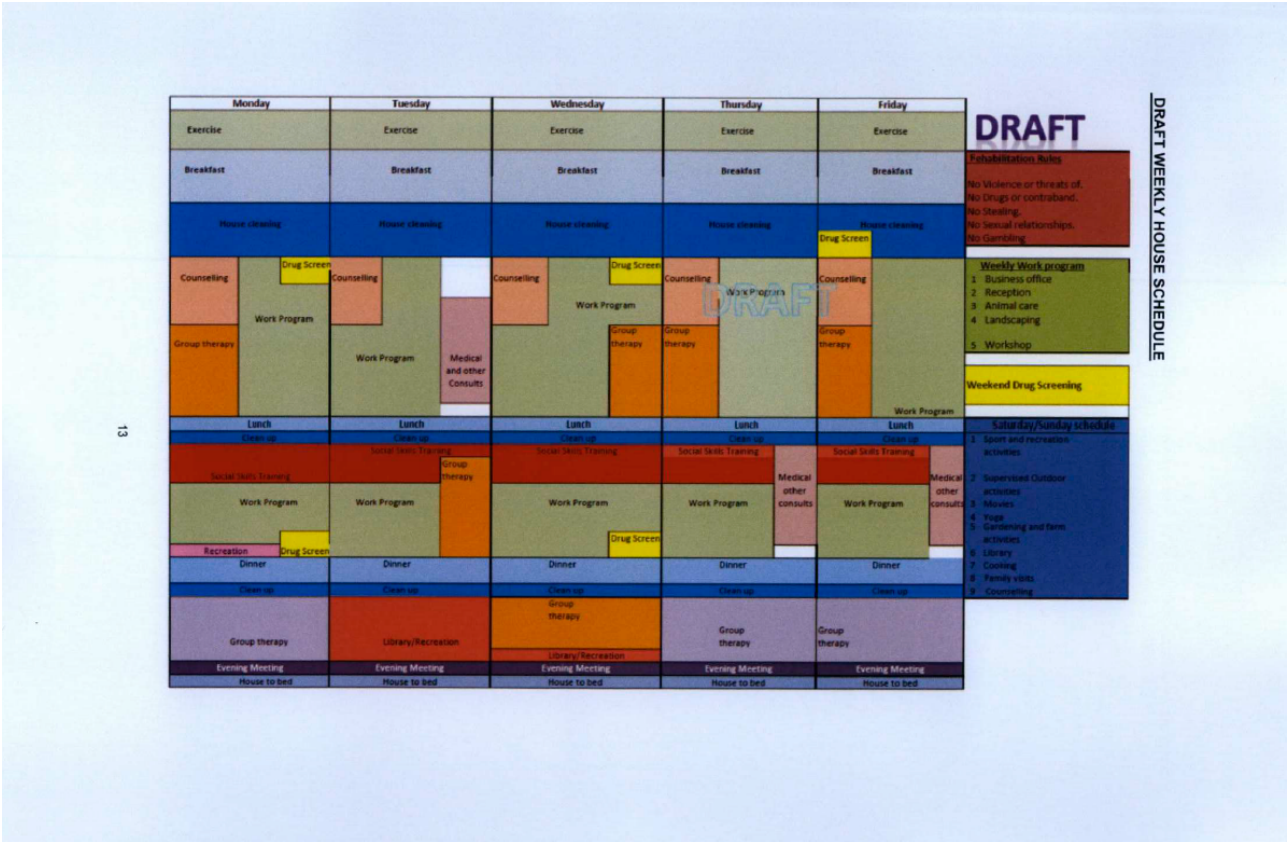
- **Senior Manager**; Allied Health Professional with Post Graduate Level Degree (Psychologist, Nurse, Occupational Therapist, Social Worker). Responsible for the day to day running of the LRRC including the staff that are employed and ensuring the services/programs delivered are compliant with the LRRC Operating Manual.

- **Clinical Services Manager**; Allied Health Professional with Post Graduate Level Degree (Psychologist, Occupational Therapist, Social Worker). Responsible for clinical treatment model (referral, intake/assessment/admission, AOD treatment planning) and the successful functioning of the Therapeutic Community including line manager for AOD clinicians.
- **AOD Clinicians**; Allied Health Professional with Graduate Level Degree (Psychologist, Occupational Therapist, Social Worker). Responsible for delivery of AOD treatment (individual and group), care planning, facilitating and supporting the TC, peer support residents and LRRC Buddies.
- **Residential Support Workers**; Diploma Level and/or Certificate IV in AOD, Community Services, Mental Health Support. Responsible for maintaining a safe and clean environment, through processes such as weekly fire safety checks and safety sweeps, maintenance of the evacuation pack, and regular evacuation drills. Case notes, incident reporting, maintenance of household money and schedule regular 'shift handovers' to maintain service continuity.
- **Farm/ Work Manager**; agriculture related experience and qualifications including Certificate IV in Workplace Training and Assessment. Responsible for establishing and operating the agricultural enterprises onsite, general rural and garden maintenance of the property (not buildings) and providing training/mentoring to residents in either small groups or 1:1.

All positions will be Level 2 Qualified Mental Health First Aid and the Clinical Team and Care Co-ordinators will have an up-to-date and working understanding of AOD assessment and treatment interventions, mental health diagnosis and presentations, appropriate psychotropic medication types, risk assessment and management and common side effect symptoms.

Role of LRRC Residents (Clients)

The LRRC will use the principles of the 'Therapeutic Community' model which is proven and evidenced based. This is a participative, group-based approach. The residents and staff form the 'LRRC community' through self-help and mutual support in a highly supervised environment. For example; activities include all resident/house evening meetings, residents allocated to different 'teams' to manage and do household, personal chores and meal preparation. This approach encourages residents to learn or further develop social skills and to function in a community rather than be isolated.



13

Section 7 - Afterhours on Call Management and Support

The LRRC program will be provided with 24/7 On Call Management Support from WRAD. There will be management support available which means there are three WRAD managers available after hours 365 days per year.

Section 8 - Co-ordination with Emergency Services

WRAD has a strong history of building positive relationships and operational protocols with Victoria Police, Metropolitan Fire Brigade and Country Fire Authority and Victoria Ambulance. WRAD will FURTHER develop these collaborative relationships with local CFA, Ambulance and Police during planning phase for the LRRC. Victoria Police have continued to work with WRAD on developing the LRRC program.

WRAD will develop a formal 'Emergency Management Protocol' with CFA, VicPol and Ambulance Victoria to ensure the LRRC is appropriately serviced in the event of a significant resident incident and/or natural disaster.

Section 9 - Emergency Management

WRAD's Code Red and Bushfire Response Policy require that a Fire Plan is developed for the LRRC. WRAD will develop a Flood Plan. Bushfire and Flood Plans will be developed as part of the 'Emergency Management Protocol' in consultation with the CFA, VicPol and Ambulance Victoria.

The LRRC Bushfire Plan will have a condition for an evacuation/relocation procedure to be activated for all days classified as Code Red by the CFA. The LRRC will have the appropriate number of vehicles to safely transport up to 20 residents from the site. Any relocation will occur either the night before or early morning of the Code Red day. Relocation of residents on these days will be to Warrnambool. WRAD will have arrangements in place to rent self-contained apartments for the day or overnight if required and residents will be supervised in small groups.

Section 10 - Risk Management Framework

WRAD has in place a proven risk management framework and relevant policies and procedures and utilises the Victorian Risk Management data base and reporting system. The WRAD senior managers meet weekly to discuss all matters relating to risk monitoring and the Committee of management have a risk subcommittee. The Department meet regularly to monitor performance and contracts and legislative requirements. WRAD is accredited by the Quality Improvement Council and AGPAL. These mechanisms ensure that WRAD is not an organisation where its programs 'do what they have always done', and remain abreast of sector progress, new opportunities and innovation and quality improvement systems. This is implemented in a manner that protects the individual's privacy/identity.

Risk Assessment

All LRRC clients will undertake risk screening and assessment upon intake and AOD clients are subject to the State-mandated AOD assessment tools and optional modules. Risk assessment is used to inform the client's treatment plan and provide further detail to client referrals and reports. **Incident and hazard reporting** are used to identify occurrences that have potential to be or are non- compliant. All such reports are reviewed by a line manager and/or the OH&S management representative. In addition, hazard inspections provide an opportunity to identify non-compliant behaviours, which are remedied through taking corrective action.

Staff behaviour that is non-compliant with legislation, regulations or WRAD policies is remedied through performance management processes as per the Performance Management review process.

Risk register

All clients are placed on the Risk Register and those who present with a significant level of risk to self or others are placed on the High-Risk Register. This ensures that support workers and service providers are in no doubt about how to work safely with the client, and that those who are not in a working relationship but may have intermittent contact with the client (front-end staff for example) are also able to safely process the client's needs. WRAD maintains its client's confidentiality as per our legislative responsibilities.

Specific Risk Issues for the LRRC

In relation to managing any anti-social behaviours, WRAD policies are very clear and have proven to be effective in preventing significant harm. Our staff are qualified and well trained to resolve and minimise conflict, there is ongoing professional training and program orientation for new staff, and we use evidence based clinical assessment and interventions to assist residents to manage

problems and anger. Serious incidents of violence by residents towards others and absconding from residential facilities are rare.

The LRRC will be well staffed. WRAD has proposed a staffing model that has a staff complement of 10 with support backup from the WRAD clinical team and consultants. There will be a minimum of two staff available overnight and on weekends.

The LRRC will be a 'dry facility', no drugs or alcohol will be tolerated onsite. Residents who are in possession of, or use, drugs or alcohol will be in breach of their residential agreement and their placement will end. All residents will be subject to periodic room searches, breath testing and urine testing to ensure the integrity of the LRRC model is maintained.

Based on the experience of current providers it is unlikely that residents will choose to leave the residential rehabilitation site without notifying staff (abscond) from the LRRC. Residents will have the opportunity to leave the LRRC, supported by staff, if they do not wish to continue the program. All residents will have an agreed 'emergency exit plan' that provides a safe accommodation option if they do not make it through the program. This support will ensure their exit occurs the next business day and they are transported by LRRC staff, which limits the need or motivation to abscond. Our experience tells us that any unplanned exits will most likely occur in the first week of the placement. During this first week, all new residents are allocated a 'LRRC Buddy' who will monitor their movements and engage with them 24 hours a day. This intensive support combined with the assessment and planning process undertaken by LRRC staff will provide clarity on whether the new resident is a risk of absconding. If a resident who is court referred does abscond LRRC staff will notify VicPol immediately. To enhance security, the LRRC will have controlled window exits, CCTV on exits and on the front gate to the property. Alarms will also be installed on exits during the evening for everyone's safety.

Section 11 - Community Access

LRRC residents will have access to the community during their stay, however, the process for community access will be supervised and assessed on an individual basis. We do foresee community visits to Warrnambool and surrounding areas for recreation and education purposes, however, this would not occur within the first two weeks of an admission. All community access visits will be supervised by LRRC staff either 1:1 or in small groups. Community access visits are approved by the LRRC Manager, only after an individual readiness assessment is completed for each resident on the day of the planned visit. Residents will not be given community access if they are agitated or unwell. Upon return from community access visits all residents will be searched to ensure they are not in possession of any contraband, drugs, alcohol or weapons. There will be strict boundaries applied across the property.

Section 12 - Exit Planning

LRRC exits will involve a planned and documented process. Resident Transition Plans are based on the resident skills, needs and participation in service activities and their achievement in agreed goals. Exit planning commences from the point of admission to ensure each resident and their community supporters participate fully in their transition plan. Service links to housing, support, legal aid, mental health, life skills, and community based support for sustainable solutions for independent living will be facilitated. Planned exits will be transported safely from the residential rehabilitation centre.

Care Co-ordination - Throughcare

Each LRRC resident will have transition and exit support from a Care Co-ordinator to ensure that their return to the community is planned, safe and maximises achievement of their treatment goals. Clinicians will focus their support and planning on family relationships, accommodation, employment, recreation and health needs (physical, AOD and Mental Health support). We expect that most LRRC residents will have some form of ongoing community based or residential AOD treatment upon their exit from the program. The LRRC Care Co-ordinators will assist each resident to manage these critical life domains to ensure success after leaving the LRRC.

Section 13 - Service Quality and Clinical Governance

Quality Assurance

Quality, Safety and Service delivery are reviewed by the WRAD Board Quality and Safety sub-committee at scheduled intervals per our quality framework. WRAD has embedded systemic quality assurance processes that apply across all services of the organisation. These include external accreditation, internal auditing and service improvement planning.

The key process is WRAD's accreditation by Quality Innovation Performance. WRAD has maintained accreditation since 2002, and has completed five quality accreditation cycles of external reviews. We are currently accredited against the following standards:

- Quality Improvement Council (QIC) Health and Community Services Standards
- Quality Improvement Council (QIC) Australian General practice accreditation Standards

Participating in accreditation leads to optimal client outcomes as the processes involve regular external reviews, externally conducted interviews with staff, with clients and other stakeholders, and comprehensive audits against domains of service delivery, commitment to continuous improvement, governance, consumer satisfaction, staff supervision and many other aspects of service delivery. The process requires immediate rectification of non-compliance and includes recommendations for systemic improvement where necessary to mitigate future non-compliance, and to facilitate continuous improvement at an overarching level. This leads to improved reintegration outcomes for clients by ensuring consistency and the highest standards of governance, operational management, and service provision on the ground.

Clinical Governance

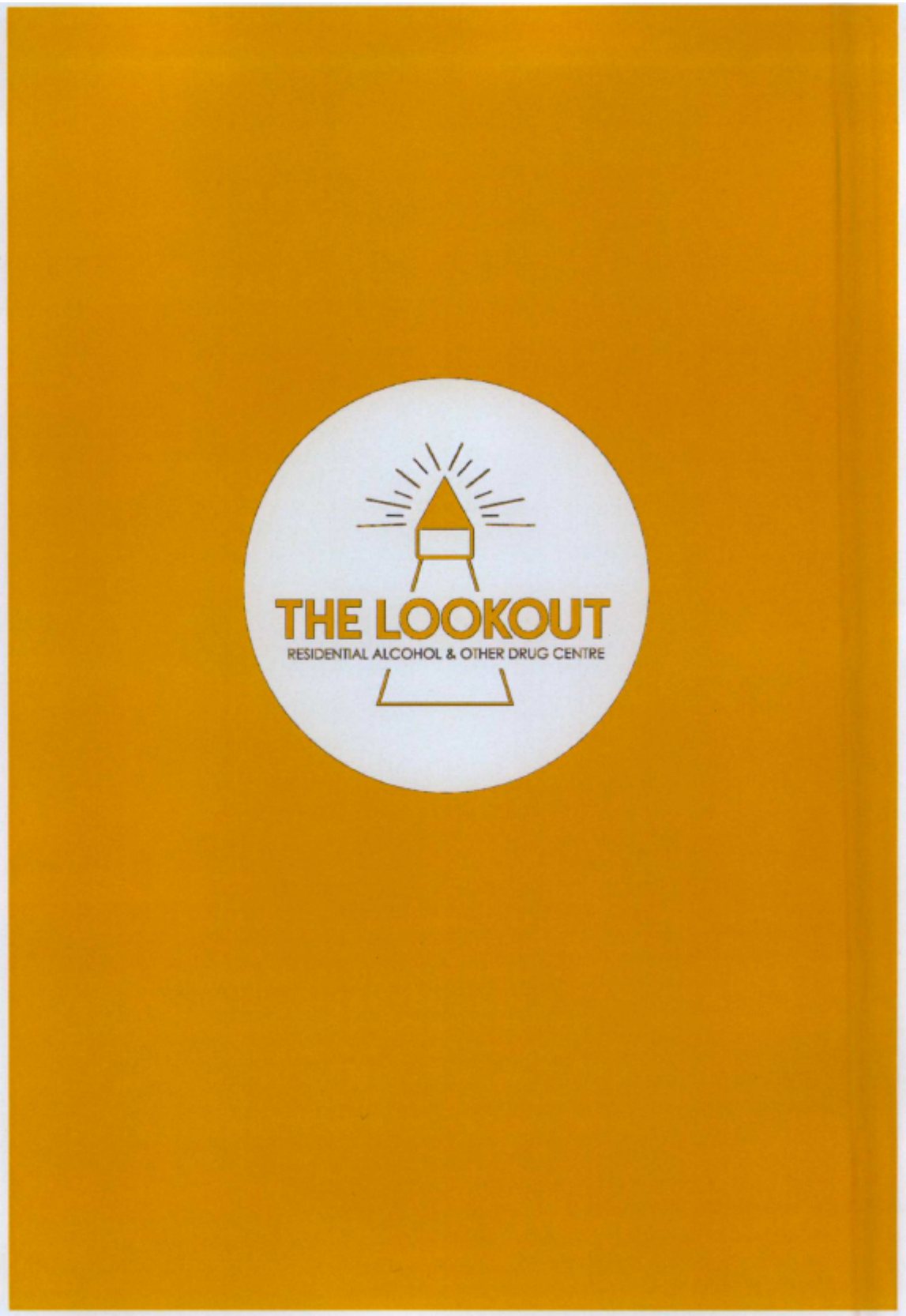
WRAD has invested in a whole-of-organisation approach to care and service improvement and have developed systems that ensure all staff including WRAD managers, clinicians and direct care staff, share a responsibility and accountability for improving quality of care, minimizing risks and fostering an environment of excellence in the delivery of specialist forensic services.

We have in place a **practice framework**, which guides our work with clients. The framework puts the person at the centre of the work we do whilst balancing the safety of the community, particularly with regards to clients who engage in substance use and associate behaviour.

Key Roles in Clinical Governance

WRAD has a **Quality, Risk and accreditation project worker Clinical Excellence** who supports the Executive to further develop, manage and improve WRAD's quality, risk reputation, management, clinical excellence and clinical safety programs. With senior WRAD staff this provides strategic direction of the development, implementation and review of WRAD's quality, risk management and clinical excellence and continuous improvement frameworks to ensure the best practice across the organisation and that a disciplined approach to risk management and clinical safety is developed.

This team ensures that the business operations of the organisation are compliant with relevant legislation, Government policy, Australian standards and WRAD policy. This team provides high quality support advice and guidance to the committee of management. This is designed to mitigate risk and deliver compliance across all business operations. WRAD are committed to providing a culture of clinical safety, risk management and continuous improvement are embedded and achieved throughout the organisation.


THE LOOKOUT
RESIDENTIAL ALCOHOL & OTHER DRUG CENTRE

APPENDIX B

PLANNING PROPERTY REPORT

From www.planning.vic.gov.au on 21 November 2018 01:58 PM

PROPERTY DETAILS

Address:	**43 ATKINSONS LANE DENNINGTON 3280**	
Lot and Plan Number:	**Lot 12 PS321948**	
Standard Parcel Identifier (SPI):	**12\PS321948**	
Local Government Area (Council):	**WARRNAMBOOL**	www.warrnambool.vic.gov.au
Council Property Number:	**141468**	
Planning Scheme:	**Warrnambool**	planning-schemes.delwp.vic.gov.au/schemes/warrnambool
Directory Reference:	**VicRoads 89 H7**	

UTILITIES

Rural Water Corporation:	**Southern Rural Water**
Urban Water Corporation:	**Wannon Water**
Melbourne Water:	**outside drainage boundary**
Power Distributor:	**POWERCOR**

STATE ELECTORATES

Legislative Council:	**WESTERN VICTORIA**
Legislative Assembly:	**SOUTH-WEST COAST**

Planning Zones

FARMING ZONE (FZ)

SCHEDULE TO THE FARMING ZONE (FZ)

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FZ - Farming
GRZ - General Residential
IN1Z - Industrial 1
PCRZ - Public Conservation & Resource
PPRZ - Public Park & Recreation
PUZ4 - Public Use - Transport
PUZ6 - Public Use - Local Government
RDZ1 - Road - Category 1
UFZ - Urban Floodway

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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PLANNING PROPERTY REPORT

VICTORIA State Government | Environment, Land, Water and Planning

Planning Overlay

None affecting this land - there are overlays in the vicinity

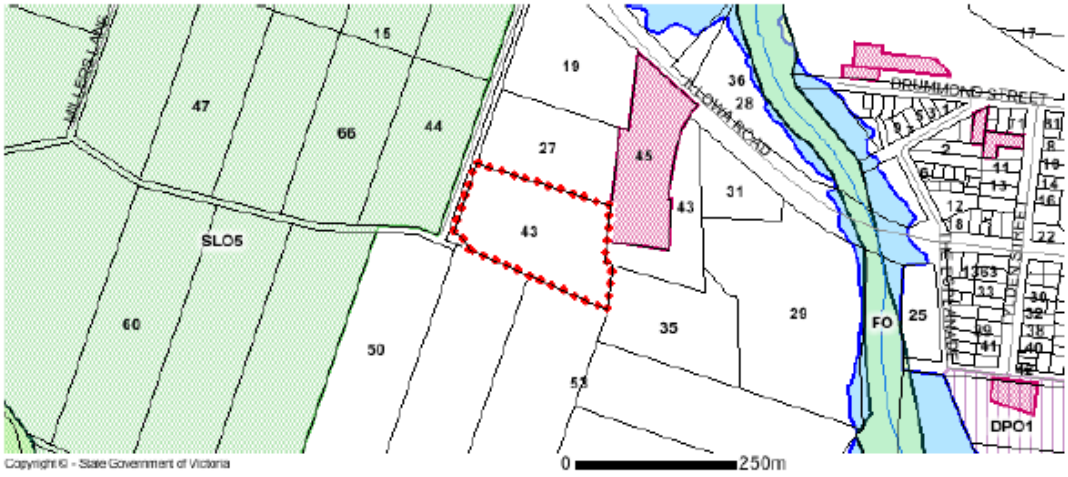
DEVELOPMENT PLAN OVERLAY (DPO)

ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)

FLOODWAY OVERLAY (FO)

HERITAGE OVERLAY (HO)

SIGNIFICANT LANDSCAPE OVERLAY (SLO)



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DPO - Development Plan | ESO - Environmental Significance | FO - Floodway

HO - Heritage | SLO - Significant Landscape

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend.

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PLANNING PROPERTY REPORT

VICTORIA State Government | Environment, Land, Water and Planning

Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

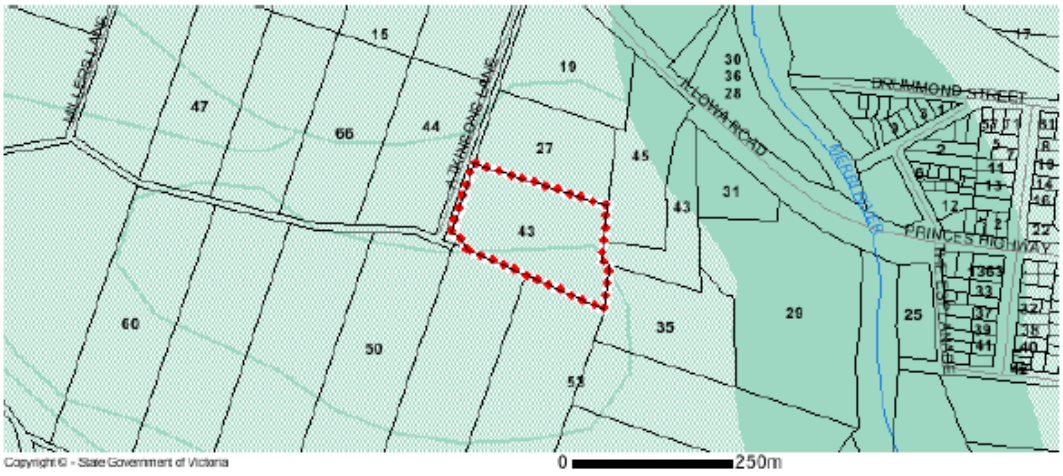
Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to
http://www.aav.nrms.net.au/aavQuestion1.aspx

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - https://www.vic.gov.au/aboriginalvictoria/heritage/planning-and-heritage-management-processes.html



Aboriginal Heritage

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PLANNING PROPERTY REPORT

VICTORIA State Government | Environment, Land, Water and Planning

Further Planning Information

Planning scheme data last updated on 14 November 2018.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.
This report provides information about the zone and overlay provisions that apply to the selected land.
Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting https://www.planning.vic.gov.au

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the *Planning and Environment Act 1987*.
It does not include information about exhibited planning scheme amendments, or zonings that may abut the land.
To obtain a Planning Certificate go to Titles and Property Certificates at Landata - https://www.landata.vic.gov.au

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit http://mapshare.maps.vic.gov.au/vicplan

For other information about planning in Victoria visit https://www.planning.vic.gov.au

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PLANNING PROPERTY REPORT

Environment, Land, Water and Planning

Designated Bushfire Prone Area

This property is in a designated bushfire prone area.
Special bushfire construction requirements apply. Planning provisions may apply.

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Designated Bushfire Prone Area

Designated bushfire prone areas as determined by the Minister for Planning are in effect from 8 September 2011 and amended from time to time.

The Building Regulations 2018 through application of the Building Code of Australia, apply bushfire protection standards for building works in designated bushfire prone areas.

Designated bushfire prone areas maps can be viewed on VicPlan at http://mapshare.maps.vic.gov.au/vicplan or at the relevant local council.

Note: prior to 8 September 2011, the whole of Victoria was designated as bushfire prone area for the purposes of the building control system.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website www.vba.vic.gov.au

Copies of the Building Act and Building Regulations are available from www.legislation.vic.gov.au

For Planning Scheme Provisions in bushfire areas visit https://www.planning.vic.gov.au

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Attachment 3

Objection to Grant Planning Permit – Part A

WARRNAMBOOL CITY COUNCIL

The information requested on this page will be used solely by the Warrnambool City Council. Council will not use your personal information for any other purpose without first seeking your consent, unless authorised or required by law. Council may not be able to process your request unless sufficient information is given.

Who is objecting?

We

Richard John & Kerry Frances Ziegeler of

45 Princes Highway Dennington, 3280

Phone: HOME – 55614785, FAX – 55 614785, MOBILE – 0428 579 245 and 0428 239 127

Email – therapy.z@hotmail.com

Signatures(s) Date 20/06/2018

Signatures(s) Date 20/06/18

Warrnambool City Council
21 JUN 2018
Ref N°
Officer
Scanned Yes / No Ch:

PO Box 198 Warrnambool VIC 3280 AUSDOC DX 28005

Important notes about objections to permit applications

1. This form is to help you make an objection to an application in a way which complies with the Planning and Environment Act 1987, and which can be readily understood by the responsible authority. There is no requirement under the Act that you use any particular form.
2. Make sure you clearly understand what is proposed before you make an objection. You should inspect the application at the responsible authority's office.
3. To make an objection you should clearly complete the details on this form and lodge it with the responsible authority as shown on the Public Notice – Application for Planning Permit.
4. An objection must:
   - State the reasons for your objection: and
   - State how you would be affected if a permit is granted.
5. The responsible authority may reject an application which it considers has been made primarily to secure or maintain a direct or indirect commercial advantage for the objector. In this case, the Act applies as if the objection had not been made.
6. Any person may inspect an objection during office hours.
7. If your objection related to an effect on property other than at your address as shown on this form, give details of that property and of your interest in it.
8. To ensure the responsible authority considers your objection, make sure that the authority receives it by the date shown in the notice you were sent or which you saw in a newspaper or on the site.
9. If you object before the responsible authority makes a decision, the authority will tell you its decision.
10. If despite your objection the responsible authority decides to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An appeal must be made on a prescribed form (obtainable from the Victorian Civil & Administrative Tribunal) and accompanied by the prescribed fee. A copy must be given to the responsible authority. The closing date for appeals is 21 days of the responsible authority giving notice of its decision.
11. If the responsible authority refuses the application, the applicant can also appeal. The provisions are set out on the Refusal of Planning Application which will be issued at that time.

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

What application do you object to?

Planning Application Number: PP2018-0105

What is the address of the land that is proposed to be used or developed? 43 Atkinson's Lane, Dennington, 3280

What is proposed : Development of a residential alcohol and other drug rehabilitation centre – The Lookout Centre.

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

1. 1.

1. The siting of the proposed residential centre is too close to our property and those of our neighbours who currently experience life in a domestic farming environment.

2. Residential alcohol and other drug rehabilitation is a use diametrically opposed to the current land use and amenity of the immediate surrounding neighbourhood.

3. There will be an immediate and exponential increase in population and associated activity in what is a quiet rural neighbourhood.

4. The proposed property and buildings have direct oversight of our property resulting in infringements to our privacy. Our experience on our property shows us that the proposed plantings will take some fifteen years to provide any privacy for us.

5. Our ability to care for our livestock using our usual management techniques is compromised by the need for quietude for the residents of the Lookout Centre. Put simply, our livestock cannot realistically be kept quiet. There is clear and demonstrable imposition on our Right to Farm.

6. The infrastructure proposed for the planned site is insufficient to support a permanent population in excess of twenty one residents plus staff and visitors to the site. For example, inadequate road access, water supply, public transport and sewerage.

7. The security of our property and livestock is compromised by the presence of 20 itinerant residents (3 months maximum), many of whom have no knowledge nor understanding of the need to shut gates to paddocks and avoid livestock escaping our grounds.

8. The supervision protocols provided for in the Planning Permit are inadequate for court ordered residents with a history of ice addiction and associated criminal behaviours.

9. WRAD's approach to the local community, including us has been tardy, inadequate and contemptuous of our concerns.

PO Box 198 Warrnambool VIC 3280 AUSDOC DX 28005

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

1. The immediate neighbourhood provides a lifestyle choice made some fifteen years ago. The new development imposes a lifestyle very different from what we chose for ourselves and our family. The decision to site this development so close to our home (contrary to other similar developments in regional Victoria), is an unacceptable impost on our lifestyle.

2. It is likely that both residents and their visitors will use our property as a thoroughfare to and from the nearest shopping centre, since there is no accessible public transport close to the site.

3. The residential centre is akin to having a small business industry operating next door – this increase in human and vehicular activity will have significant negative impact on the recreational and Hobby Farm pursuits on our property. We have a Right to Farm on our property according to the zoning regulations.

4. The livestock on our property must be able to exist without the undue restriction of neighbours (Lookout residents) making complaints. We should not be forced to change the ways in which we manage our stock.

5. The need for improved infrastructure or the development of new infrastructure will likely create a financial impost on our property through future rates or direct costings.

6. Conservative estimates by local independent real estate agents have quoted an immediate 25% decrease in the value of properties surrounding the proposed development. This means that the value of our hard work to improve this property over the past fifteen years has already been immediately and irrevocably diminished while the planning outcome is uncertain.

7. We have in excess of fifteen gates on our property and three aviaries which we have never needed to lock. The presence of residents, who may have no understanding of the rural lifestyle, will not shut gates should they decide to use our property to walk to the highway (see 2 above). We will now need to use keyed locks on all gates and aviaries to protect our livestock and birds from unwitting or intentional disregard.

8. We are suffering significant speculative trauma, anxiety and mental health concerns as a result of the likelihood of court ordered residents living next door with complete oversight of our property (direct line of sight) and poor supervision. We have already sought medical support. WRAD's complete disregard for these concerns only adds to our anxieties. We feel ignored and helpless.

Warrnambool City Council
22 JUN 2018
Ref N°
Officer
Scanned Yes / No Ch:

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) Dorothy DOROTHY Surname Rooney ROONEY

Name(s) ..... Surname .....

Address 19 Roxburgh crt

Warrnambool Post Code 3280

Telephone (Home) ..... Telephone (Work) .....

Mobile 0418519152 Facsimile .....

Email rooney3280@bigpond.com

Signatures(s) Dorothy Rooney Date 19/6/18

Signatures(s) ..... Date .....

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Warrnambool Victoria Australia
PO Box 198 Warrnambool VIC 3280

Telephone (03) 5559 4800
Facsimile (03) 5559 4900
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ABN 44 594 264 321

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

What application do you object to?

Planning Application Number PP2018-0105

What is the address of the land that is proposed to be used or developed?
43 Atkinsons Lane
Dennington Vic 3280

What is proposed? Use and development of a residential alcohol and other drug rehabilitation centre (The Lookout residential rehabilitation Centre)

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

See Attachment 1

Inadequate space for dwellings and agricultural enterprise

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

This does not affect me personally but I am concerned that if the aim of the project is to be achieved ie drug+alcohol rehabilitation all aspects of the program ie including an agricultural enterprise must be achieved

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Attachment 1.

What are the reasons for your objection?

I object to the granting of a planning permit on the grounds that the area of the land is only 3.278 hectares.

The capability of the land to accommodate the proposed development and use, including the disposal of effluent, will be insufficient .

By the time the two extra dwellings are built, car parking provided and an area set aside for the disposal of effluent, and also the topography and geology of the area taken into account (limestone outcrops), there will be insufficient space onsite for the proposed establishment of an agricultural enterprise.

Without the availability of a suitable area for the proposed agricultural enterprise, which is seen as an import aspect of the proposed program, then the Centre should be accommodated elsewhere.

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) JOHN LESLIE Surname ATWELL

Name(s) LEETY ELIZABETH Surname ATWELL

Address 44 ATKINSONS LANE

DENNINGTON Post Code 3280

Telephone (Home) 55 659388 Telephone (Work)

Mobile Facsimile

Email

Signatures(s) J L Atwell Date 21-6-2018

Signatures(s) L E Atwell Date 21-6-2018

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Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP 2018-005

What is the address of the land that is proposed to be used or developed?

43 ATKINSON'S LANE DENNINGTON VIC 3280

What is proposed? LOOKOUT DRUG REHAB CENTRE

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

SEE ATTACHED SHEET

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

SEE ATTACHED SHEET.

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What are the reasons for your objection ....

The land proposed for the lookout centre is zoned FZ , any such proposed development should not be allowed under the Warrnambool councils own Planning scheme and the STATE PLANNING POLICY FRAMEWORK , clause 16.02-1 Rural residential development .

The proposed development is commercial operating 24 hours a day 7 days a week, and highly likely to cause conflict with its surrounds if located in a quiet farm zone.

Access is a narrow single lane road unsuitable for such a development and its associated traffic.

No public transport available

The property is set high and overlooks all surrounding properties.

The proposed development is likely to destroy the amenity of the area and prevent the surrounding landowners having quiet enjoyment of their own properties.

The sneaky way the proposed development was instigated, we can only assume the permit was to be granted before any affected residents were notified.

How will you affected by granting of permit

Anyone at the proposed centre can overlook all surrounding properties.

Destruction of the peaceful semi-rural amenity of the area.

It's a commercial development operating 24hours a day 7 days a week, any noise emanating from the property can be heard quite clearly from the surrounding properties.

The zoning is FZ, any development conflicting with this should not be allowed.

Concerns of safety and security have by no means been addressed.

Narrow road access, not suitable for the increased traffic associated with any such development.

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

Warrnambool City Council
Ref No:
Officer
Scanned Yes / No Ch:

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Who is objecting?

I/We (Names in Block Letters)

Name(s) Dorothy DOROTHY Surname Rooney ROONEY
on behalf of MILLERS LANE PARTNERSHIP.

Name(s) ..... Surname .....

Address P.O. Box 136

Warrnambool Post Code 3280

Telephone (Home) ..... Telephone (Work) .....

Mobile 0418519152 Facsimile .....

Email rooney3280@bigpond.com

Signatures(s) Dorothy Rooney Date 21/6/18

Signatures(s) ..... Date .....

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Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018-0105

What is the address of the land that is proposed to be used or developed?

93 Atkinsons Lane
Dennington VIC 3280

What is proposed? Use and development of a residential alcohol and other drug rehabilitation Centre (The Lookout residential rehabilitation centre)

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

See Attachment 1

- Impact of farming activities
- Impact on operations of riding school

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

As a landowner concerned that if farming activities have impact on residents then a curfew could be put in place which would impact on activities

If granted & event impacts on local activities (riding school) then the riding school may be forced to reconsider its operations.

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Attachment 1.

What are the reasons for your objection ?

We are concerned that the farming activities which occur on our property, which is approximately 200m from the proposed development, could at various times throughout the year have a detrimental impact on vulnerable residents of the Lookout Residential Rehabilitation Centre and impact on their wellbeing.

Examples of the activities which may impact on the wellbeing of the clients:

Noise, lights and traffic associated with harvesting and movement of animals , which can occur throughout a 24hour cycle;

Dust and noise associate with cultivation of the land;

Smells and noise associated with animal husbandry.

Our other concern is that in the event of any client exiting the program in untoward circumstances (it was acknowledged at the recent Dennington Community meeting that the program has a success rate of about 30%) that they may impact on the operations of the nearby riding school, and compromise the safety of the children who attend.

To Warrnambool City Council,

Application No.
PP2018-0105
18/06/2018

In response to our first official written information, (received 15th) of the proposed planning submission for 43 Atkinsons Lane, Dennington; we as adjoining landowners wish to put forward our objections to the suitability of this site.
It has been made quite clear from the Application for the Planning Project that this project has been worked on since 2016 at the very least.
It is upon the disappointment of lack of transparency, lack of consultation, and only word of mouth knowledge of the proposed project.
There has been an inadequate response to community concerns.
Multiple very valid sites have been suggested for alternate housing of this facility.
Should a permit be approved by Council then it must include adequate conditions on the permit to mitigate surrounding land use conflict.

- Providing adequate buffers to protect surrounding land use
- Upgrade Atkinsons lane roadway to support increased traffic
- Provision of services :- sewerage, water (including for firefighting), drainage etc, sufficient for high density development.
- Adequate security fencing, surveillance and on site supervision to support high density 24/7 Rehab facility. (According to best practice this should be 1:to 3 staff/client ratio
- Guaranteed emergency response 24/7.
- WRMD contact for complaint resolution.
- Regular community engagement forum (6 monthly) and public reporting of issues and actions taken.

P.T.O

Further questions that come to mind :-

1. If the property is 72% goverment owned, Who owns the remainder?

2. Could this property be bought for private use? Therefore allowing those funds to be used on a purpose built facility.

Thankyou for your attention.

Brian & Susan Rooney

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018 - 0105

What is the address of the land that is proposed to be used or developed?

43 Atkinsons Lane
Dennington Vic 3280

What is proposed? Use and development of a residental alcohol and other drug rehabilitation centre

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

- Inconsistent with strategic planning for 'Farming Zone' see attached 1+2
- Incompatible with surrounding land use, surrounding neighbourhood character, and scale of development in the area.
- Impacts to amenity :- considerations for security, privacy and noise exposure.
- Operational impacts :- operating farms & small businesses.
- Inadequate water supply. See attached 3.

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

1. Physically :- the changed use from original private dwelling to a government initiative WDEA operating Mon - Fri business hours to now another goverment initiative 24/7 Residential Drug & Alcohol Rehab centre.
2. Psychologically :- the over riding & ever present potential threat to security of persons, livestock, vehicles
3. Financially :- And of course the depreciation of land value

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Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) BRIAN Surname ROONEY

Name(s) SUSAN Surname ROONEY

Address P.O. Box 136

WARRNAMBOOL Post Code 3280

Telephone (Home) ✓ Telephone (Work) 0418529507

Mobile 0419556409 Facsimile

Email ebroo2@gmail.com

Signatures(s) Brian W Rooney Date 21/06/2018

Signatures(s) Susan Rooney Date 21/06/2018

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What are reason for objection:-

1. We question the appropriate management of the attachment urban/agricultural interface which requires protection of farming operations and the maintinence of the greenbelt around the city.

2. Under the current 'Farming Zone':-(the zoning of the site in question and its surrounds.) attachment

States requirements:- "To provide for the use of land for agriculture.

To encourage the retention of productive agricultural land.

To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture."

3. attachment

Consideration of high volumes of heavy vehicles used in animal husbandry and harvesting & cropping, requiring safety consideration, (livestock, machinery) noise, dust in Tobay's week operations.

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP 2018 - 0105

What is the address of the land that is proposed to be used or developed?

43 Atkinsons Lane

Dennington Vic 3280

What is proposed? Use and development of a residental alcohol and other drug rehabilitation centre.

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

PLEASE REFER TO ATTACHMENT 1

Warrnambool City Council
26 JUN 2018
Ref No:
Officer:
Scanned Yes / No Ch:

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

(1) I AM CONCERNED THAT, GIVEN THE SIZE OF THE ESTABLISHMENT, THE AMOUNT OF WATER STORAGE WOULD PUT THE STAFF AND CLIENTS IN DANGER IN THE EVENT OF FIRE.

(2) I AM ALSO CONCERNED THAT, IN ORDER TO RECTIFY THIS PROBLEM, CONSIDERABLE FUNDS WOULD BE NEEDED TO EITHER INCREASE STORAGE OR CONNECT TO THE TOWN SUPPLY. FUNDS THAT HAVE BEEN RAISED BY LOCALS.

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) BERNARD Surname ROONEY

Name(s) — Surname —

Address 25 WALTER CRESCENT

WARRNAMBOOL Post Code 3280

Telephone (Home) — Telephone (Work) —

Mobile 0409182356 Facsimile —

Email brooney-jack@hotmail.com

Signatures(s) Bernard Rooney Date 25-6-2018

Signatures(s) — Date —

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Attachment 1.

What are the reasons for your objection?

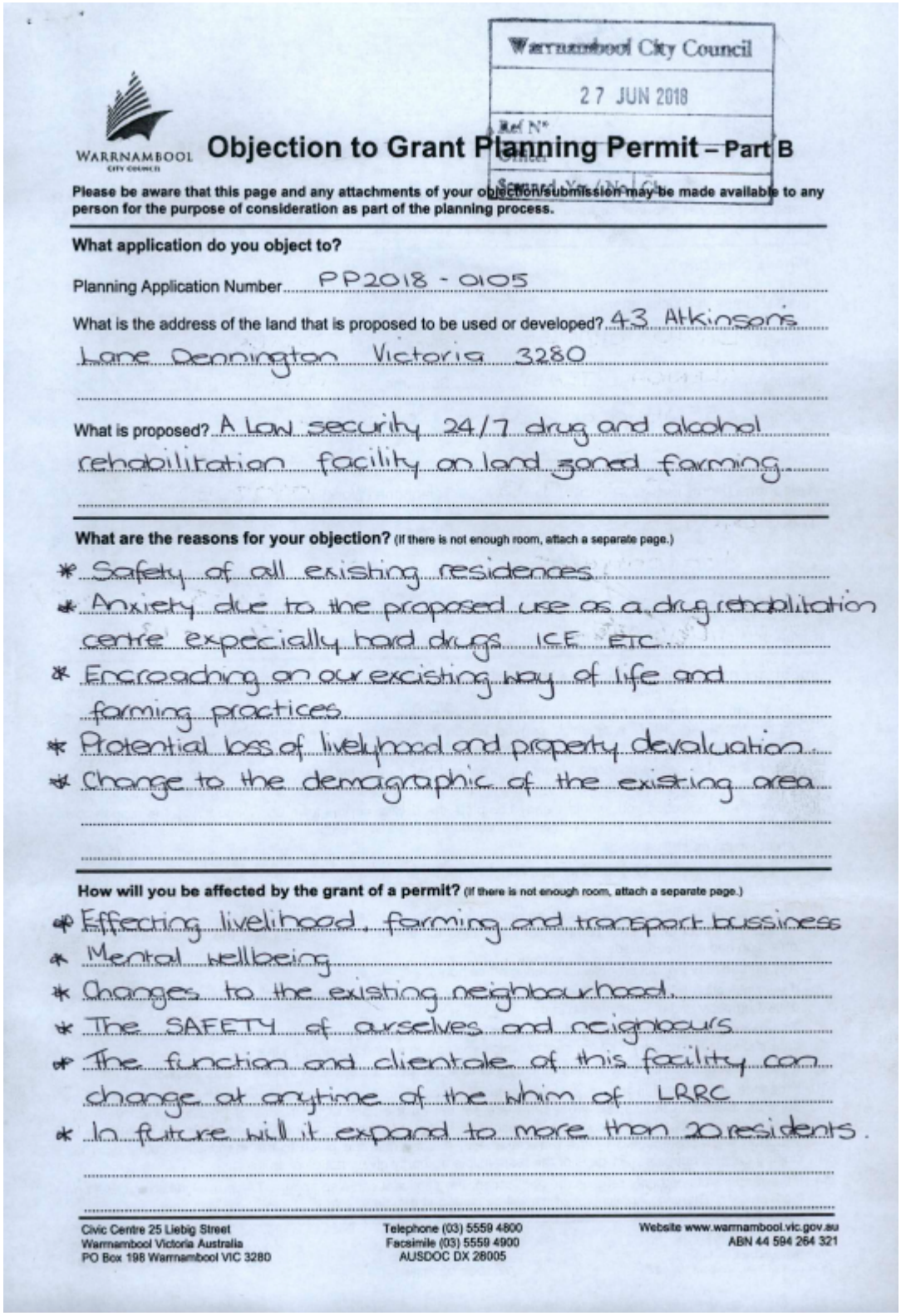
Section 35.07-2 Use of land for a dwelling, of the Warrnambool planning scheme, (http://planningschemes.dpcd.vic.gov.au/schemes/combined-ordinances/Warrnambool_PS_Ordinance.pdf , accessed 20.6.2018) states that

" a lot used for a dwelling must meet the following requirement :

The dwelling must be connected to a reticulated potable water supply or have an alternative potable water supply with adequate storage for domestic use as well as for firefighting purposes."

There is no indication in the application that the two water tanks, as shown on the plan, will be adequate for the supply and storage of potable water for the proposed dwelling.

Adequate water needs to be available for the daily use of at least 20 residents and additional staff so as to ensure a healthy and safe environment.



Warrnambool City Council
27 JUN 2018
Ref N°
Scanned Yes / No

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018 - 0105

What is the address of the land that is proposed to be used or developed? 43 Atkinsons Lane Dennington Victoria 3280

What is proposed? A Low security 24/7 drug and alcohol rehabilitation facility on land zoned farming.

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

* Safety of all existing residences
* Anxiety due to the proposed use as a drug rehabilitation centre expecially hard drugs ICE ETC.
* Encroaching on our excisting way of life and farming practices
* Potential loss of livelyhood and property devaluation.
* Change to the demagraphic of the existing area

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

* Effecting livelihood, farming and transport bussiness
* Mental wellbeing
* Changes to the existing neighbourhood.
* The SAFETY of ourselves and neighbours
* The function and clientale of this facility can change at anytime of the whim of LRRC
* In future will it expand to more than 20 residents.

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Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) DAVID CHARLES Surname POTTER

Name(s) GLENDA JEAN Surname POTTER

Address 50 Atkinsons Lane Dennington

Post Code 3280

Telephone (Home) 03 55659213 Telephone (Work) 0407050230

Mobile 0407050230 Facsimile

Email dcgjpotter@gmail.com

Signatures(s) Date 24th June 2018

Signatures(s) Date 24-6-18

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We have connection to our farm for 4 Generations over 120 years.

2.1 Disability services just arrived without any consultation. Did they obtain permission & a permit?

2.2 Different types of farming on all sides Sheep, Cattle, Horses & Mixture stock.

There is only prevision for 1 staff night stay room after opening will it go back from 2 to 1 & do they sleep while on duty at night if so it raises security concerns.

Doors are alarmed so at night when a resident goes out for a cig will the night staff get up to investigate.

Mentioned they will grow trees around boundary (to get trees like existing will take 25 years)

Growing Olives & Orchard fruit the strong unsheltered area the trees just get salt burn & die being so close to the coast & the top soil was removed by a previous owner leaving little cover over the limestone, were they are pumping waste water on top of the limestone ridge allowing grey water to run down on top of thelimestone to the neighboring property.

There's not enough grass for a cow & calf & 2 sheep over the 12month period, How can they teach farm practices.

There small allotment affects the safety of 11 close by families within 200m of the boundaries.

I believe It will restrict my now farming practices in many ways reducing my income considerably & Valuation of our property.

For example

- I wean vealers & buy vealers between 8 to 12 times a year they bellow night & day for a week
- Repairing farm implements at night especially during hay making as when it has to be done it has to be done at any time of the day or night
- The trucking side of the business Starting the trucks & dropping the decks if changing to sheep as midfields only give short notice this may be as early as 5am in the morning but usually 6am

6.12 The Disability services just turned up but the clients did not wander the property alone & were always occupied by staff (NO ICE OR HARD DRUG ADICTED PEOPLE)

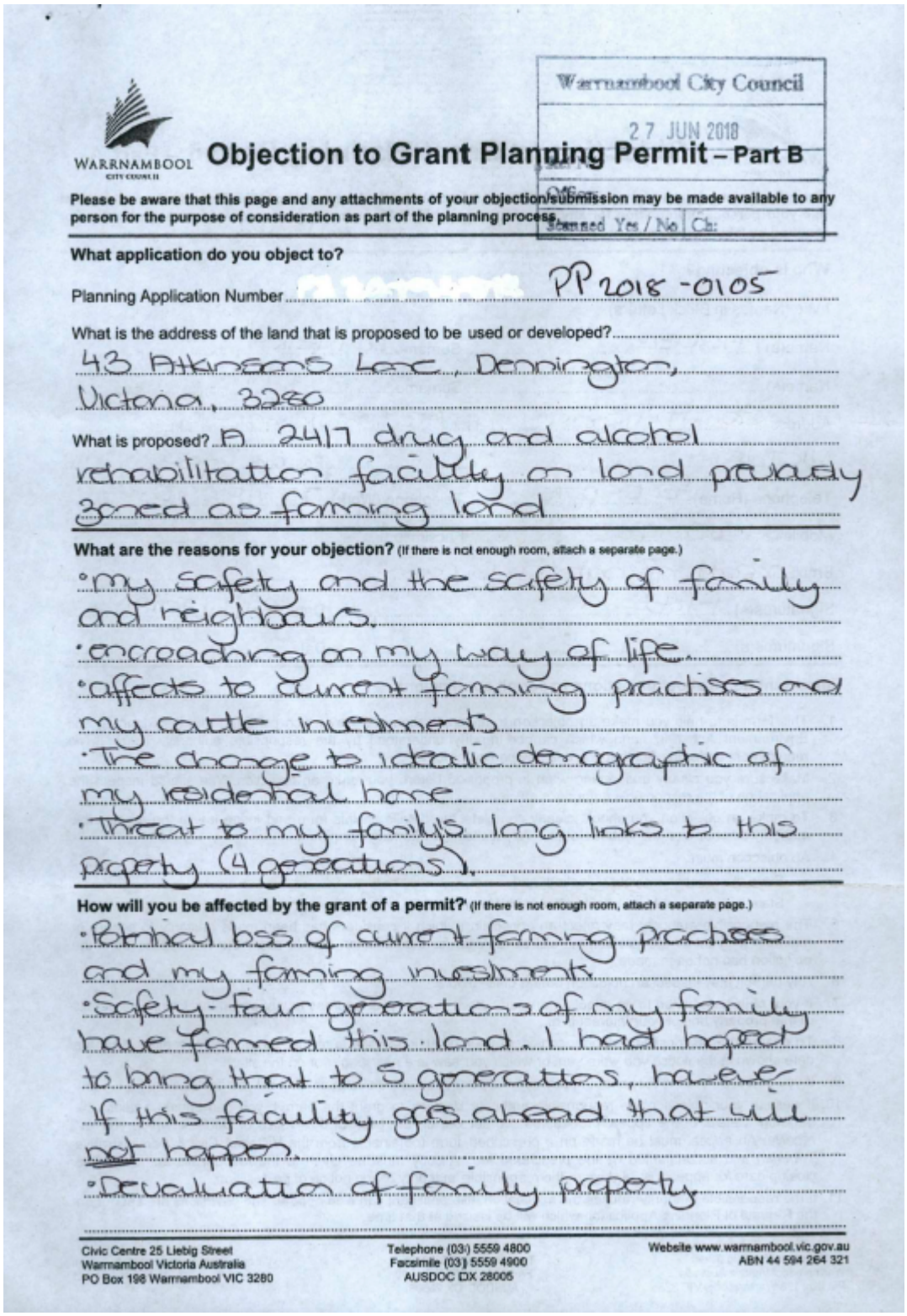
It's a farming Zone & LRRC does not fit into this criteria (Some small raised vegetable patch's & Chickens does not equate to farming)

The allotment LRRC wish to build on has been used for agriculture purposes as when the grass does grow in short bursts during Autumn & Spring has been grazed by my cattle in co-optation with the Disability services

MENTIONED helping residences no consideration for neighbors' safety or lifestyle

My concerns

(1) My family's safety. **(2)** I could not in good conscience leave my vulnerable wife at home alone. **(3)** No ICE or HARD drug uses there. **(4)** They say voluntary but mention court ordered & court referred people which means they are not voluntarily there. **(5)** They cannot get farming skills on this small allotment as suggested. **(6)** LRRC are self monitored (Reporting drug use there if reported looks bad on LRRC) **(7)** They have a High Risk Register which means it may be rare but high risk residents must exist. **(8)** May increase from 20 residents to unknown amount on site in future. **(9)** In winter the sides of the road become boggy this creates an unsafe road to pass on & will get worse with the increased traffic.



Warrnambool City Council
27 JUN 2018
Scanned Yes / No Ck:

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

What application do you object to?

Planning Application Number PP2018-0105

What is the address of the land that is proposed to be used or developed?
43 Atkinsons Lane, Dennington, Victoria, 3280

What is proposed? A 24/7 drug and alcohol rehabilitation facility on land privately zoned as farming land

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

- my safety and the safety of family and neighbours.
- encroaching on my way of life.
- affects to current farming practises and my cattle investments
- The change to idealic demographic of my residential base
- Threat to my familys long links to this property (4 generations).

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

- Potential loss of current farming practises and my farming investments
- Safety: four generations of my family have farmed this land. I had hoped to bring that to 5 generations, however if this facility goes ahead that will not happen.
- Devaluation of family property

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Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) RAQUEL Surname POTTER

Name(s) Surname

Address 50 ATKINSON'S LANE, DENNINGTON,

VICTORIA Post Code 3280

Telephone (Home) 55659275 Telephone (Work) 55719295

Mobile 0406501783 Facsimile

Email rpotter@hotmail.com

Signatures(s) Date 24/6/2018

Signatures(s) Date

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   - State how you would be affected if a permit is granted.
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Raquel Potter

50 Atkinson's Lane

Dennington

Victoria

3280

Sunday, 24th June 2018

To whom it may concern,

I am writing to you in regards to the proposed 24/7 WRAD drug and alcohol rehabilitation facility at 43 Atkinson's Lane Dennington (Planning Application number PP2018-0105). Please consider this letter as part of my formal objection to the grant planning permit.

I am opposed to this facility occupying this site for many reasons. While I have no problem with the need for a rehabilitation facility, I believe the site was chosen more for convenience rather than practicality with little regard given for the surrounding community. Any communication that we have had with the WRAD representatives has been less than productive and they have not been forthcoming with their intentions. This has led to discontent and mistrust. Not a good basis for community relations.

I also have fears for the agricultural future of the area if this facility is to go ahead. As stated in the Application for Planning Permit, *'The proposal's location within the Farming Zone is acceptable in this instance because it will not have significant adverse impact on existing and future agricultural operations. The loss of agricultural land associated with the sites conversion to a drug and alcohol facility is not significant' (Myers Planning Group, Application for Planning Permit p10).* As somebody who lives on, and assists in the operation of a beef farm (less than 85m from the proposed dormitory site), I wholehearted disagree with this statement. Our farm has been in our family for four generations and has run as a successful farming operation. The proposed WRAD facility marks a serious threat for our farming practises and running of operations. Regular running of a beef farm requires the weaning and separation of wearers from their mothers (8-12 times a year), this occurs in secure yards and holding paddocks around the sheds and house. While this is a way of life for use, I assume it would be an unwelcome noise for those in rehabilitation facility. In addition to beef

farming, the family is also involved in livestock carrying, requiring drivers to be on-call and running around the clock when necessary. This means besides the regular use of machinery around the farm, there are also semis leaving before dawn and returning after sunset.

While the land for the proposed site is not able to productively maintain livestock on its limited holdings, that does not mean the land is no longer agriculturally productive. Land in the surrounding area has been used for an array of agricultural ventures including a free-range chicken/egg farming, trail riding and riding school as well as agistment for young riders due to its close proximity to the Rail Trail and beach trails. This nullifies the statement made in the Application for Planning Permit; *'The land is no longer considered agriculturally productive, due the existing use of the land, the proposed facility will not be detrimentally affect productivity or soil quality of the land or surrounding lands. (Myers Planning Group, Application for Planning Permit p14).*

My main argument with proposed site however is how it will affect the local community. It was stated in the documentation that any change to the zoned area should; *'Respect to the surrounding design and character of the neighbourhood, as well as the natural landscape. (Myers Planning Group, Application for Planning Permit p12).* Introducing a 24/7 drug and alcohol rehabilitation facility dramatically changes the character and demographic of the neighbourhood. This directly affects how safe our local community feel, considering our current idealistic lifestyle and well as the effect this introduction would have on the value of the properties. After speaking with WRAD representatives and reading the 'Proposed Management Plan for The Outlook Residential Rehabilitation Centre' it is stated that the residents will be 'voluntary clients only', however it then goes on to state, and I paraphrase, 'the entry point to the LRRC will be through multiple referral pathways, court systems.....exclusions include those charged with sex offences at any time and, those whose current offence is defined as serious or violent' (WRAD, 'Proposed Management Plan for The Outlook Residential Rehabilitation Centre',p3). This does not go any way into waylaying our safety concerns. It also states 'that individuals who encounter the Justice System via the police and courts will be accepted as well as referrals from magistrates, police, legal or health professionals.' (WRAD, 'Proposed Management Plan for The Outlook Residential Rehabilitation Centre',p6-7). Court ordered and referred appointments are not the same as voluntary clients! Therefore, out initial safety concerns have not been addressed and still remain.

I welcome any feedback or clarification required on my objection.

Regards,

Raquel Potter.

Warrnambool City Council
27 JUN 2018
Officer

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) Norman Ashley Surname M'COSKER

Name(s) KATHLEEN PATRICIA Surname M'COSKER

Address 163 Illawa Rd

DENNINGTON Post Code 3280

Telephone (Home) 03 55659432 Telephone (Work) 0428854536

Mobile 0419325842 Facsimile ———

Email ———

Signatures(s) [signature] Date 21-6-18.

Signatures(s) [signature] Date 21-6-18

Important notes about objections to permit applications

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

What application do you object to?

Planning Application Number PP2018-0105.

What is the address of the land that is proposed to be used or developed? 43 ATKINSONS LANE DENNINGTON.

What is proposed? Used and development of a residential alcohol and other drug rehabilitation (the outlook residential rehabilitation centre)

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

What are the reasons for your objection?

: Section 4-5 PARTICULAR PROVISIONS
Clients who enter residential rehabilitation are USUALLY transported by centre staff.
Clients leaving the centre whom have not completed the program looking for a way back to town or their next drug hit.

: Inadequate Utilities
Water storage
Effluent System
Insufficient power supply

44,000 litres of water storage would be insufficient for the needs of 20 residence / 10 staff
Sewerage system appears to be at a higher level than the facility & placed on a limestone barrier on both accounts making drainage impossible.
No 3 phase power to run facility

: Emergency Service response time
Koroit & Port Fairy Police Stations not manned 24/7.

How will you be affected by the grant of a permit?

Affect by permit being granted : section 4-5

We will live in speculative trauma of home invasion and theft from the 70% of residence which sadly fail the Rehabilitation program.

Affect by permit being granted: insufficient Utilities

The lack of Utilities to this property will impact on the community as a whole.
Many long hours have been spent by a large part of the community raising funds
For THE LOOKOUT CENTRE and with this location at 43 Atkinson's Lane being chosen a considerable amount of this money raised will be waisted on services which already exist in other areas of Warrnambool.

Affect by permit being granted: Emergency Service Response Times.

The Police stations at Koroit and Port Fairy are not manned 24/7. Our address requires us to contact those stations not Warrnambool. We would be left feeling extremely vulnerable.
At present our small close knit community doesn't feel the need to install security system or cameras nor has it until know felt the need to form a neighbour hood watch program. There is a blended of farming families who have lived in the community for many decades and newer residents how have moved here for the tranquil and safe life style and are very comfortable in the fact our lovely little community is our sanctuary, haven with little crime.
I ask the Warrnambool City Councillors & their representative to give huge consideration to imposing this facility on our community.

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018-0105

What is the address of the land that is proposed to be used or developed?

43 ATKINSONS LANE DENNINGTON VIC 3280

What is proposed? ALCOHOL + OTHER DRUG REHABILTATION (LOOKOUT REHABILITATION CENTRE)
REF NO PP2018-0105

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

PTO →

Warrnambool City Council
27 JUN 2018
Ref No
Officer
Scanned Yes / No Ch:

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

1. DURING OUR NORMAL DAYTIME ACTIVETIES, HAVING TO PUT UP WITH DRUG AFFECTED PEOPLE COMING HERE
2. KEEP DOORS LOCKED DURING THE DAY BECAUSE OF THE FACILITIES SECURITY OR LACK OF THEM.
3. POTENTIAL LOSS OF PROPERTY VALUES.
4. LONG TERM EFFECTS OF OUR GRANDCHILDREN GROWING UP NEAR THE REHABILITATION CENTRE.

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) IVAN Surname McKINNON

Name(s) SHARON RUTH Surname McKINNON

Address 29 PRINCES HWY, DENNINGTON, VIC

Post Code 3280

Telephone (Home) 55626442 Telephone (Work) —

Mobile 0439404523 Facsimile 035562 6442

Email —

Signatures(s) Ivan McKinnon Date 26/6/18

Signatures(s) Sharon R McKinnon Date 26/6/18

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REASONS FOR OBJECTING.

1. LACK OF INFRASTRUCTURE IN ATKINSON'S LANE INCLUDE:- BUSES, SEWERAGE, WASTE WATER, GAS + WATER SUPPLIES.

2. ATKINSON'S LANE IS NARROW AND ALMOST A DEAD END ROAD FOR STAFF, FAMILY VISITS ETC.

3. POLICE, FIRETRUCKS & LESS TIME FOR AMBULANCES, WOULD TAKE A LONG TIME IF THEY WERE CALLED TO THIS FACILITY IF IT WAS PUT AT THIS SITE.

4. BY TIME PARKING WAS MADE AVAILABLE FOR STAFF & FAMILY VISITS, AND THE BUILDING, VERY LITTLE LAND WOULD BE

AVAILABLE FOR ANIMAL CARE,
A WORKSHOP, LANDSCAPING & VEGETABLE
GARDEN.
MY EXPERIANCE OF THE SOIL HERE
IS THAT IS VERY POOR FOR GROWING
VEGE'S ETC.

5. SECURITY :- ONLY TWO PEOPLE
OVERNIGHT TO HANDLE FIGHTS
+ DISPUTES.
CAN GO ANYTIME OF THE
DAY OR NIGHT.

6. OUR PROPERTY VALUES COULD DROP.

7. FROM WHAT HAS BEEN SAID
AT THE MEETINGS, NO OTHER
SITES HAVE BEEN CONSIDERED.

From Sharon R. McKinnon

Objection to Grant Planning Permit – Part A

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Who is objecting?

Karen Argent of

202 Illowa Rd Dennington, Victoria 3280

MOBILE – 0438611827

Email – argent.karen.s@edumail.vic.gov.au

Signatures(s) Date 27-6-18

Signatures(s) Date

Digitally signed by Karen Argent
DN: cn=Karen Argent, o, ou, email=argent.karen.s@edumail.vic.gov.au, c=AU
Date: 2018.06.27 22:03:10 +10'00'

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number: PP2018-0105

What is the address of the land that is proposed to be used or developed?
43 Atkinson's Lane, Dennington, 3280

What is proposed-: Development of a residential alcohol and other drug rehabilitation centre – The Lookout Residential Rehabilitation Centre.

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

1. 1.
    1. The siting of the proposed residential centre is too close to our property and those of our neighbours who currently experience life in a domestic farming environment.
    2. Residential alcohol and other drug rehabilitation is a use diametrically opposed to the current land use and amenity of the immediate surrounding neighbourhood.
    3. There will be an immediate and exponential increase in population and associated activity in what is a quiet rural neighbourhood.
    4. The proposed property and buildings have direct oversight of the neighbours property resulting in infringements to their privacy. Local experience shows that the proposed plantings will take some fifteen years to provide any privacy for the immediate neighbours.
    5. The ability of close neighbours to care for their livestock using their usual management techniques is compromised by the need for quietude for the residents of the Lookout Centre. Put simply, their livestock cannot realistically be kept quiet. There is clear and demonstrable imposition on their Right to Farm.
    6. The infrastructure proposed for the planned site is insufficient to support a permanent population in excess of twenty one residents plus staff and visitors to the site. For example, inadequate road access, water supply, public transport and sewerage.
    7. The security of our property and livestock is compromised by the presence of 20 itinerant residents (3 months maximum), many of whom have no knowledge nor understanding of the need to shut gates to paddocks and avoid livestock escaping our grounds.
    8. The supervision protocols provided for in the Planning Permit are inadequate for court ordered residents with a history of ice addiction and associated criminal behaviours.
    9. WRAD's approach to the local community, including us has been tardy, inadequate and contemptuous of our concerns.
    10. The landsize, quality and location is inadequate for a Rural Residential Rehabilitation Centre. Other Rural Rehabilitation Centres with similar proposed activities are well over 20 acres.
    11. The proposed land use will cause excessive stress to many residents who have lived in the area for many years or all their lives. Concern for personal safety and the safety of property has not been addressed in the plan.
    12. There is no firm exit plan for residents who choose to leave the property which is potential security risk for local residents.
    13. The Management plan is unproven and is not backed by any current successful management plan ie Odessy House.
    14. The Sewrage system is not adequate – it is place higher than the building and on a limestone barrier
    15. Water supply is not adequate.
    16.

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How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

1. The immediate neighbourhood provides a lifestyle choice made some fifteen years ago. The new development imposes a lifestyle very different from what I chose for myself. The decision to site this development so close to local residents (contrary to other similar developments in regional Victoria), is an unacceptable impost on our lifestyle.

2. It is likely that both residents and their visitors will use neighbouring properties as a thoroughfare to and from the nearest shopping centre, since there is no accessible public transport close to the site.

3. The residential centre is akin to having a small business industry operating next door – this increase in human and vehicular activity will have significant negative impact on the recreational and Hobby Farm pursuits on neighbouring properties. Neighbours have a Right to Farm on their property according to the zoning regulations.

4. The need for improved infrastructure or the development of new infrastructure will likely create a financial impost on neighbouring properties through future rates or direct costings.

5. Conservative estimates by local independent real estate agents have quoted an immediate 25% decrease in the value of properties surrounding the proposed development. This means that the value of our hard work to improve this property has already been immediately and irrevocably diminished while the planning outcome is uncertain.

6. As participants will have access to the local Rail Trail they will have direct access to my property. With the presence of participants, who may have no understanding of the rural lifestyle, who will not understand the impact of petting horses or dogs as they walk the trail I will now have to add extra gates and security from unwitting or intentional disregard.

7. I am suffering significant speculative trauma, anxiety and mental health concerns as a result of the likelihood of court ordered residents living nearby with complete disregard to local residents in the local area under poor supervision. WRAD's complete disregard for these concerns only adds to our anxieties. We feel ignored and helpless.

WARRNAMBOOL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018 – 0105

What is the address of the land that is proposed to be used or developed?

43 Atkinsons lane

Dennington

Warrnambool City Council
28 JUN 2018
Ref N°
Officer
Scanned Yes / No / Ok

What is proposed? Development of a residential Alcohol & drug rehabilitation centre

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

Firstly we don't believe it is a suitable site for a drug & alcohol rehabilitation centre, due to its insufficient water supply, undersized septic tank system. The size of the property isn't sufficient for the amount of people that will be living there.

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

We have been told our property will be devaluated by a minimum of 10%. We have concerns of our safety, and our properties and our community. We are also concerned of the security of the rehabilitation centre.

Civic Centre 25 Liebig Street
Warrnambool Victoria Australia
PO Box 198 Warrnambool VIC 3280

Telephone (03) 5559 4800
Facsimile (03) 5559 4900
AUSDOC DX 28005

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ABN 44 594 264 321

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) MICHAEL Surname BOTTRELL

Name(s) JILLIAN Surname BOTTRELL

Address 210 ILLOWA ROAD

ILLOWA Post Code 3282

Telephone (Home) 55659016 Telephone (Work)

Mobile 0408529496 Facsimile

Email michael.bottrell@bigpond.com.au

Signatures(s) Date 26-6-18

Signatures(s) Jillian M Bottrell Date 26-6-18

Important notes about objections to permit applications

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) MARK Surname POTTER

Name(s) Surname

Address 50 Atkinsons Lane, Dennington, Vic

Post Code 3280

Telephone (Home) Telephone (Work)

Mobile 0407 818 476 Facsimile

Email mdpotter87@gmail.com

Signatures(s) Date 28.6.18

Signatures(s) Date

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Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018-0105

What is the address of the land that is proposed to be used or developed?

43 Atkinsons Lane, Dennington, Vic, 3280

What is proposed? Proposed use and development of a residential alcohol and other drug rehabilitation centre (the lookout residential rehabilitation centre)

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

- The safety of my friends, family and neighbours
- Violation of my peace of mind
- Financial impacts
- Threat to my way of life and my family's long links to our property (4 generations)
- Affects to our current farming practices, including my property and farming investments
- The change to the zoning within the neighbourhood and thus changing the demographic

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

- Safety – It would completely destroy our piece of mind. I have serious concerns for the safety of my family and neighbours (many of whom are aging or in other ways quite vulnerable). If this was to go ahead, the resulting insecurity would force people to consider their future in the area.
- The gross devaluation of my family property which has had substantial investments made in it
- The potential encumbrances to our current farming practices and my farming investments
- Four generations of my family have farmed this land and lived in the community. This centre will dramatically change the demographic of the neighbourhood and force current residents to sell.

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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Warrnambool City Council
29 JUN 2018
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Officer
Scanned Yes / No Ch:

Who is objecting?

I/We (Names in Block Letters)

Name(s) JUDY Surname FOLEY

Name(s) Surname

Address 150 DRUMMOND ST

DENNINGTON Post Code 3280

Telephone (Home) — Telephone (Work) —

Mobile 0474247716 Facsimile

Email —

Signatures(s) J Foley Date 28-6-18

Signatures(s) Date

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018-0105

What is the address of the land that is proposed to be used or developed?

43 Atkinsons Lane
Dennington VIC 3280

What is proposed? Use and development of a residental alcohol and other drug rehabilitation centre

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

How do you propose to expand on such small acreage? Sewerage? Public's general safety when they are voluntary?? Traffic flow on small narrow road? The Bowls Club will also be affected! Have you thought about water for incidents like fire? Access would then be a major problem.

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

I am not against having one but it is not appropiate location. Illowa would be much better or old knackery as it is supposed to be for sale soon. There are much better zones than there!!! The value of neigbouring propertys will definitely be impacted.

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WARRNAMBOOL CITY COUNCIL

28 JUN 2018

Warrnambool City Council

28 JUN 2018

Officer

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Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018-0105

What is the address of the land that is proposed to be used or developed? 43 Atkinson's Lane Dennington Vic 3280

What is proposed? Residential alcohol & Drug rehabilitation centre

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

Please be advised we have no objections to the concept of a alcohol & drug rehabilitation centre in our Community, but object to the location of such a facility.

Concern regarding the proposed activities and facilities far outway the capabilities of the site. The proximity of the Rowing Club, Bowls Club, Kindergartens, day-care centres, chemist, bottle shop and the remoteness of the rail-trail. Limited access to the property being down a dead-end lane. Our property will be within the line of view of the facility - Please see attached (3)

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

- Property values
- Family & property safety and security
- Affecting our wellbeing by creating anxiety, fear & worry, which all in turn affect our feeling of safety and sucurity affecting sleep, creating flow-on effects to our health and mental health
- Privacy
- Unable to excercise on the rail-trail and surrounding roads due to the fear of clients or their counterparts in the area.

Please see attached (3)

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Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) KIERAN Surname JOHNSTONE.

Name(s) Sherry Surname Johnstone

Address 22 Millers lane

Dennington Post Code 3280

Telephone (Home) Telephone (Work)

Mobile 0408352629 Facsimile

Email KEjohnstone@westvic.com.au

Signatures(s) Date 27/6/18

Signatures(s) Date 27/6/18

Important notes about objections to permit applications

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number.....

What is the address of the land that is proposed to be used or developed?.....

.....

.....

What is proposed?.....

.....

.....

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

- Inadequate water supply for fire safety for a building with 20 clients + staff.
- Clients being able to leave at their own will at any given time
- No CCTV footage to capture clients leaving the premises
- The lack of communication and consultation with neighbours and the Dennington community.

.....

.....

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

.....

- We have documented ~~proof~~ evidence to prove the fact that regular incidences have occured at other facilities – such as police and ambulances have been called as well as theft from neighbouring residences.
- After donating money towards this I don't want to see it just wasted and put into a site that is not suitable and will not work.

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Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters) Dennington General Store & Post Office

Name(s) Jenny Surname Bertrand.

Name(s) Tom Surname Bertrand.

Address 71 Drummond St

Dennington Post Code 3280

Telephone (Home) Telephone (Work) 55625860

Mobile Facsimile 55621290.

Email

Signatures(s) Date 27-6-18

Signatures(s) T.E Bertrand Date 27-6-18

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP 2018 – 0105

What is the address of the land that is proposed to be used or developed?

43 ATKINSONS LANE

DENNINGTON VIC 3280

What is proposed? USE AND DEVELOPMENT OF A RESIDENTIAL ALCOHOL AND OTHER DRUG REHABILITATION CENTRE

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

Public Transport (Last bus stop at Shop)

Safety Junior Staff. (One Chance in 1000 is one to many of having problems).

Well being of many of our customers as many do not feel safe with the chance of this going Ahead.

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

Just sometimes the GOOD People deserve to be looked after.

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Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) DAVID JOHN Surname KELSON

~~Name~~(s) ON BEHALF OF THE Surname DENNINGTON COMMUNITY ASSOCIATION

Address 10 ADRIANA CRESCENT,

DENNINGTON Post Code 3280

Telephone (Home) 5562 9031 Telephone (Work) N/A

Mobile 0458 629 031 Facsimile —

Email kelson@netspace.net.au

Signatures(s) [signature] Date 28TH JUNE 2018

Signatures(s) Date

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP 2018-0105

What is the address of the land that is proposed to be used or developed?

43 ATKINSONS LANE, DENNINGTON VIC 3280

What is proposed? PROPOSED USE AND DEVELOPMENT OF A RESIDENTIAL ALCOHOL AND OTHER DRUG REHABILITATION CENTRE.

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

SEE ATTACHED

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

SEE ATTACHED

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What are the reasons for your objection ?

1. The site at 43 Atkinsons Lane, Dennington is not suitable for the proposed Rehabilitation Centre due to the size of the property (3.278ha) which is not sufficient land to operate for farming including an orchard, general gardening and animal care to occupy the proposed 20 residents. Additionally, the proposed buildings and effluent treatment will take up almost half the site.

The continually referenced benchmark successful Rehab site at Benalla is 14.92ha with 15 residents currently.

2. 43 Atkinsons Lane is 0.75km from the Dennington township and is surrounded by small lifestyle farmlets plus there are 2 sporting clubs within 500 m; Dennington Bowls Club and Nestles Rowing Club/Warrnambool Kayak Club, the latter involving junior participation. The Rail-Trail is immediately south of the property.

The referenced Benella site is 18km from Benalla in a farming area.

How will you be affected by the grant of a permit ?

1. The failure of the site because of its location and size will be waste of time and money by all concerned and causing unnecessary fears in the community.

Has a study being done to determine the most suitable site based on the benchmark successful site at Benalla ?

2. The closeness of the proposed site to lifestyle properties and the Dennington township combined with the small size of the property to occupy its residents will adversely impact on the amenity of the area. The residents will have too much unoccupied time allowing them to walk in a short time to any of these properties, sporting clubs or the township. This would be a continual fear for neighbors and the general community.

The current planning process is causing emotional stress to the current residents and if the centre goes ahead the mental anguish will continue and grow over time and it is hard to envisage the end adverse effect on the community.

NB :- The Dennington Community fully support the establishment of a Rehabilitation Centre in the region but strongly consider the proposed location at 43 Atkinsons Lane will not succeed as the site is far too small in size and too close to the Dennington township.

WARRNAMBOOL

Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) FRANCIS XAVIER Surname GARVEY

Name(s) Surname

Address 15 TYLDEN STREET DENNINGTON WARRNAMBOOL.

Post Code 3280

Telephone (Home) 55620858 Telephone (Work)

Mobile 0447631141 Facsimile

Email fbgarv 3280 @ bigpond . com

Signatures(s) Francis X Garvey Date 27-6-2018

Signatures(s) Date

Important notes about objections to permit applications

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Warrnambool City Council
28 JUN 2018
Officer
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Warrnambool Victoria Australia
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ABN 44 594 264 321

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

What application do you object to?

Planning Application Number PP2018-0105

What is the address of the land that is proposed to be used or developed? 43 ATKINSONS LANE DENNINGTON 3280

What is proposed? THE LOOKOUT WRAD 24/7 DRUG REHABILITATION FACILITY

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

SEE ATTACHMENT

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

SEE ATTACHMENT.

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This document is attached to the objection to the Dennington project for the WRAD Drug and Rehabilitation Centre

REASONS FOR THE OBJECTION

1) The secrecy and lack of communication about the facility has been seriously lacking which comes across as underhanded and deceptive. There has not been adequate communication with local residents who are the ones directly affected by this project. This lack of transparency is not good enough.

2) A member of the board has an interest in hotels which serve alcohol and enables some alcoholics on one hand but they are supporting the rehabilitation centre on the other. This is hypocritical and a conflict of interest. Who else on the board or involved in this project also has conflicting interests?

3) The land that is being proposed for this project is not suitable because it is made of limestone. Lime stone is like a sponge which means anything that used on the land will be absorbed by it. The run off, pollutants and water will simply filter down through the limestone and into the Merri River or water table.

4) You also have to be aware of the erosion that has already occurred and will occur in the future. The structural integrity of the facility will be compromised because the limestone underneath it will erode over time. There could be underground spaces and cavities that have not been discovered, or will be created that will also compromise the site and potential to build on it.

5) There is no access to main water or sewage. This will be a major problem as no water means no drinking water, washing, watering of plants or cooking. The other major problem is there is no access to a main sewage line and putting a septic tank into the limestone foundation is a recipe for disaster if it ever ruptured or leaked.

6) If a resident decides to leave the facility or is removed from the facility at night, then a taxi is the only way back into town. There is no public transport into town at night. If the client decides to walk into town at night it will be dangerous. The trucks barrel down the highway and won't see them if they cross the bridge.

7) The road leading up to the facility is not developed. If it left this way it will mean emergency service vehicles or police vehicles will not be able to access the facility or the people needing their help. The costs involved in having a proper road or driveway will be prohibitive.

8) If there is ever an emergency at the facility it is too far from town for any kind of quick response times. This places people's lives at risk and that is negligent. This kind of facility and it clients will be better served if it is much closer to town or part of the Base Hospital.

9) Growing vegetables in the ground will be near impossible because of the little remaining top soil and limestone. Raising and having animals, like chickens, will also be a risky undertaking as there are many foxes and feral cats that hunt around this area. They will be attracted to and cause trouble for the animals kept at the facility.

10) We have a lot of older residents and young families in Dennington. They moved here because it is quiet and reasonably safe in comparison to town. This important factor will change. Residents will move out, others will upgrade security and everyone else will be living in uncertainty and fear which is no way to live.

11) Dennington has just started to attract businesses, bring economic benefits to Dennington. Businesses will shut their doors if the facility is built, those that don't close immediately will later as the crime rate rises.

12) There are also schools and child care facilities in the area that will be affected by the increase in crime, expensive security measures and economic downturn. The potential for the children to be exposed to violent or predatory behaviour and finding drug paraphernalia is very real and will increase.

Basically, the area is inappropriate for such a facility in many ways. It is more rural than commercial and for most of the reasons above you will find this choice of site unsuitable. The site for this project is a bad investment and a waste of government and donated funds. It is financially unviable as an investment. The disruptive economical and potentially dangerous impact it will have on Dennington is also a factor not to be overlooked.

THE AFFECT TO US IF A PERMIT IS GRANTED

1) The drugs and crime it will attract to the area as well as syringes and other drug paraphernalia is real consequence. No matter how this project is dressed up the reality is this will happen.
2) If the businesses in Dennington shut up and move away then the additional expense and physical toll of having to go into town isn't good for our long term health.
3) Property values will decrease. This is inevitable as crime increases and Dennington's economy decreases.
4) The worry, fear and stress of having such a facility so close to where we live is not healthy and will impact our health long-term.
5) We don't know the people coming to the facility, their baggage, intentions or reactions or who their mates are, which will also be attracted to the area.
6) The installing and upgrading of security measures to combat the future crime and deterring bad or violent behaviour of clients is expensive. We can't afford it and not everyone in Dennington can afford it.

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP 2018-0105

What is the address of the land that is proposed to be used or developed?

43 Atkinson Lane Dennington 3280

What is proposed? Residential alcohol and other drug rehabilitation Centre

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

Refer Attached

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

Refer Attached

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Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) SUZANNE MARGARET Surname MARSH

Name(s) Surname

Address 19 Atkinsons Lane

DENNINGTON Post Code 3280

Telephone (Home) Telephone (Work)

Mobile 0448933542 Facsimile

Email smarsh@westvic.com.au

Signatures(s) Date 28/6/18

Signatures(s) Date

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What is the reason for your objection?

- The building of this facility will directly affect the value of my current holding in the resale market as I am approx. 50 M from the proposed facility

- The site is small 3.278 ha. As discussed at meeting, the land is to provide farming opportunities for the residents with a planned "farming" manager. The land does not have sufficient space for the proposed "farming activities".

- Information provided from meetings conducted by WRAD and Odyssey house are inconsistent with signed documents from people residing near the Molyullah, Odyssey House facility near Benalla which has been used as example of a well-run facility without issues.
  These residents have sighted witnessing walk offs, ambulances and police at this facility.
  The residents also indicated that Odyssey house staff had contacted them trying to tell them that" events did not happen"

- The Illowa area is a close knit farming family friendly community, this facility has raised significant concerns from our community re our personal and property safety.

- Touted as a voluntary admission facility but indicated at meetings that they would have clients that are court referred and court ordered.

Sue Marsh
19 Atkinsons lane
dennington

How will I be affecting if the permit is granted?

- Devaluation of the land that I own which is within 50 meters of the proposed property
- I am concerned about my personal safety and that of my children. We live within close proximity to Atkinson's lane which is the main thorough fare for any walk offs from the facility.
- Costing of any infrastructure required if this building commences including road up grade, sewage etc.

Sue Marsh
19 Atkinsons Lane Dennington

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018-0105

What is the address of the land that is proposed to be used or developed?

Atkinsons Lane Dennington

What is proposed? Lookout Rehab Centre

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

How the rehab centre will affect local Dennington Community (ie Safety around Streets, Security at rehab centre its self, property ~~value~~ prices in area and also the lack of consultation with community over location of centre and being sure there is a better spot for Rehab Centre in the Warrnambool area.

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

The uncertinty of safety in area if rehab centre is built if there is trouble the reaction time and numbers of police available to attend incidents in Dennington area and the affects of house prices in area.

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Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) PAUL Surname BLACKMORE

Name(s) TRUDI Surname BLACKMORE

Address 58 Baynes Street Dennington

Post Code 3280

Telephone (Home) 03 55 61 62 34 Telephone (Work)

Mobile 0409 160 599 Facsimile

Email

Signatures(s) Paul Blackmore Date 27-6-18

Signatures(s) Trudi Blackmore Date 27-6-18

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Objection to Grant Planning Permit – Part A

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Warrnambool City Council
29 JUN 2018
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Who is objecting?

I/We (Names in Block Letters)

Name(s) DR Surname STARK

Name(s) – Surname

Address 121 FARNHAM RD

DENNINGTON Post Code 3280

Telephone (Home) – Telephone (Work) –

Mobile 0418375268 Facsimile –

Email jeff.jma@gmail.com

Signatures(s) Date 25/6/2018

Signatures(s) Date

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Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018 - 0105 (Proc ID 141468)

What is the address of the land that is proposed to be used or developed?

THE LODGE AT 43 ATKINSON LANE DENNINGTON

What is proposed? IT IS PROPOSED TO ESTABLISH A DRUG AND ALCOHOL REHABILITATION CENTRE AT 43 ATKINSON LANE.

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

OBJECTIONS

- THE PROPOSED SITE HAS NOT BEEN ASSESSED FOR SUITABILITY AGAINST OTHER POSSIBLE LOCATIONS IN THE WARRNAMBOOL REGION.
- THE SITE IS RELATIVELY REMOTE AND DOES NOT HAVE THE SUPPORT OF THE LOCAL COMMUNITY.
- SAFETY AND SECURITY CONCERNS CONTINUE TO BE EXPRESSED BY THE LOCAL COMMUNITY. THE NEED FOR COMMUNITY SUPPORT HAS BEEN IGNORED.
- THE COMMUNITY WAS NOT AWARE OF THE PROPOSAL UNTIL A HASTILY CONDUCTED MEETING APRIL 22.

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

WHILE I DO NOT HAVE A COMMERCIAL INTEREST IN THE PROPOSAL, THOSE CLOSE TO THE PROPOSAL WILL BE DISADVANTAGED. MY OBJECTIONS ARE TO SUPPORT LOCAL RESIDENTS WHO WILL BE SIGNIFICANTLY IMPACTED BY THE PROPOSAL IF IT GOES AHEAD.

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Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters) NESTLES ROWING CLUB INC.

Name(s) TOM Surname Bertrand.

Name(s) Surname

Address Princes Hway Dennington.

Post Office Dennington Post Code 3280

Telephone (Home) Telephone (Work)

Mobile 0419585913. Facsimile

Email dennigtonrowingclub@outlook.com

Signatures(s) T.C.B Date 27-6-18

Signatures(s) Date

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Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP 2018 - 0105

What is the address of the land that is proposed to be used or developed?

43 Atkinsons Lane
Dennington Vic 3280

What is proposed? Use and development of a residental alcohol and other drug rehabilitation centre

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

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NESTLES ROWING CLUB

To all relevant stakeholders:

As President of Nestles Rowing Club I would like to voice my strong objection to the proposed location of The Lookout in Dennington.

As a sporting club with a strong junior membership base, as well as running a rowing disability program I feel the safety of our members could be at potential risk.

Our club has adopted and fully endorses the mandatory Child Safe Standards, and all adult members and parents/guardians are required to sign and adhere to our Child Safe Code of Conduct, in conjunction with holding a valid Working With Children check.

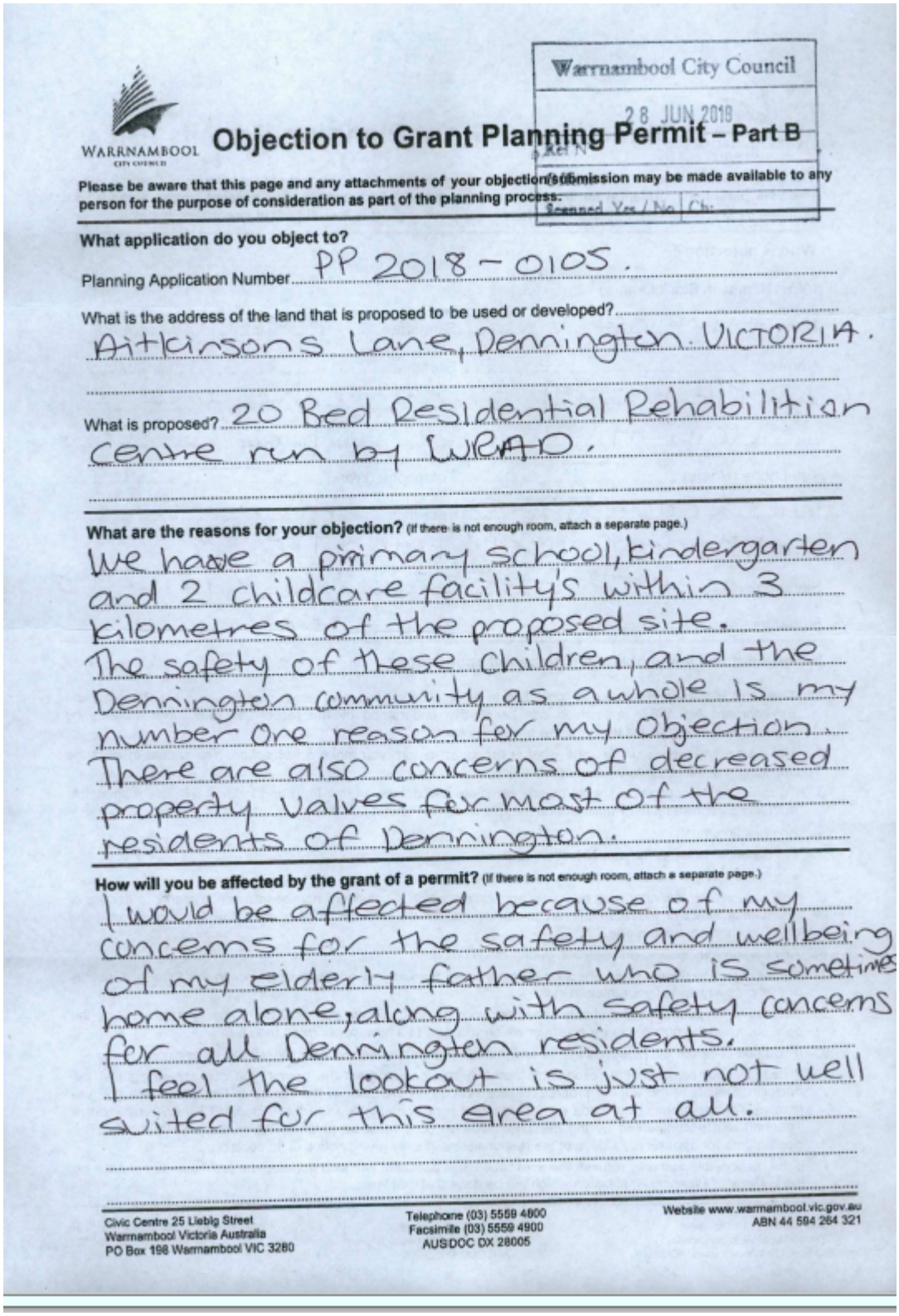
I feel these high standards could be compromised with the close proximity of the proposed drug and alcohol rehabilitation facility nearby.

Thank you for your consideration of my concerns.

Tom Bertrand

President Nestles Rowing Club

denningtonrowingclub@outlook.com



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Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP 2018 - 0105.

What is the address of the land that is proposed to be used or developed? Aitkinsons Lane, Dennington. VICTORIA.

What is proposed? 20 Bed Residential Rehabilition Centre run by WRAD.

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

We have a primary school, kindergarten and 2 childcare facility's within 3 kilometres of the proposed site. The safety of these children, and the Dennington community as a whole is my number one reason for my objection. There are also concerns of decreased property values for most of the residents of Dennington.

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

I would be affected because of my concerns for the safety and wellbeing of my elderly father who is sometimes home alone, along with safety concerns for all Dennington residents. I feel the lookout is just not well suited for this area at all.

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Objection to Grant Planning Permit – Part A

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Who is objecting?

I/~~We~~ (Names in Block Letters)

Name(s) Leanne Surname Russell

Name(s) Surname

Address 196 Russell street Dennington

VICTORIA Post Code 3280

Telephone (Home) — Telephone (Work) —

Mobile 0400093496 Facsimile

Email leannearussell@hotmail.com

Signatures(s) Date 27-6-2018.

Signatures(s) Date

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) Hayley Surname Godfrey

Name(s) Surname

Address 30 Hood Street

Dennington Post Code 3280

Telephone (Home) Telephone (Work) 03-55625559

Mobile 0427681 333 Facsimile

Email richie-godfrey2005@bigpond.com

Signatures(s) Hayley Godfrey Date

Signatures(s) Date

Warrnambool City Council
28 JUN 2018
Ref N°
Officer
Scanned Yes / No Ch:

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP 2018 - 0105

What is the address of the land that is proposed to be used or developed?

43 Atkinsons Lane
Dennington Vic 3280

What is proposed? Use and development of a residental alcohol and other drug rehabilitation centre

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

1. The plans are not sufficient
2. The safety of the windows are not sufficient
3. The objective of the supervision of the patients is inadequate
4. The whole idea is not safe for the Community
5. There should be 24/7 supervision of patients in the facility to minimise Safety concerns for the community

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

This facility is 1 Km from where my family resides. I believe it is unfair and unjust.
This process has caused anxiety to me.
I believe the site is not right and the correct safety measures are not being met.

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Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) Anthony Surname Bourke

Name(s) Carol Surname Bourke

Address 184 Russell street Deniningon

Post Code 3280

Telephone (Home) 0355628664 Telephone (Work)

Mobile 0428334227 Facsimile

Email bourk.dean@Westvic.com.au

Signatures(s) Date 26/6/18.

Signatures(s) Date 26/6/18

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Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018-0105

What is the address of the land that is proposed to be used or developed?

ATTKINSON LANE DENNINGTON

What is proposed? TO BUILD a DRUG + ALCOHOL CENTRE TO ACCOMADATE 20 OD People.

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

We JUST THINK its Not THE Place FOR THE CENTRE With young families and For THE Safty of older people in that Community. People have spent a lot of money to get where they are Today To have a nice Quiet INVIOMENT, and Now they feel unsafe To live there. I think this place needs to be built in Colac AREA as the Problem is between Geelong and Portland. It would be more Central

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

As I have stated above we as people of Dennington will have to live with the SENCE of INSUCURE locking every thing we have up. ITs Not the people who are getting help its the people who follow these people hoping to get them out and back on Drugs.

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Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) Kerry Surname Dalton

Name(s) MARIA Surname DALTON

Address 35 Princes Hwy Dennington

Post Code 3280

Telephone (Home) 0419355733 Telephone (Work)

Mobile 0409595025 Facsimile

Email kb3mck@hotmail.com daltsy01@hotmail.com

Signatures(s) Kay Dalton Date 27/6/2018

Signatures(s) Date 27/6/18

Important notes about objections to permit applications

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Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018-0105

What is the address of the land that is proposed to be used or developed? 43 Atkinsons Lane Dennington Vic 3280

What is proposed? use + development of a residential alcohol + other drug rehabilitation centre (look out residential rehabilitation.

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

(1) PLANS ONLY SHOW 1 CAREER ROOM FOR NIGHT STAY AS STATED THEY WILL HAVE 2 - PLANS NOT TRUE + CORRECT

(2) Rooms to have non opening windows + silent alarm for local residence safety they have proposed, seems rehab there is a high possibility of large number of smokers. These will need to go outside to smoke thus making there promise of the alarm a waste if no enclosed smoking area is apart of plan

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

~~WITH~~ AFTER CONSULTING WITH PEOPLE ON LAND VALUE THEY HAVE INDICATED A DROP IN LAND VALUE WITH A FACILITY OF THIS TYPE. THUS WHAT WE HAVE WORK HARD TOWARD MAKING IS NOW DEVALUED. SECURITY WITH 2 YOUNG KIDS + WIFE AT HOME WHILE AWAY ON WEEKENDS. WILL THERE BE FARMING RESTRICTIONS - NOISE DUE TO PATIANTS NEEDING SLEEP REST TIMES.

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(3) THE SEWRAGE SYSTEM SPEC STATES IT WILL BE AT MAX CAPACITY WITH THE 35 people they will have under care and providing assistance. THIS doesn't take into account for visiting family + freinds

(4) THERE IS NO FIRE SAFETY PLANS OR INFORMATION IN PLANS. AS THERE IS ONLY TANK WATER AS AVAIBLE SOURCE OF WATER. WHAT IS THE PROPOSED FIRE PLAN OR MEASURES

(5) WITH INCREASE OF TRAFFIC FLOW COMING + GOING THE ROADWAY IS NOT DESIGNED TO CARRY THIS INCREASE AS ONLY SINGLE CARRIAGE WAY.

(6) WITH SEWRAGE + WATER REQUIRING 240v Power WHAT MEANS OF BACK UP OF POWER. NOTHING ON PLANS FOR GENERATOR TO SUPPLY FLOWING WATER DURING BLACKOUT

My name is Gary Reilly.I own 27 Atkinsons Lane Dennington the property closest to the proposed site.I am 66 years old and this property is part of my Super Plan.As you would understand i would hardly be able to rent this property or sell if the proposed plan went ahead so i would immediately seek redress.And would encourage other affected landholders to do the same,maybe a class action.I am very sceptical about the consulting process and allowing affected people to have their say to make them think they have a chance to sway a decision.I bought the place in 2002 because it was quiet and out of town but still in the city limits.When i bought the property my Sister in Law worked at the property in question as a carer and she said it was quiet with no problems and apart from a lot of taxis in morning and afternoon it was no problem at all.As with all these cases nobody wants them in their area.There is no security between my place and the site.And nobody can give ironclad guarantees for our safety.I wouldnt believe them anyway.We are all vulnerable in this area,what men are there are aged and wives are left at home while wifes work.I pay a lot of rates in that area over 2000 dollars for minimal services i accept that for living in a quiet safe place.I am Gary Reilly PH0407604014 if someone want to ring me i am available.I have spoken to most people in the area affected by this and you wouldnt believe it they all thing this facility is not right for this area.I hope you make the right decision for your hardworking loyay ratepayers. Regards Gary.

6 JUL 2018

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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Warrnambool City Council
- 9 JUL 2018
Ref N°
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Who is objecting?

I/We (Names in Block Letters)

Name(s) David Surname Serra

Name(s) Louise Surname Serra

Address 171 Farnham Rd

Dennington Vic Post Code 3280

Telephone (Home) 03 55659450 Telephone (Work)

Mobile 0411 451 718 Facsimile —

Email meribanks@bigpond.com.au

Signatures(s) Date 6-7-2018.

Signatures(s) Date 6-7-2018

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Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018-0105

What is the address of the land that is proposed to be used or developed?

43 Atkinsons Lane
Dennington Vic 3280

What is proposed? Development of a Residential alcohol and other drug rehabilitation centre

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

Location and Size of Block; Impact on Community
See attached page

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

* Being nearby residents and active members of the local community, the building of this facility in this location will negatively impact the quality lifestyle we treasure.
* Being active fundraisers for The Lookout project, we feel the program will not succeed in the proposed location due to the reasons above. This will result in the waste of a considerable money and community support which has happened in other cases; which ~~has~~ will result in the program failing due to the wrong location.

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Reasons for the Objection

The location is in close proximity to sporting clubs, a kindergarten, a day care centre; a supermarket including a chemist and bottleshop; Rundells Horse Riding School and the Port Fairy Rail Trail

The size of the block is not sufficient to support the centre's rehabilitation program.

The negative impact on the immeadiate neighbours and the broder community with reference to loss of privacy; increased traffic; increased criminal activity; increased stress and anxiety to neighbours and decreased property values.
These negative impacts outway the positive effect it may have on a few people battling addictions

- 6 JUL 2018

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Officer

Planning Unit No Cat.

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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Who is objecting?

I/We (Names in Block Letters)

Name(s) Neville Surname Dance.

Name(s) Cheryl Surname Dance.

Address 32 The Esplanade

Dennington Vic. Post Code 3280.

Telephone (Home) Telephone (Work) 0418 527 605.

Mobile Facsimile

Email Neville@danceconstructions.com.au.

Signatures(s) Neville Dance Date 5/7/2018.

Signatures(s) Cheryl Dance. Date 5/7/2018

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Objection to Grant Planning Permit – Part B

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What application do you object to?

Planning Application Number PP2018 – 0105.

What is the address of the land that is proposed to be used or developed?

43 Atkinsons Lane Dennington Vic 3280.

What is proposed? Proposed use and development of a Residential alcohol and other Rehabilitation Centre (the lookout residential rehabilitation centre).

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

① Single Point entry + Access to the Site making people housed on site Vunerable in Case of emergency.

② Dont Believe the land has adequate Size for the propose Development.

③ To Close to the City Centre making it Simple to Walk away from treatment.

④ Documented Concerns for Neighbours Safety. as to. eg other locations.

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

Being a nearby resident in Dennington have fears and Concerns about the Comings and gangs of people ~~on~~ considering the documentation we have from Neighbours at another Site and the Safety of Said Neighbours.

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Objection to Grant Planning Permit – Part A

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Who is objecting?

Katherine Roberts KINGSLEY
43 Princes Highway Dennington, 3280
Phone: HOME – 55622302, MOBILE – 0438643958
Email – katekingsley@icloud.com.au
Signatures(s) KJ Date 6/7/18

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Objection to Grant Planning Permit – Part B

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What application do you object to?

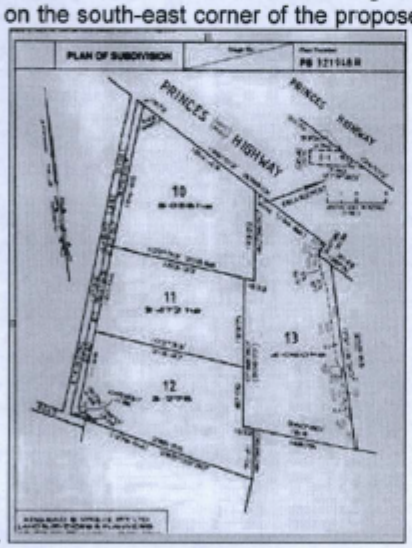
Planning Application Number: PP2018-0105

What is the address of the land that is proposed to be used or developed? 43 Atkinson's Lane, Dennington, 3280

What is proposed : Establishment of 'The Lookout Centre', a residential alcohol and other drug rehabilitation centre The applicants propose building two large residential units for the accommodation and daily work in rural pursuits for approximately 80 Alcohol and Drug Addicts each year - four intakes of 20 each year, and this rolling over each year. The program is to be funded for the inclusion of a number of Ice Addicts in each intake, some of whom will be under a community disposition by the court following criminal charges, and others may be on early release programs during a custodial disposition.

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

1. The map used in the planning permit application is incomplete, as it only presents two homes immediately adjacent to the proposed Outlook block, whereas there are another three existing family homes situated on two hobby farms on the south-east corner of the proposed block. One of these is my family home.



2. Safety. I currently feel very safe when I am walking around my block, or when I am undertaking domestic or relaxation activities inside or outside my home on that land. I know all my neighbours personally, and I have an understanding of their values as generally being those that are similar to mine. Indeed, all of my neighbours have purchased their acreages with similar lifestyles in mind. If the proposed Outlook program was built nextdoor to my home, my sense of safety for my family and my pets (dogs, cats, chickens and horses) will be dramatically reduced; I also believe that the

p. 2 of 3.

actual safety of my family, myself and my pets may be compromised. The knowledge that there will be up to 20 strangers living on the adjacent property in Atkinson's Lane, and that some of them will have serious ice addictions and have criminal records would mean that I would not be able to feel/be safe in my own home. I believe that a certain number of the program participants will abscond from the program at times, and as the property is only a back fence away from mine, it seems almost likely that some of these addicted and possibly criminal strangers might walk onto my land. I feel that this places myself, all my family members, and all my pets, at an unfair risk of psychological and/or physical harm.

3. I am also concerned that the immediate access of the proposed program's participants to our adjacent block will result in theft, property damage, and harm to my pets. Currently there is only a three-strand wire fence between the properties; I do not padlock the gates of our horses; I have items housed in a large unlocked shed out the back of my house; I do not close or lock the front gate of my block; I leave items on my back porch, in the car port and on the front verandah. I believe that if the proposed Outlook program is approved, because there is no guarantee that a participant won't abscond, then these hallmarks of a lifestyle that is trusting, relaxed, non-suburban and free (all reasons why I chose to live on an acreage a few kilometres from town) will be lost.
4. I believe that participants on the proposed Outlook programs will not have enough to do on the small block or in the surrounding area to promote their successful withdrawal from serious drugs such as Ice. I also believe that the proposed block is close enough to the Warrnambool CBD to attract contact by drug dealers with participants, and that the block is too large to adequately monitor contact of this nature. This is a further reason of concern regarding unknown persons entering my block for criminal/mischievous reasons.
5. The planned effluent system for the proposed Outlook centre has two large outlet areas that would potentially contaminate the active bore on my block that exists some four metres from the proposed Outlook boundary.
6. Direct oversight of our backyard by the participants in the buildings as proposed in the Outlook plan would significantly impact on the use of my block. Several members of my family (including myself) regularly use the part of my block that is adjacent to the proposed Outlook centre, and we would immediately lose our current privacy and freedom from distraction to follow our chosen pursuits in that area. I could not afford to fence off the area, and tree-planting is challenging because of the coastal conditions and the long-term nature of the growth.
7. I am concerned that the proposed Outlook centre would result in significant increases in noise and disturbance to our currently peaceful lifestyle on my block, given the number of participants in the proposed program (20) and the intention for family and friends to visit and spend time there.
8. I am concerned that the infrastructure (such as road access, water supplies, sewerage, and security) proposed for the planned site is insufficient to support at least twenty participants, plus staff and visitors to the site.
9. I am concerned that the supervision protocols provided for in the Planning Permit are inadequate for court ordered residents with a history of ice addiction and associated criminal behaviours and connections.

p 3 of 3

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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6 JUL 2018

Ref N°

Officer

Date Rec'd

Who is objecting?

I/We (Names in Block Letters)

Name(s) PATRICK Surname Boucher

Name(s) PATRICIA. Surname Boucher.

Address 38 FARNHAM ROAD

Dennington Post Code 3280.

Telephone (Home) 55 659 285 Telephone (Work)

Mobile 0408 106 332 Facsimile

Email boucherpatricke@gmail.com

Signatures(s) P J Boucher Date 6-7-2018.

Signatures(s) P.J. Boucher Date 6.7.2018

Important notes about objections to permit applications

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10. If despite your objection the responsible authority decides to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An appeal must be made on a prescribed form (obtainable from the Victorian Civil & Administrative Tribunal) and accompanied by the prescribed fee. A copy must be given to the responsible authority. The closing date for appeals is 21 days of the responsible authority giving notice of its decision.
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Civic Centre 25 Liebig Street
Warrnambool Victoria Australia
PO Box 198 Warrnambool VIC 3280

Telephone (03) 5559 4800
Facsimile (03) 5559 4900
AUSDOC DX 28005

Website www.warrnambool.vic.gov.au
ABN 44 594 264 321

6 JUL 2018

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

What application do you object to?

Planning Application Number PP 2018 – 0105.

What is the address of the land that is proposed to be used or developed?

43 ATKINSONS LANE DENNINGTON 3280.

What is proposed? The Lookout Residential Rehabilitation CENTRE.

What are the reasons for your objection? (If there is not enough room, attach a separate page.)

- WRONG LOCATION - Too Small acreage for proposed Development - 6 ACRES is WAY too Small.
- 9 Residential homes with in 300 metres 16 within 800 metres
- licenced liquor premises with in 350 metres.
- The placement of 80 plus clients with Alcohol Drug dependency in our neighbourhood per year of. which only 33% are successful "WRADDS figures"
- Volume of TRAFFIC on SINGLE LANE ROAD IE ATKINSONS LANE

How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

Our mental Wellbeing and Safety is our biggest Concern. This Proposed Development is already affecting our mental health + well being.

We feel Threatened by the Criminal element that will be VISITING the clients INVITED AND UNINVITED

The DEVALUATION of our Property THRU NO fault of OURS.

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ABN 44 594 264 321

Warrnambool City Council

30 JUL 2018

Ref No
Officer
Scanned Yes / No | Ch:

WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part A

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Who is objecting? ON BEHALF OF DENNINGTON BOWLS CLUB
26 PRINCES HIGHWAY DENNINGTON

I/We (Names in Block Letters)

Name(s) ANTHONY Surname SCOTT (VICE PRESIDENT)

Name(s) JOHN Surname MONTGOMERY (BOARD MEMBER)

Address 216 DUNVEGAN CRT WARRNAMBOOL

Post Code 3280

Telephone (Home) Telephone (Work)

Mobile 0428 427 980 Facsimile

Email grant.scott@bigpond.com

Signatures(s) Date 25/7/18

Signatures(s) Date 25/7/18

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Objection by Dennington Bowls Club to 'The Lookout' Rehabilitation Centre proposed for 43 Atkinsons Lane, Dennington

We lodge this objection on behalf of the Dennington Bowls Club on a number of grounds.

1. There has been a lack of consultation with the general Dennington Community, as well as this club which is the nearest commercial facility.
2. The club not only is a venue for bowls but has a Callisthenics club based at our premises three nights a week and Saturday mornings. The Rehab centre, in close proximity, therefore may pose a threat to young females attending classes.
3. The club has functions and has a licensed bar as well as holds cash on the site.
4. The use of and (has changed from 24 to 45) at the Centre have continually changed at different meetings, seemingly reactive to community reactions. There appear no concrete plans in place for the Centre. From voluntary admission to court decreed admissions, the scope of the Centre changes constantly.
5. We question the issue of water supply to the site for firefighting and water usage.
6. We question the capability of toilet operations with a septic system.
7. Half of the land space is unusable due to effluent fields.
8. Remaining land, when the Centre is built leaves little for purported agricultural uses under the control of an 'Agricultural Manager'. Raised vegetable beds and a chicken run would both be very limited so why such a manager?
9. Close proximity to neighbours is a concern
10. Security – has changed from no locks on doors etc. to fences and locks – there is no consistent approach from the proponents – again reactionary and no detail in planning.
11. There could be as many as 40 people at the Centre and the issue of 'Family' stays is concerning. Where do the children play, school etc.?
12. Other facilities in Victoria, cited as glowing examples, have failed or are close to failure and there are many negative items of correspondence from neighbours to those facilities which are being hidden by the Centre proponents.
13. There are issues of staffing the Centre and access to the Centre that have not been answered by the proponents.
14. The Dennington Bowls Club feels it would have to increase security at the club to cover incidents that may occur with drug and alcohol inhabitants at the Centre.
15. The Centre proponents appear to have been narrow minded in site selection, simply because this land was donated to them, not where the best site is for the facility.

The Club acknowledges the need for a facility in the South West district however, other such Centres are located a greater distance from the general community and are much larger parcels of land. The Dennington Bowls Club therefore has to object to the planned Centre's location in Atkinsons Lane.

Objection to Grant Planning Permit – Part A

WARRNAMBOOL CITY COUNCIL

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Who is objecting?

Warrnambool City Council
07 AUG 2018
-8 AUG 2018
Ref No
Officer
Scanned Yes / No Ch:

Murray Stuart KINGSLEY

43 Princes Highway Dennington, 3280

Phone: HOME – 55622302, FAX – 55 612742, MOBILE – 0408724640

Email – genesis44@bigpond.com

Signatures(s)

Date 5/8/18

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WARRNAMBOOL CITY COUNCIL

Objection to Grant Planning Permit – Part B

What application do you object to?

Planning Application Number: PP2018-0105

What is the address of the land that is proposed to be used or developed? 43 Atkinson's Lane, Dennington, 3280

What is proposed : Use of this site for 'The Lookout Centre', a residential alcohol and other drug rehabilitation centre The applicants propose building two large residential units on this block.. They propose to redevelop an existing small hobby-block with a residence (suitable for the accommodation and use of a single family), to house and provide productive daily work in rural pursuits for approximately 80 Alcohol and Drug Addicts each year (at the rate of least 20 per intake with four intakes a year, providing for more than 400 addicts over the next five years ... indefinitely). Another proposal of concern, is that the centre is designed for the inclusion of some Ice Addicts in each intake. Some of these Ice Addicts will be under a community disposition by the court following criminal charges, and others may be on an early release program during a custodial disposition.

OBJECTIONS (WITH DESCRIPTIONS AND EXAMPLES)

PREAMBLE / NOTES 1. It is well known by the applicant, that members of the Dennington/Illowa Community have raised large sums of money for the Outlook project. Each of the three opportunity-to-protest meetings organised by the Dennington Community has been prefaced by a clear statement of unwavering support for the desperately needed provision of rehabilitation support for Drug Addicts across the South West. This is becoming increasingly urgent with the advanced rate of Ice-fuelled violence in our community.

The only FUNDAMENTAL aspect in substantive contention is the ill-advised and opportunistic selection of THE WRONG SITE.

I personally do not contemplate ease-of-access for Warrnambool WRAD staff to this site as an imperative for selection of the Atkinson's Lane site..

2. Lack of time has forced me to focus on the Ice Addict portion of the participant population. This is an important factor and could amount to over one hundred Ice Addicted neighbours for us in the next decade. Also, if a permit was granted then future highly problematic addict groups could also be included. It is assumed that council would not be in a position to monitor the danger level of different groups of addicts over time and attempt to belatedly revoke the permit.

3. Time restraints have made me focus on the Ice Problem. No apology is available for the naturally emotive tone of this presentation. The possibility of someone dumping a group of 'neighbours' on us, over and over, year after year, whose negative public profile would then cost us thousands in lost property value and significant loss of quality of life is a brutal blow..

4. Unless otherwise stated, all references to 'the site', 'Outlook' and 'LRRC' are in relation to this Application for building works and 'farming' use of 43 Atkinson's Lane Dennington.

DETAILS REGARDING MY OBJECTION.

1. I object to the misleading nature of the 26 page Application by Myer Planning Group and or WRAD. How can the average resident citizen in Warrnambool unmask such an unfairly deceptive document? It appears to contain not one word of a lie, yet is so cleverly assembled and crafted as to give a consistent, false impression of the interface of the site with impacted neighbours. For example, if you read the appended sub-contractor material you will see a photo, purporting to study the grass and the soil, but angled up to suggest that my block, with the tank just visible on the right, is far distant (appearing to be at least half a kilometre from the sewerage disposal area). Whereas in fact my block is the width of a strand of wire from the site and less than 100 metres from a huge sewerage treatment ground.

   A Plan of Subdivision was naturally provided but since it is the only 'map' in the application It is clearly intended to give an impression of the size, nature and extent of the neighbouring properties bounding and abutting the site. This false impression, of the site being a suitably large block in a farming area, is further re-enforced, in the application, by an indirect reference to the neighbours as if we are all farmers: ... ' many of the surrounding lots contain ... associated outbuildings using land for ... agricultural activities'. (see their item 2,2 and the Plan of Subdivision below).

   Whereas, the true 'location' of this site, is in fact, in the middle of a minimum-area rural-residential subdivision and immediately bounded by six rural-residential family homes with non-farming families, with four other families closely affected.

   In actual fact, only one true farming block abuts. This is on the southern boundary. The other 'farmer' works off-site and has his home on a one acre house-site immediately overlooking the site selected for the LRCC. His farm land goes down to the swamp and is well to the rear of his home and well out of view of the LRRC.

> **2.2. Site interfaces and nearby land uses**
>
> Situated within proximity of the Princes Highway and approximately 6 kilometres west of the Warrnambool CBD, the subject land is appropriately connected to Warrnambool, Dennington and the surrounding area.
>
> Located within the Farming Zone, which extends out to the north and west, the subject land is surrounded by similarly large lots ranging in area from 2.5 hectares to 35 hectares. Many of the surrounding lots contain existing dwellings and associated outbuildings, utilising land for pasture or other agricultural activities. Native vegetation is sparse throughout the landscape, dominated by grassland and mature, planted vegetation lining boundaries.

   This 'picture' created by first omitting a proper map of neighbouring land-use and 'substituting' a Plan of Subdivision for our 'convenience', continues on page 5 of the Application (see above) where it continues to describes the site as if it were part of a true 'farming locale' and surrounded by similar farming land users.

   The phrase, 'Located within the Farming Zone' is entirely misleading in that four of the adjoining-fence neighbours live in their homes with their families on small Rural Residential hobby blocks immediately abutting the LRRC.

Furthermore, adding that farming 'extends out to the North and West', is also misleading in that, in actuality, to the west the land consists of more than 20 small hobby blocks strung along both sides of the Old Highway, and to the North similar slightly larger hobby blocks are again used as home sites (again with a tiny minority of farmers) and extend right up and along both sides of the Merri River until you reach the first true farming enterprise, some kilometres distant due north. And on the opposite side of the Merri River to the East and South East are hundreds of families in small house blocks, merging eventually with Warrnambool proper.

None of these hobby blocks were subdivided off the original small farms to provide 'farming-blocks'. The vast majority of the at least one hundred families within a two kilometre radius, are not engaged in any farming whatsoever. These blocks, including the LRRC, are mostly not suitable for agriculture or farming. Indeed, one of the adjacent neighbours planted a hundred olive trees, down the access lane, on his rural-residential hobby block, and watered and mulched and sprayed and weeded each plant for two years. Only 20 survived the winds of the second winter.

Those immediately surrounding the site, are all part of subdivisions of an original small dairy farm fronting the highway. Council records show that this farmer cut up his farm as 'tight' as he could on each occasion.

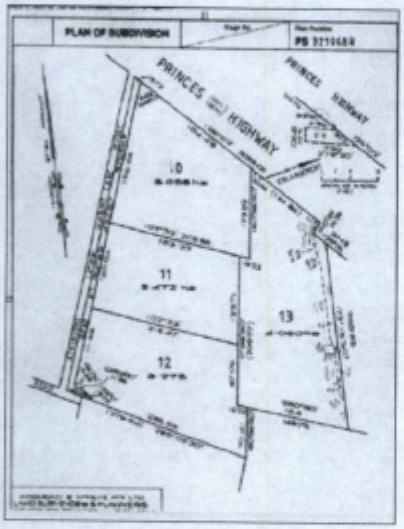
Of the three remaining blocks immediately adjacent to the LRRC, the one absolutely opposite, is the home of a retired elderly couple who run five or six cows on a single small paddock. The one on the very corner of Atkinson's Lane and directly overlooking the site, is the single acre house block at the front of a large hobby farm, where the farm paddocks, to the rear, adjoin Kelly's swamp, not the LRRC. Only the third block, abutting the eastern segment of the southern boundary of the LRRC is used for farming pursuits and is not a family home-site.

Looking across the highway, to the north, only one of the dozens of family home-site blocks is large enough to be used for agriculture (a hobby vineyard). Interestingly the hobby vineyard is probably one of only two remaining paddocks that used to be covered by girls in white aprons, each milking one cow at a time, morning and night, for the original milk factory opposite. As the factory modernised, over time, the cans of milk were picked up at the farm gate by a motorised lorry and these paddocks were used for keeping pigs fed on 'waste' from the Dennington Factory. That was farming! Now it has all changed, the area is 90% hobby-block and only one of the seven blocks most impacted (those immediately adjoining the site), is a farm, 'used for agricultural activity'.

Please refer again to page five of the application ... 'within the Farming Zone, ... surrounding lots contain existing dwellings and associated outbuildings, utilising land for ... agricultural activities'. This cleverly phrased section implies that the homes on each of the residential rural hobby blocks adjacent to the LRRC contain outbuildings associated with agriculture. A survey across the immediately affected blocks, demonstrates that this is incorrect. It reveals that:

- our mutually adjoining neighbour, to the south-west, uses his two sheds for hobby motor-sport vehicles;
- continuing down the access lane to the North, we use the large shed adjoining our house and the LRRC for the hobby of boat and canoe building;
- the next mutual neighbour North uses the shed adjoining his family home for design and maintenance of equipment for disabled folk;

- crossing the access lane, the northernmost house-block on the east side, is yet to be built on and the existing shed is used by a builder;
- circling back south, up the access lane, to the southernmost block, the sheds near the house are used by a fellow whose hobby is designing and building slide-on campers; - - crossing north-west to the bottom of Atkinson's lane, the northernmost house block owner attempted to farm chooks (and use his shed to pack eggs) and was shut down immediately by the council (this block is claimed to be part of 'Farming Area' to the North and labelled 10 on the 'map' provided);
- on the next block up Atkinson's Lane heading south, and immediately adjoining the LRRC, tha shed near the house is used for storage of second hand goods only;
- next up and opposite the LRRC, the large shed, near the home of this elderly couple, was purpose built for the son-in-law's helicopter;
- only the southernmost house block, abutting the LRRC over the lane, has sheds, to the rear of the house-block, the only one of all the neighbours actually used for farming and agricultural pursuits.
- the other neighbour, just around the south corner of Atkinson's Lane has two houses on a large hobby block. He has a large vegetable garden and his sheds are for parking cars out of the salt-wind.



In Summary:

A) Page five of the application purports to describe 'Site Interfaces and Nearby Land Uses. The true compass, layout and closeness of these family homes to the site are not described in the application. The plan of subdivision submitted in the Outlook Application (in the absence of a truly informative map 'avoids' describing the 20 or more hobby blocks radiating west and, and the 20 or more hobby blocks radiating north and the 50 closest suburban home sites. '.

B) A more accurate description on page five would read something like, ... 'THE SITE IS ONE OF CLUSTER OF SMALL RURAL-RESIDENTIAL HOBBY BLOCKS MADE AVAILABLE THROUGH SUBDIVISIONS OF A SMALL DAIRY FARM. IT IS IMMEDIATELY ADJACENT TO AND SHARES A FENCE LINE WITH SEVERAL HOMES. ONE OF THESE SEVEN FAMILIES IS A FARMER ENGAGED IN AGRICULTURAL PURSUITS.'

C) In fact, grant of permit for this site based on this Plan of Subdivision being provided in lieu of a properly descriptive map-of-locale / interface with neighbours would cause problems for me and cause further significant disadvantage in relations to:

- The two immediately adjoining residences sharing the same frontage onto Atkinson's Lane as the LRRC: one immediately to the West and the other immediately adjoining Atkinson's Lane in the South west corner relative to block '12'. Each directly overlooks the site and each home is less than fifty metres distant.
- The two newly built homes on a large block just to the west of the right angle corner in Atkinson's lane (as close as block 10 on their 'map').
- The three small hobby rural-residential blocks, with homes and families on the east and south-east side of the Atkinsson's Lane site. Note that block 13 on the Plan of Subdivision is actually two separate hobby blocks (Kingsley and Ziegeler). The lane on the eastern side of block 13, more accurately the eastern side of the Kingsley part of that block, services five small rural-residential homes-sites, and provides an excellent short-cut to the supermarket from the LRRC.
- The six house-blocks that directly share a boundary with the proposed development: two with absolute laneway frontage and four more with shared fence-line (five more with shared fencelines, if you count the two homes on the family-share block furthermost south-east, ... actually eight more immediately adjacent if you count the two new homes on the western block at the corner of Atkinson's Lane, and the home at the bottom of Atkinson's lane ... **making ten families in all**), are all hobby-lifestyle blocks, used as extended home sites by single families.
- The associated outbuildings and penned-in areas allow room for rural and non-rural hobbies. Spread across these ten neighbouring families there three tractors, some dogs and cats, six cows, a pig, a goat, some chooks and several sheep and five horses.
- All fences are four strand wire fences. They originally provided ease of access for the original dairy farmer from one paddock to another (for example the bore failed on the Atkinson's Lane site last year so the owner of the single horse agisted on the block was able to easily access the tap and hose on our side of the boundary fence day and night to water the horse).
- This then provides unhindered access by any dangerous, criminal Outlook Participants via each of the seven home-sites that abut or are directly over the laneway from the site. The danger of yet-to-be-rehabilitated Ice Addicts crossing our block is increased during the period of settling-in by each cohort, as verified publicly by WRAD, with some absconding from most intakes.
- By building here with direct access to the site, through our block, they would be exposing us to being accosted and threatened by criminal associates of these Ice Addicts, and or dealers or others to whom a participant owes money, or owes yet another criminal act.
- Block 13, as shown on the 'map' is also misleading. It actually consists of two separate family home-site blocks, one of six acres and an L shaped block of four acres. As mentioned above, the four acre block includes the private laneway that services Whiting's Hill and provides direct access to the highway adjacent to the Merri River Bridge for all of the homes adjoining the rear of LRRC.
- Thus the 'map' completely omits the two highly problematic private laneways that traverse what is presently labelled '13' in a southerly direction, each commences on the highway opposite the bowls club and very close to the Merri River Bridge. The

gravel lane (a driveway) terminates immediately adjoining the site to the east. The bitumen lane goes slightly divergent east, to the top of the hill, passing less than 150 metres from 'the site'.

- Highly problematic shortcuts to all the local services from the LRRC are then provided by these two lanes via each of the shared wire strand fences on the two separate blocks on what is labelled 13, and via the adjoining wire strand fences to the two homes on the other blocks (unmarked) viz the shared block, McK Grandparents and McK Daughter and husband and family., on the south eastern boundary of block 12.
- Note also the immediately impacted Commercial Builder's Sheds and previously approved home site on the eastern side at the lower end of the private lane. This property is immediately adjacent to the Merri River and opposite the Bowls Club and the Rowing Club.
- The bowls club has a well-stocked bar. This would provide unfair temptation to addicts who have 'encountered the criminal justice system'. It takes less than five minutes to cross our block and arrive at the licenced bar at the bowls club, but takes more than ten minutes from the driveway of the LRRC, down Atkinson's Lane and along the extremely dangerous gravel verge of the Princes Highway.
- If the applicants had attempted a fair description of the location of the site in the district, then instead of indirectly illustrating the notion that FOUR 'FARMING' PROPERTIES might be directly impacted, an honest presentation of adversely affected neighbours, would carefully mark and consider some TWENTY home-sites and families directly impacted, by at least giving consideration to:
  - the six homes omitted from their map (as described above);
  - the building site at the end of the two 'shortcut' lanes that should be shown on 13;
  - the licenced bowls club and bar opposite on the highway;
  - the sheds pertaining to the rowing and canoeing clubs;
  - the home with greyhound kennels immediately west along the new highway;
  - the three homes immediately to the west, at the lower junction of Atkinson's Lane and the old highway;
  - the four homes clustered 200 metres further along at the junction of the western entrance to Atkinson's Lane (Millers Lane);
  - and the very small farm on the left at the southeast junction of Atkinson's Lane and Millers Lane;
  - and the riding school /horse care program for small girls, on the weekends, at the Trail Ride Facility.

  And would at least briefly consider the hundred and fifty other families within a couple of kilometres. Put simply, this application appears to set out to deceive, in that it directly canvasses four instead of those twenty immediately impacted neighbours, and ignores everyone else in the neighbourhood.

2. There is clearly no over-riding imperative for selection of Atkinson's Lane for this project. As suggested in a recent VCAT appeal, they are not requesting a site for helipad for a particular crisis surgery unity on a particular city hospital. Situations like that can have an IMPERATIVE that may override the cost to nearby residents. This situation is the exact opposite. Not only is there no overriding reason for selection of this site, but the site is shown to be inadequate and poorly matched to the needs of a quality Outlook Program. WRAD should however, stop wasting huge sums of money, that we the community raised locally, on a dead-end application. I ask them again to set about the business of locating, say, a very large rural site to provide peace and security and meaningful 'farming' activities for their most vulnerable drug addict participants.

3. There may be increased convenience of access to the LRRC for some WRAD personnel based in Warrnambool. This is merely a Warrnambool-centric attitude. Given the spread of WRAD and the spread of need across South West Victoria, there are valid reasons for considering a more central location in the region. Rather than fixing on a site allegedly 'gifted', the real committee work will include establishing and publishing, clear and honest site-selection criteria. Then gaining some (very informative!!!) Residential Community Input (given that they would at this stage be forced to admit that they believed they could recklessly impose this project on any Residential Area in the South West that they fancied).

4. On the presently selected site the Outlook program accommodation and 'work' and recreation areas are all directly across our shared fence-line. Intrusion of the proposed Outlook program visually and through noise onto and over our property, long periods every day (and any warm night when the participants BBQ, relax and play music in the recreation area), over an indefinite number of years would disadvantage us significantly. This is utterly unlike the present situation with four or five neighbours out enjoying the evening air. Putting the Outlook Program on this site would constantly project, across our home, the noise and lights of more than twenty people (from just one small residential rural block out of the five immediately adjacent to us).

5. The unreasonable proximity of any Intensive Residential Alcohol and other Drug Rehabilitation Program, together with the proposed, daily 'productive' outdoor activities for a large rolling cohort of severely disadvantaged participants is a use diametrically opposed to the current land use and would cause immediate degradation of the amenity of all of THE SIX IMMEDIATELY ADJACENT families, not the least ours, together with the other fourteen properties identified thus far as being within a 500 metre radius, directly impacted on the Princes Highway - Miller's Lane - Atkinson's Lane loop.

6. Participant boredom and dissatisfaction would become rampant on this site, through severe lack of space for authentic rural pursuits and training. Such mismanagement greatly increases the risk of participants reverting to their long-term, habitual antisocial and criminal activities, in or around our property.

7. The scale of 'rural' hobby-enterprise in the hobby farm blocks in this Residential Rural Area are suited to the 'Active-On-The-Block-Time available to an average family, where the parents work away from the block, and do their 'farming' or other hobbies, on the weekends, and the children have 'chores' after school that usually involve feeding the pets and any other animals and watering. This equates (in 90% of the residents across the broader hobby block area) spending approximately 25 total person hours per week, across the family, 'farming' on their block.

   In contrast the Outlook Program Committee is imagining itself on a 'farmlet' of say 50 acres, where something in excess of 250 person hours of enjoyable and productive 'farming' per week would be available to participants as part of a very busy program.

8. It is adventurist, to say the least, to try and build a quality Outlook Program in our residential rural hobby-farm locale. This would result in needless stress on staff and a higher risk of poor quality care of residents. Those few that might 'make it' deserve freedom from being overlooked by us neighbours. The deserve much better facilities in terms of accommodation, security and work opportunities.

   Regardless of fine-tuning the sums of hours involved, the site is very poorly located and patently unsuitable for farming activities involving a large group of people. The Outlook participants would become bored and restless. Futile attempts to keep twenty highly vulnerable people occupied in such a tiny block, day after day, increases the 'load' on staff and the negative interaction with us as neighbours. Anyone who has lived next-door to a large group of unhappy neighbours will recognise the 'pain' of this phenomenon and the misery projected onto neighbours.

9. Watching a large group of inmates, intake after intake, forced to be 'occupied' outside whilst being whipped by salt gales would be a most unpleasant outlook for us. Unlike almost all the dozens of hobby farm home-sites along this strip, the Atkinson's Lane site slopes to the south and is whipped by salt winds for much of the year. This is why the daily participants in the 'disability' centre, previously utilising the site during business hours, were so rarely seen outside.

   This site is manifestly unsuitable for the proposed broader Outlook Program. Participants being stuck inside day after day increases the risk of Acting-Out or anti-social behaviours in or around our property. The site is completely unsuitable for any continuous outdoor activities (let alone weeding your 2 metre section of a raised vegetable bed day after day, or watching your 'Olive Grove' succumb to the salt gales):

10. The other homes in the district are built sacrificing the view of the swamp and the sand dunes. They have protective raised banks to the south, or are on a steep northerly slope. They are then eventually protected by mature seaside vegetation (this takes more than ten years and commences with corrugated iron fences to protect the seedlings). It transpires that the sheltered north facing area of each home-site is then the only area of each block providing reasonably pleasant outdoor activity locations, witness the vegetables being grown by the family in the newly built home in Atkinson's lane.

    In stark contrast, one of the few houses that are an exception to the rule, of putting shelter first, also directly overlooks the swamp (at the same angle and elevation as the Atkinson's Lane site). A recent southerly storm blew a very large chest freezer, full of bulk meat, bodily off the veranda and into the garden below.

11. Exposure to severe wind-chill will lead to sustained disaffection among participants, further increasing the likelihood of sneaking off to the shelter of established windbreaks on our adjoining properties, or via our property to the shops. For more than six months of the year, this south facing site is directly (unobstructed line of sight) exposed to the biting sea-gales of winter and spring (the surf-spume of the Southern Ocean is approximately 3

kilometres close, visible as it sweeps across the swamp and sand hills to the site). This site is equally exposed to the cold South Easterlies of summer. Closer inspection of the proposed Outlook site will reveal that the only plantings that have survived these salt winds are in a small cluster of shrubs in the south west corner, protected by neighbour P's North facing home site and ancient trees on that corner of Atkinson's Lane.

12. The current proposal for this location is based on a reckless disregard of the proper siting of successful Residential Drug and Alcohol Treatment and Workplace facilities. (It lacked published criteria for site-selection from the outset and this most unfortunate site selection may hinge solely on opportunistic gifting by a government agency).

There are CRITICAL differences and vastly different outcomes between putting a Residential Addict Treatment program like the Outlook Centre in:

- Residential Urban street in the suburbs of a city like the Canberra centre or

- Residential Rural block locale like the Dennington / Illowa hobby-farm homesite strip, or

- Large acreage Rural / Farming area 20 km or more out of town like the Benalla Centre.

Evidence for reduced impact on neighbours of a City Location. In the city or vast suburban area, residents can live 'ten years' surrounded by high paling fences and security garage doors with electronic access to the front door, and never meet the neighbours should one so choose, even if becoming unlucky enough to have as yet totally unreformed, criminal Ice Addicts move in next door. In this environment, the Residential Treatment Centre itself is then used basically as a dormitory and 'meeting' area and the residents are not trying to 'farm' the nature-strip adjacent to your fence.

Evidence for low impact on neighbours in a Rural Farming-Acreage Location. In a rural/farming area, the neighbouring farmhouses are far enough separated to pick and choose who you fraternise with. Impacted neighbours are more than one kilometre distant, across substantial vegetation and a creek like the Benalla Centre. While you still identify with the district, as a resident farmer you chose those paddocks for the soil quality and the annual rainfall, not the neighbours. My farmer clients tell me that they are very picky about fraternising and exposing themselves to a neighbour wanting to borrow the $550k tractor. Here the Outlook Residential Treatment Centre can be intelligently built in a secluded location at the end of a long driveway with a security entrance. Here the residents can be offered experience with a true rural lifestyle involving a multitude of profitable time-consuming pursuits ... from maintenance of Off-The-Grid power, water and self-composting waste systems, to growing an acre here or there of sustenance crops, to market gardening or to small flock husbandry of a wide variety of animals.

No evidence is available for success on an exposed Tiny Rural Residential Hobby Block Location with several families in absolute and far too intrusive proximity. Areas like the Atkinson's Lane site are populated by groups of families who have all worked for the same ideals. They have laboured, paid their taxes and searched until they could afford to buy a hobby farm for a little girl and a pony, or a little boy and a pet pig, or dad with his little grey fergie, or a hard pressed supermom with her home grown rhubarb pickles or a teenager with a drumkit, or grandpa with a huge workshop stuffed with highly portable woodworking tools, or the grandchildren with trees to climb.

These blocks are in increasingly rare clusters at the interface of town and country.

Outlook participants on the Atkinson's Lane site would be physically unable to work and play clear of the boundaries with neighbouring homes. The block is way too small. In terms of positive change-of-lifestyle outcomes, even those participants that 'make it' are still 'embryonic' in terms of disavowing violence and theft and drug affected, inappropriate sexual activities. Note the admission in the Outlook Protocol of mandatory searches of participants for drugs and stolen goods each time they return to Atkinson's Lane.

13. We are threatened not just by addicts with a history of violent behaviour, but by criminal associates who need to have concealed access to the site. Ice Addicts rarely survive alone. I have witnessed their little groups of so called 'mates' in Warrnambool. They typically share in a round-robin of supply at the street level. Almost all are dealers at this level (sharing with a small group). Above them are the get-rich-quick local lads who take the risk of transporting larger amounts each week to distribute among these 'nests'. The extreme danger and much of the violence in the addict community is engendered by the much 'bigger guys' who receive Ice in bulk from the constantly moving 'kitchens' and supply it to the 'runners'. These wholesale dealers cause the dread of disclosing to the police. As an immediate neighbour, in the location with the best concealed access to the site: from the highway near the bridge, 100 metres up my lane to where the vehicle is left out of sight of police cruising the area, through my block past my home and through the wire fence leaving my family exposed not just to any criminal Ice Addict in the program but to the palpable threads linking him or her to a most noxious system or lifestyle. This problem is viciously amplified, in a 'close to town' tiny hobby-block.

I have seen with my own eyes the result of a low-level dealer betraying one of these big-dealers. He was supposed to be in a witness protection program but they found him and broke nearly every bone in his body. Another told me that she is an enforcer. She claims she only breaks arms and smashes cars and houses because she is only contracted to deal with the women who threaten exposure of their Ice Addict men to save what is left of their families, or renege on payments or otherwise cause trouble. It is highly irresponsible to expose participants in the Outlook Program to easy access by utterly noxious associates (who need them back in the circle).

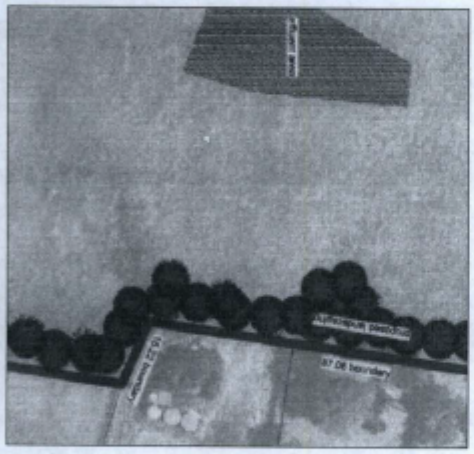
14. It is equally unreasonable to expose them, in such a vulnerable condition, to temporary residence in a trusting hobby-block locale in an environment that operates on 'walk-through' fences, freedom of movement and shared care of animals and possessions in the neighbouring homes.

Ice addicts tell me they deserve isolation, peace and security in the earliest weeks and months of their chance of a new life. They have even less of a voice than we residents do. I join them in saying to the Outlook Committee, 'Do the work required and find a suitable site'. The War on Ice is not a computer game! It is measured by the casualties you read about weekly in the newspaper. Someday, maybe not for many months, maybe not even in the first year, an Ice Addict will inflict violence on me or my family, and when I seek compensation, will I then informed that the participant 'left the program' earlier in the day and has no ongoing link with Outlook?

Put simply, Atkinson's Lane is part of a unique single-family hobby-farmlet lifestyle. The Atkinson's Lane LRRC site represents an attempt to experiment by placing a Residential Drug and Alcohol Rehabilitation Centre and Worksite in a too-small, too-close to the neighbours, too-accessible by dangerous former associates, too-close to the local bottle shop, too-likely-to-fail location. If the applicant was granted a permit then I as a neighbour would be left indefinitely with the fallout.

If any common sense prevails, Human Services will sell the Atkinson's Lane block to a family, the money will allow purchase of a suitable city or rural site for Outlook and we will sleep again at night. It is a most distressing imposition for WRAD to threaten to drag us through the courts to stop their greedy ill-advised adventurism in their so-called care of the most vulnerable of addicts. PS note that each of us neighbours had no problem with previous use of the site because it did not constitute risk of destruction of our lifestyle, mental health and proper value of our major assets as families.

15. The Effluent System proposed for the centre has two large outlet areas. There would be an unacceptable risk of such high volume sewerage disposal eventually becoming inefficient and contaminating our Sweet Water Bore over time. See below. The septic effluent outlet area is hatched dark; our block is directly below it on the map. The shelter belt of trees, given the wind at that point, is of course imaginary



The effluent disposal area on the proposed site is immediately adjacent to our fresh water bore. Curiously the planning permit states that no bore is in the near vicinity. In the photograph above, part of the application, you can see our three large round storage tanks for stock (lightly shaded whitish circles near the bottom of the photo ... hidden nicely behind the imaginary shelter belt of trees). The smaller elevated tank (just above and to the left of the row) provides drinking and general use water(under pressure) articulated to the eastern veranda of our house. The longstanding bore itself is immediately to the left of the smaller tank. It fills the four tanks and provides magnificent drinking water to the house area. It would be unreasonable for us to be required to test this bore each year to determine levels of contamination from the massive sewerage output of the site. The long term health risk of not doing so is equally unacceptable.

16. By canvassing all the other irregularities in this proposal, in like manner, it can be demonstrated that the infrastructure proposed for the planned site is insufficient to support a permanent population in excess of twenty one residents plus staff and visitors to the site. For example, inadequate road access, water supply, public transport and sewerage (as noted above).

17. Program participants are (initially at the very least) very unstable and abscond regularly from treatment Any establishment, immediately adjacent to our four strand farm fence, of a residential treatment and work-site would severely interfere with our peaceful daily lifestyle. Supposed occupation during several hours a day for at least 20 significantly disadvantaged transients (some rated as long term criminal and extremely high risk of violence, upon perusal of their court records) would cause large scale disruption to our long term use of our land.

18. The kilometres of wire fences, common to the entire Rural Residential area affected, are DESIGNED for easy access for farmers from one block to the next. One is able to simply bend over and slip between the wires. The sight of these fences creates unnecessary temptation for participants. Proper security fencing around the entire site with unscaleable opaque panels and a two metre buffer zone, planted out with long term vegetation, right around the property, would only go part-way to providing us with some security.

    For example, my wife goes out into our tiny paddock last thing every night (rain, hail or fine) to rug, unrug, feed and groom our horses. She has a highly responsible and very stressful job in the counselling field at the hospital and has discovered that half an hour a day, spent in the dark, in company with one of her favourite horses, is the best antidote to the stress of her work. She was aghast at the notion of being outside, in the dark, on her own, with the possibility of the sudden 'company' of an Ice Addict absconding from the program (as is already publicly admitted they do) via the best shortcut to town through our wire strand fence. In addition, any person creeping over the fence is likely to cause a horse that she is leaning on and petting to rear or buck or swing and kick or bolt and inflict a serious injury.

    Furthermore, if one of the twenty or so animals on our block 'calls out' during the night, my wife, gets up and goes outside with a torch to frighten off the fox, or stray animal causing disruption. No reasonable partner could leave her alone at home at night knowing that there is ANY CHANCE of her being attacked or even accosted by a criminal, so-called neighbour, or associate of that person.

    I often work in my shed building canoes on weekends and sometimes late at night. The screening by 100 year old pine trees and outbuildings between us and our present neighbours prevents me intruding on their right to peaceful pursuits. Our lifestyle, and that of our neighbours has allowed me to not-always lock workshops and our home and vehicles. Thus I am free to stroll in an out and not have to pack up the tools that spill onto the trestles holding the canoes outside. Over the fourteen years of my occupancy not one of my thousands of dollars' worth of my quality power tools and hand tools (including rare antique woodworking tools) has gone missing.

19. Ice addicts are not noted for being able to hold down decent jobs. Many rely on criminal activities including theft to keep up their drug intake. Many addicts are also experienced at casing a property and alerting others in their drug network of likely goods therein. They may not steal for weeks or months or even years, but the ever-present threat and anxiety related to any well-established criminal behaviour on their part cannot be dismissed as 'imaginary'.

20. Historical and hidden-from-management anger and violent resentment will exist from time to time between participants. All this I have firsthand from Ice Addicts bemoaning the loss of treasured items stolen by their so called best mates.

21. My son has been learning the drums and the placement of one of the sheds and the above factors have enabled him to jam with his friends, late into the night, without disturbing our long-term neighbours. He often has a small campfire and a few beers and swag-sleepovers with mates in the part of our block closest to the proposed site. Would this be compatible with the program? The sexual behaviour status of some Ice Addicts is also of great concern. My son would be directly overlooked and in fear of 'invasion' by participants used to routinely 'crash' parties. He may be envied and offered threats that he would be most unwise to ignore.

My wife and I have worked long and hard to purchase and establish our hobby-farm. The outright and disrespectful public refusal by the Outlook Planning Committee (at the last-minute jamb-packed 'well-we-will-have-to-tell-them-now' community meeting) to do the work involved in finding a suitable site cannot be sufficient reason to allow such an impossible unjust imposition on our family.

22. Certain knowledge of the extent of danger faced by proximity to ever-new groups of persons at the very beginning of a long road to habitual lawful behaviour, causes non-imaginary Fear and Anxiety. We will later demonstrate the difference between 'reasonable but not evidence-based fears, and our realistic AND evidence-based fears and concerns (Time does not allow this yet). When the statistically inevitable Ice Fuelled violence finally spills across or through our fence, it will actually cause psychological release for us innocent victims.

Far worse, as we are already experiencing daily, is the Fear and Anxiety of the unknown future event. This fear is caused by living next door to potentially dangerous criminals, some with the worst record of domestic violence and community violence in our community (Criminal Ice Addicts) with a new group rotating through four times a year.

Several drug addicts, well known to us through joint fellowship at the Salvation Army, have given us histories consistent with these noxious behaviours. Not knowing when we will be caused further misery is quite debilitating, especially to those of us nearing retirement and in our sixties and seventies.

23. If this Proposal was approved and the Centre built directly in our 'backyards' then we would be exposed indefinitely to measurable risk harm not just from the current Ice Epidemic, but also to the horror of addictive behaviour caused by new drugs through the inevitable development, and production of THE DRUGS OF ADDICTION YET TO COME.

    It is only 'yesterday' that a 'druggie' was a student in the café smoking dope at Monash Uni and 'growing up' to become a senior government official. What percentage of the addicts to the next generation of Meth based drugs are likely to become highly productive citizens? What about entirely new and even worse addictions? It would be too late then to appeal this Outlook location. We would be stuck with it, our children would be stuck with it etc.

24. We also have experienced high levels of stress caused by the seemingly untrustworthy and contemptuous of our concerns behaviour of the WRAD Outlook Committee. Seeing how they have treated us, then reading on their brochure that ... 'care and concern for the safety and security of neighbours is paramount', and experiencing how they have treated us as potential neighbours, leaves us extremely concerned for not only our own wellbeing, but the wellbeing of such a vulnerable group of participants.

    [I propose the election of a new Outlook Committee to make progress in selection of a suitable site. Previous hiding of their actions from us fund-raising residents, knowing full well that the site was too close, unsuitable and destructive of the lifestyle of the families in the six immediately adjacent homes, let alone the twenty homes in the immediate locale, let alone the kinder or the day-care centre directly over the bridge and opposite the basketball rink has produced a very negative reaction. The South-West residential communities could then have input into the election of a new committee that would stop the horrific waste of money that we the community raised for Outlook. They could then rebuild the trust of the residents of the Warrnambool District. People are not stupid, they realise that it could be them, not us sitting up late at night writing to try and regain your precious sense of security. This new committee could be relied on to publish responsible site selection guidelines and get going on the hard work of the arduous challenge of finding, for example, a suitable and proper farm block at least twenty kilometres out of Warrnambool. It is so unfair that the present committee members have squandered the Drug Addict Community their first, and most deserved shot at having a well-sited Outlook Centre. We could not raise another cent if the existing committee persists.]

25. Disruption of the essential quiet required for the Horse and Rider Rehabilitation Sessions conducted regularly by our daughter Bonnie in the specially constructed half-size dressage arena at the rear of our block and adjacent to the fire access gate to the Atkinson's Lane site. The riders being rehabilitated are often Pony Club Girls. The parents trust our daughter to provide the essential quiet in the arena area. Bonnie locks the dogs away and notifies any in the vicinity of the risks involved before she commences each session. Participants in the Outlook Program would access direct overlook of this area. Their conversation (or cat-calling) would constitute a very serious risk of injury to our daughter, the horse and or the rider.

The procedures involved in the arena are extremely complex and the horse and rider usually commence Bonnie's program because of bolting, or bucking etc Immense care and concentration is required to retrain them. The right location was most carefully established. (Bonnie is not your average local 'horse whisperer'. She returned recently from a year living and working in outer London (UK) with the coach of the then World Champion, Olympic Gold Medal winner (who 'spotted' Bonnie training and riding 'Horse of the Year' at Equitana). Two years prior to that she did the same thing with the Dutch Coach of the Dutch Olympic Team Dressage Coaches. She currently also 'Specials' and then straps horses for Darren Weir. Among her recent success stories are a fourth in this year's Melbourne Cup and winning The Emirates at Sandown).

26. This Dressage Arena cost many thousands to construct and it is unreasonable to impose the massive cost of relocation on us. Granting of a permit to Outlook would result in an immediate and exponential increase in population and associated noise and activity in what was the perfect quiet rural neighbourhood. This is the antithesis of housing and occupying some hundred disaffected, and routinely unsuccessful transients over the foreseeable future on the Atkinson's Lane location.

27. Furthermore, conservative estimates by local independent real estate agents have quoted an immediate 25% decrease in the value of properties surrounding the proposed development. This means that the value of our hard work to improve this property over the past fifteen years has already been immediately and irrevocably diminished while the planning outcome is uncertain.

28. Overall disruption to our animal husbandry. Our ability to care for our livestock using our usual management techniques is compromised. There is clear and demonstrable imposition on our Right to 'Farm'. In hobby farm areas you know for certain that your small land-holding neighbours will have all worked hard for precisely the same cottager ideals. You are not the slightest bit worried about your dogs or your cats or your ponies, your chooks and your pig and your rhubarb beds or your huge, temporarily unlocked workshop with its gun safe and easy to sell tools. You mix freely and comfortably with your neighbours. They know your sheds and gates may be unlocked because theirs are, just like their keys don't always leave the ignition. In turn, whilst you may return home to find they have borrowed your chainsaw, you can be certain that you will get it back, serviced and if necessary repaired.

    You know from experience that your neighbours share your lifestyle and your concerns and won't leave a gate half unlocked and let your horses or house cow careen onto the highway (and smash through a windscreen and decapitate a passing motorist, like what happened on a nearby stretch of highway a couple of years ago).

29. We have a robust, evidence-based experience of higher than average safety and experience of security on our block. These are not simply, 'your feelings'. These states come from our lived experience. And it is no accident ... our home site was most carefully selected for the amenities offered.. The degree of semi-isolation, the peace of well-spaced family homes, yet conversely the security of being able to be heard by your neighbour if you were screaming for help. We wanted to be where our kids and the neighbour's kids roam free and climb our trees and ride ponies across several neighbouring farmlets to the beach.

    We would not have built here if groups of severely disadvantaged and 'poorly socialised' children of addicts were likely to come running across the neighbouring block, slip through our fence to play with our dog, and follow it into our sheds, during a 'family BBQ' activity at Outlook.

30. These rehabilitation centres carry the 'footprint' of previous dangerous violent actions by each new intake of participants. In any group of Ice addicts there are endless old scores to settle, both your own and those you owe something. Make no mistake, many are straight out of a long term 'dog eat dog' environment.

    It has also been alleged that the moment a participant absconds the immediate surrounds of the rehab facility, whatever that person does, including car theft or trespass or violence against our persons, Outlook will not be required to follow-up or record what has been done to us by the absconder. This person has left the program! ... 'Not our problem!' If in the following minutes the police are advised, the absconder avoids them by crossing our property and leaving the area via our lane. What happens when he/she is there is not the affair of the Outlook Centre. It is the resident's problem because that person allegedly caused the violence after he/she absconded and was 'removed' from the program. It is believed this is why WRAD people are able to say confidently that there have been NO INCIDENTS caused in the surrounding neighbourhoods of such facilities by participants. This is in utter contrast to the first hand evidence given to me by paramedics who are called when such incidents involving Ice Addicts occur.

31. The participants of the program are transient and have no commitment to our 'homesteader' ideals. It takes the average alcoholic at least SEVEN detox and treatment programs to 'make it'. Ice Addiction is at least as tenacious. Thus, most of the Ice Addict clients enter the program each year with the full criminal lifestyle profile, and return to their former Ice Ridden community. I myself volunteered my professional services at the Salvos former residential drug treatment centre in Warrnambool, and still see Ice Addicts privately and know their stories.

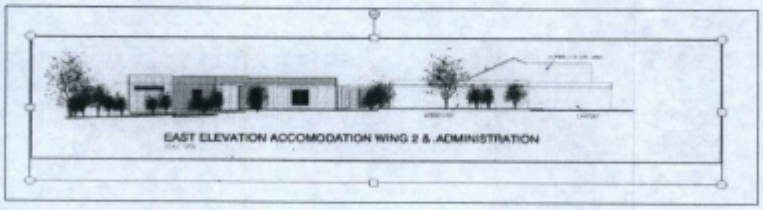
    It is demonstrably unreasonable to dump these threats on an open-residential-hobby farm area. Not only would it be stealing from local residents the wonderful amenity that was the prime reason for selecting a hobby block, it will be equally disadvantaging the participants by exposing them to unreasonable temptation to stray and steal and unreasonable risk of having intruders. Why should we have to lie awake stressing over how we are going to pay lawyers at VCAT. The Outlook/WRAD staff will be PAID to attend and be put up in a flash hotel and remain contemptuous of our attempts to protect our families from the threat of these intrusions on our lifestyle. I am trusting that council will squarely face up to the task of protecting us residents of the City of Warrnambool from the impositions threatened by this application.

Ice addicts tell me time and again that they don't know of anyone who makes it unless they are prepared for the cost of making a COMPLETE BREAK FROM THEIR SO CALLED SUPPORTIVE FORMER NETWORK. In order to get a fair go, the last thing they need is to be cooped up in a tiny block easily accessible at night by the drug dealer they owe money, or members of their little Ice Addict group bringing up a 'shout'.

Despite all this I remain firmly committed to our community building a Residential Addict Treatment Facility. Build it in say a high-density urban environment where the neighbours and their kids and their animals are all safe behind high fences and locked gates and may never interact should they so choose. Or build it twenty kilometres out in the country side like they have at Benalla. But I could never support this mistaken attempt of trying to fit it into a small residential rural area where it will attract dealer/'friends' who live close-by and never be a safe and proper fit for the local residents, their children their animals and impair their precious CHOSEN life-style.

32. Our block will provide a convenient short-cut to the bus-stop, post office, and supermarket (and bottle-shop). It will equally provide undetected access to the boundary fence by trouble makers, such as supplier 'friends' or 'out-to-bash' drug dealers owed money, who wish to 'interact' with these most vulnerable participants. The committee is supposed to choose a site well away from Warrnambool Ice 'hotspots' and give the participants at least a chance of 'making it'. The site is directly bounded by six homes in a homogenous residential-rural environment. Any siting of the proposed residential complexes to be built at the Outlook Centre is too close to our property and those of our neighbours. It would be the equivalent of gathering all of the adjacent homes into this one block and attempting to house the occupants in harmony with continuation of their present hobby farm pursuits.

33. Direct oversight of our backyard is an unacceptable intrusion.



The Proposed accommodation wing directly overlooks all of the hobby-block homes to the east including ours from this perspective Even more problematic is the tiny size of the site and the necessity for participants to work and play immediately adjacent to our four strand wire fences. No-one could afford to fence off a buffer zone around the site. Seedlings planted to tree the area will take more than ten years to reach their peculiar salt-wind stunted maturity. The thirty percent of seedlings, if you are lucky, that survive the rabbits and the salt wind in each planting may never reach full height and would take a minimum of ten years to provide shelter. The image of presently socialised Ice Addicts peering through a security mesh fence at my grandchildren is a less than satisfactory solution.

34. The program participants will also have direct oversight of another group of teenage girls who keep their ponies in the paddock on the south boundary and are dropped off by their mothers for a day of grooming and riding. Likewise, the Rundels Riding school a few hundred metres further on (en-route to the beach) has Horse Care Days of a Saturday for little girls who would be frightened by groups of as yet unreformed addicts loitering by to watch.

35. The security of our property and livestock is compromised by the presence of 20 itinerant residents (3 months maximum), many of whom have neither knowledge nor understanding of the need to shut gates to paddocks and avoid livestock escaping our grounds.

We house a number of animals including two large dogs that would be enticed on the Outlook Block by participants for a pat and a play. This is part of the essential nature of such wonderful animals. The other end of our L shaped block is on the Princes Highway, so it is essential that the dogs do not roam. It took more than a year to train our Golden Retriever to remain on our block. None of our Lifestyle Neighbours would allow the dog to follow them through the wire fence and off our property, but she loves people and would bark for attention and would be a magnet for a 'harmless play' with Program Participants. Also the old black lab sits on the porch and keeps watch, barking briefly whenever a neighbour stirs. He knows all of their cars and all of their routines. If the sound is unusual, he keeps barking and barking until we come out and re-assure him. Eventually this would result in us not being able to have dogs ... a severe loss.

36. As previously mentioned, WRAD's approach to the local community, including us has been tardy, inadequate and contemptuous of our concerns. My whole family is suffering significant stress, anxiety and mental health concerns as a result of the callous treatment by WRAD thus far. The chairman at the second WRAD presentation (at the Emmanuel Centre), stated publicly, and in a patronising tone, ... QUOTE ... 'No-one wants a centre like this in their back-yard'. As if, 'tough luck you drew the short straw'. The size of this most unwelcome and damaging impost cannot be just a cruel joke or a throw-away line at a public meeting. For us, the threat is a cruel truth. The committee knows that the average person in the Warrnambool Residential Areas would fight tooth and nail to avoid such an imposition. We fear the WRAD Committee using concealed pressure and tactics and other political strategies, rather than fair and open negotiation with the residential community. This is not the Australian Way. It is not a Fair Go. We feel helpless. Please continue to promote an Outlook Program, but stop them from bulldozing it into Atkinson's Lane Dennington: a totally wrong location.

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How will you be affected by the grant of a permit?
See the attached letter of objection above that makes a composite presentation of both concerns and how we would be affected.

Please refer to each same numbered item above, using this list as an 'index' only.

1. By concealing the true existence of us neighbours and cleverly portraying the site as part of a farming community and suitable for the current Outlook Program, the applicant seeks to gain an unethical and most unfair advantage over objector-residents including myself.

2. Unfair and unnecessary pressure by the Committee appearing to claim some over-riding imperative for selection of Atkinson's Lane for this project. The way they have ploughed ahead, relying on 'politics' in council to win, has put unfair and unnecessary pressure on the Warrnambool fund-raising community and the residents affected.

3. Too much pressure on all aspects of our community as a result of Warrnambool Centric attitudes by the applicant

4. Intrusion of the proposed Outlook program visually and through noise onto and over our property, long periods every day (and any warm night when the participants dance and play music in the recreation area), over an indefinite number of years would disadvantage us significantly.

5. The unreasonable proximity of any Intensive Residential Alcohol and other Drug Rehabilitation Program, together with the proposed, daily 'productive' outdoor activities for a large rolling cohort of severely disadvantaged participants is a use diametrically opposed to the current land use and would cause immediate degradation of the amenity of all of THE SIX IMMEDIATELY ADJACENT families, not the least ours.

6. Gross mismanagement, through not having a large enough site, greatly increases the risk of participants reverting to their long-term, habitual antisocial and criminal activities, in or around our property.

7. The scale of 'rural' hobby-enterprise in the hobby farm blocks in this Residential Rural Area are suited to the Active-Time available to a family of average size. The Outlook program is inconsistent with this and would cause disruption to the flow-of-events common to rural-residential pursuits. The residential centre is akin to having a small business industry operating next door – this increase in human and vehicular activity will have significant negative impact on the recreational and Hobby Farm pursuits on our property. We have a Right to Farm on our property according to the zoning regulations.

8. Bored and restless participants present danger of reverting to criminal activities involving my household. This adventurist-experimental location increases the risk of poor quality care of residents. Those few that might 'make it' deserve much better facilities both in accommodation, security and work opportunities.

9, It would be distressing for us to see program participants stuck outside in freezing conditions.

10. Unlike almost all the dozens of hobby farm homes along this strip, the Atkinson's Lane site slopes to the south and is whipped by salt winds for much of the year. Construction of amateur works associated with so called farming, such as shelter for seed-beds comprises a significant risk of the gales carrying dangerous material such as corrugated iron, onto and over our property.

11. Exposure to severe wind-chill will lead to sustained disaffection among participants, further increasing the likelihood of sneaking off to the shelter of established windbreaks on our adjoining properties, or sneaking across our property to the shops.

12. The current proposal for this location is based on a reckless disregard of the proper siting of successful Residential Drug and Alcohol Treatment and Workplace facilities. (It lacked published criteria for site- selection from the outset and selection appears to hinge solely on opportunistic gifting by a government agency). We cannot avoid being impacted directly by any negative activities of the participants.

13. The site would be a magnet for people who live nearby and who would be dangerously disruptive of the program and our safety.

14. It is not our responsibility to help socialise addicts who are not used to the freedom of movement we currently enjoy across our neighbours blocks.

15. The Effluent System proposed for the centre has two large outlet areas. There would be an unacceptable risk of such high volume eventually contaminating our Sweet Water Bore over time.

16. Unsatisfactory infrastructure in the site vicinity directly impacts on costs to neighbours for improvements to say roads and sewerage. Atkinson's Lane is just that. It is not a road or a street and two vehicles cannot safely pass on the lane. The need for improved infrastructure or the development of new infrastructure will likely create a financial impost on our property through future rates or direct costings.

17. Program participants are (initially at the very least) very unstable and abscond regularly from treatment Any establishment, immediately adjacent to our 3 strand farm fence, of a residential treatment and work-site would severely interfere with our peaceful daily lifestyle.

18. Our fences are designed for 'slipping through' and provide no security against any reversion to criminal behaviour by LRRC participants.

19. Our property is at high risk of being 'cased' for potential theft by associates of the participants, or by participants who have left the program.

20. A history of theft among participants increases the risk of violent acting out in close proximity to my family.

21. My young adult children's campfire sleepouts and parties adjacent to the site and in full view, would be incompatible with an Outlook program

22. Certain knowledge of the danger faced by proximity to groups of criminals and their visiting associates causes non-imaginary Fear and Anxiety.

23. We would also be exposed indefinitely to measurable risk harm not just from the current Ice Epidemic, but also to the horror of the sequential development, production and community effect of THE DRUGS OF ADDICTION YET TO COME.

24. We also have experienced high levels of stress caused by the untrustworthy and contemptuous behaviour of the more political sections of the WRAD Outlook Committee. Seeing how they have treated us as neighbours, then reading on their brochure that ... 'care and concern for the safety and security of neighbours is paramount', leaves us extremely concerned for the wellbeing of such vulnerable participants.

25. Disruption of the essential quiet required for the Horse and Rider Rehabilitation Sessions conducted regularly by our daughter Bonnie in the specially constructed half-size dressage arena at the rear of our block and adjacent to the fire access gate to the Atkinson's Lane site. The riders being rehabilitated are often Pony Club Girls. The parents trust our daughter to provide the essential quiet in the arena area. Bonnie locks the dogs away and notifies any in the vicinity of the risks involved before she commences each session. Participants in the Outlook Program would access direct overlook of this area. Their conversation (or cat-calling) would constitute a very serious risk of injury to our daughter, the horse and or the rider.

26. This Dressage Arena cost many thousands to construct and it is unreasonable to impose the massive cost of relocation on us.

27. Furthermore, conservative estimates by local independent real estate agents have quoted an immediate 25% decrease in the value of properties surrounding the proposed development. This means that the value of our hard work to improve this property over the past fifteen years has already been immediately and irrevocably diminished while the planning outcome is uncertain.

28. Overall disruption to our animal husbandry. Our ability to care for our livestock using our usual management techniques is compromised because these new rolling cohorts of neighbours, many of whom are unsocialised and have no personal investment in the art of 'taking care and respecting your neighbours' and in the art of taking special care with fencing and gates where animals are concerned.

29. Loss of free transit to and from neighbours several hobby-blocks distant and responsibility for transients.

30. Alleged lack of accountability by the LRRC when a participant absconds and causes us harm.

31. The participants of the program are transient and have no commitment to our 'homesteader' ideals. It takes the average alcoholic at least SEVEN detox and treatment programs to 'make it'. Ice Addiction is at least as tenacious. Thus, most of the Ice Addict clients enter the program each year with the full criminal lifestyle profile, and return to their former Ice Ridden community. Ordinary residents like ourselves need not be directly exposed to the pain of this cycle of despair among transient neighbours in such an open, shared-lifestyle environment.

32. Our block will provide a convenient short-cut to the bus-stop, post office, and supermarket (and bottle-shop). It will equally provide undetected access to the boundary fence by trouble makers, such as supplier 'friends' or 'out-to-bash' drug dealers owed money, who wish to 'interact' with these most vulnerable participants. We have in excess of ten gates on our property which we have never needed to lock. The presence of residents, who may have no understanding of the rural lifestyle, will not shut gates should they decide to use our property to walk to the highway (see above). We will now need to use keyed locks on all gates and sheds to protect our animals and birds from unwitting or intentional disregard.

33. Direct oversight of our backyard from the windows of the accommodation buildings is an unacceptable intrusion on our right to privacy.

34. The program participants will also have direct oversight of another group of teenage riders who keep their ponies in the paddock on the south boundary and are dropped off by their mothers for a day of grooming and riding. My daughter and soon my grandchildren have involvement here.

35. The security of our property and livestock is compromised by the presence of 20 itinerant residents (3 months maximum), many of whom have neither knowledge nor understanding of the need to shut gates to paddocks and avoid livestock escaping our grounds. We house a large number of animals including two large dogs that would be enticed on the Outlook Block by participants for a pat and a play. This is part of the essential nature of such wonderful animals. One end of our block is on the Princes Highway so it is essential that the dogs and other animals do not roam through our wire strand fences.

36. As previously mentioned, WRAD's approach to the local community, including us has been tardy, inadequate and apparently contemptuous of our concerns.

WRAD Staff are protected by Duress Alarm Buttons in each area of possible contact with Ice Addicts. Do we as existing neighbours deserve less security? Who will pay for all the alarms on my property and in my home (for when we are inevitably 'visited' by a program participant)? How will they be connected to Drug and Alcohol Emergency Services and the Police?

Dear councillor, Please put a stop to the reckless madness of this application.

Yours Faithfully
Murray S KINGSLEY

5/8/18

43 Princes Highway Dennington (the southern part of our hobby-block adjoins 43 Atkinson's Lane)
0408724640

Attachment 4

MOYNE SHIRE

29 June 2018

Mr B Anson
Chief Executive Officer
Warrnambool City Council
PO Box 198
WARRNAMBOOL 3280

Attention: James Phillips, Co-ordinator City Development

Dear Sir

Planning Application No – PP2018-0105 - Proposed Use and Development of a Residential Alcohol and Other Drug Rehabilitation Centre

I refer to Notice of an Application for Planning Permit for the above use and development.

A report (copy attached) was presented to the Ordinary Council Meeting on 26 June 2018. Council resolved to advise your Council of its support for the proposed use and development.

Yours faithfully

Oliver Moles
Director Sustainable Development

12. Proposed Residential Alcohol and Other Drug Rehabilitation Centre, 43 Atkinsons Lane, Dennington

Presented to **Council Meeting - 26 June 2018**
Presented by Director Sustainable Development
Report Author Director Sustainable Development
Attachment(s) WRAD Community Campaign Launch

Officer's Recommendation

That Council determine its position with respect to the proposed Residential Drug and Rehabilitation Centre at 43 Atkinsons Lane, Dennington.

Synopsis

The Western Region Alcohol and Drug Centre Inc. (WRAD) is proposing a residential alcohol and other drug rehabilitation centre (The Lookout Residential Rehabilitation Centre) at 43 Atkinsons Lane, Dennington, within the municipality of Warrnambool. The applicant on behalf of WRAD is the Myers Group, Planning Consultancy. Notice of the application has been given to Moyne Shire Council because the subject land is close to Moyne's municipal boundary (Atkinsons Lane is the boundary between Moyne and Warrnambool).

Submissions on the application close on 28 June.

This report is intended to assist Council to decide if it wishes to make a submission.

Background

The subject site is located on the eastern side of Atkinsons Lane, approximately 350 metres south of the Princes Highway. Generally rectangular in shape, the land has an area of approximately 3.27 hectares. Setback 60 metres east from the western (front) boundary is an existing building (former dwelling) previously associated with disability services, two rainwater tanks, a carport and a workshop.

The subject land is Farming Zone under the Warrnambool Planning Scheme. In the Farming Zone a permit is required for both the use and development of the land for the proposed purpose.

Lots in the surrounding area range between 2.5 hectares to 35 hectares and are used for farming and rural residential purposes. Figures 1 and 2 below illustrate this.

The application's Planning Report states that a maximum of 10 staff and 20 residents will be on site at any one time. Residential accommodation is proposed for all residents and two staff in two new accommodation wings. The existing dwelling will be used for office and administration. Car parking for 12 cars is also proposed.

Figure 1 – Area context

Figure 2 – Site context

Strategic Link

Warrnambool Planning Scheme

Planning and Environment Act 1987

Discussion

Councillors have previously been provided with access to the application and suite of accompanying reports.

The subject property as stated earlier is within the Farming Zone. The small size of the land and its previous use by Western District Employment Access Services as a training centre means that it has not been used for agricultural purposes for some time. Given the pattern of development and the small lot sizes, it is doubtful that the land can make any significant difference to agricultural production and the purpose of the Farming Zone.

VCAT reviewed a decision by Moira Shire Council (P1789/2016 – 104 Watters Road, Numurkah) to refuse a similar use in the Farming Zone and determined that a permit should be granted. It found that the impact upon agricultural land would be minimal and there would not be unacceptable amenity impacts.

It is worthy of note that the Tribunal's decision related to a site of 26.64 ha, whereas the Dennington land is only 3.27 ha approximately. The Watters Road site was buffered well by Nine Mile Creek on the northern and western sides and no other houses in the immediate vicinity. By contrast the Dennington land is small, and is situated in the midst of several other dwellings on generally small lots (to the west, there are several dwellings situated within Moyne). Consequently, perceived amenity impacts in each case would be different.

Section 60 of the Planning and Environment Act 1987 sets out the matters a responsible authority should consider with a planning application for use or development. While Council is not the responsible authority in this case, because the land is within Warrnambool, nonetheless it is useful to look at the relevant considerations:

"(1) Before deciding on an application, the responsible authority must consider—

(a) the relevant planning scheme; and

(b) the objectives of planning in Victoria; and

(c) all objections and other submissions which it has received and which have not been withdrawn; and

(d) any decision and comments of a referral authority which it has received; and

(e) any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development; and

(f) any significant social effects and economic effects which the responsible authority considers the use or development may have."

Sub-sections (e) and (f) require consideration of environmental, social and economic effects.

The subject land has been previously developed with a dwelling that in recent years has been used for training purposes by Western District Employment Access. Additional development on the site would consist of the two accommodation wings and a carpark. These would have minimal effects on the environment having regard to the existing environmental qualities of the land, which has been disturbed and modified over time.

Social effects can be viewed in different ways. For neighbouring residents, some may consider there would be an adverse social impact upon their lifestyle attributable to anticipated adverse behaviour by users of the property extending beyond the boundaries of the subject land. For families of the persons seeking rehabilitation and the users themselves, they would consider the operation of the centre to have positive social and economic effects by assisting the users to return to normal life within their family and the community.

The prospect of users causing adverse impacts beyond the boundaries of the subject land will depend on a variety of factors, including (but not limited to) how well managed the centre is, and the supervision arrangements.

A proposed Management Plan dated May 2018, was submitted with the planning application. It outlines the staffing within the centre and the qualifications of the staff. It also lists the "house rules" for the centre users, which include no drugs, no violence or threats etc (P9). Users of the facility are to be alcohol and drug free at the time of admission (P6). Residential accommodation for two staff is proposed, providing for on-premises night-time supervision (P18). There would also be controlled window exits, CCTV on exits and on the front gate of the property. Alarms would be installed on exits and activated in the evening (P18). *Attachment 1* contains more general information about the facility.

Council needs to determine whether it wishes to make a submission either for or against the proposal. Residents of Moyne have the right to make their own, individual submission but Council also may make a submission, which desirably would focus upon the orderly and proper planning of the locality ie how it is now and how it might be in the future.

Warrnambool has not identified this locality in any special strategic way under their planning scheme and has a 15 hectare minimum lot size. Moyne has applied a Significant Landscape Overlay, with a 10 hectare minimum for subdivision or as-of-right use for a dwelling. Policy associated with the Overlay is mainly focussed on control of development to limit its impact upon the landscape.

As previously discussed, the surrounding properties are generally smaller sized lots used for rural residential purposes. The locality is bounded to the west by Farming Zone consisting of agricultural or rural residential properties within Moyne. To the east across the bridge within Warrnambool land uses and developments are urban in nature and consist of housing neighbourhoods, interspersed with some industry, shops and childcare centres etc.

The subject land and its locality could be described as peri-urban (ie a transitional area) which marks a gradual change from urban, intensive land uses to rural-residential of a lower density, and then onto broader-scale farming use. The rural-residential use close to the subject land typically provides a "buffer zone" between agricultural activity and urban dwellings on standard residential lots. Provided the current planning controls remain, this area will probably remain unchanged in the immediate future. Therefore, the proposed use and development of the subject land must be assessed in terms of its compatibility with surrounding rural-residential land use.

In purely town planning terms, the proposal can be supported at this location because:

- There is no strategic direction/policy that discourages such use in this locality;
- The subject site is large enough for the accommodation extensions;
- Adequate room exists for car parking and landscaping;
- People using the centre are to be admitted on the basis of already being drug and alcohol free;
- Strict rules governing behaviours will apply;
- Security measures will be in place and there will be trained staff on premises;
- Noise levels associated with activities on the site are unlikely to be unreasonable for a rural-residential locality;
- Ease of access to Warrnambool's CBD and facilities and services.

It should be noted that at the time of writing this report, grounds of objection by neighbouring property owners and others were not known and could not be evaluated.

In social terms, Council's Municipal Health and Wellbeing Plan provides some information about alcohol in our community:

"*People who were at risk of short term harm from alcohol in 2015*

Moyne 35.7% *Victoria 29.4%*"

Moyne had a higher risk of short-term harm than Victoria. The proposed facility will assist in dealing with this.

Consultation

Warrnambool City Council

Financial Implications

Costs associated with representation at VCAT (if required)

Risk

Minimal

Conclusion

Council has been notified of a proposal for a drug and alcohol rehabilitation facility on its municipal boundary. Council may choose to object, put in a submission of support, or not comment. Either an objection or a submission of support would allow Council to be party to a review at VCAT should one eventuate.

brophy
family and youth services

5th July 2018

Bruce Anson
Chief Executive Officer
Warrnambool City Council
Liebig St,
Warrnambool, Victoria 3280

I am writing on behalf of Brophy Family and Youth Services to Support WRAD's proposal to develop a Residential Rehabilitation Program in South West Victoria.

Brophy operates a range of services including Family Services, the Family Violence Counselling program, Kinship Family Services, Men's and Family Relationships program and the Men's Behaviour Change Program.

As you are aware issues around domestic violence and family support have strong links to Alcohol and other Drug issues and this is one example of how Brophy and WRAD work together across a broader service delivery context.

Brophy are also responsible for the headspace services in South West Victoria and WRAD is represented on the Executive to advise on alcohol and drug related matters. Brophy and WRAD are also partners in the DARE Early Intervention program that focuses on youth experiencing substance related problems in the early stages and working across the Secondary Education system.
Brophy are also on the Executive of the Great South Coast Drug and Alcohol Treatment Services consortium alongside the local hospital and the Portland District Health Service.

As demonstrated in the above partnerships Brophy and WRAD have a strong strategic relationship and I have been closely associated with the development of the Residential Rehabilitation proposal over the last 18 months. As an Executive member of the Great South coast Executive I was also involved in the catchment based planning process that identified this treatment continuum as the number one service gap across the region.

Through my role I have witnessed the damage that homelessness, employment, education gaps ,alcohol and drug abuse and family related violence contributes to. I believe that this region needs a Residential Rehabilitation program. This will complement the range of alcohol and drug services available to address the complex issues presented and focus on the underlying issues that complicate recovery for this client group.

I support the WRAD proposal based on the benefits to clients, families and the local community.
As a strategic partner Brophy will also be directly involved with the proposed residential rehabilitation service.

I am happy to address any of the matters raised in my support letter.

Yours sincerely,

FRANCIS BROEKMAN
CEO
Brophy Family & Youth Services

Warrnambool City Council
0 JUL 2018
Ref N°
Officer
Scanned Yes / No Ch:

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Email: admin@brophy.org.au

MH | McLAREN HUNT
AUDIT AND ASSURANCE

27th June, 2018

Warrnambool City Council
2 JUL 2018
Ref N°
Officer
Scanned Yes / No Ch:

Warrnambool City Council
Liebig Street
WARRNAMBOOL 3280

Letter of Support for the Lookout Rehabilitation Centre

TO WHOM IT MAY CONCERN

I am writing in my capacity as a partner at McLaren Hunt Financial Group, who have provided a financial donation to the Lookout project which will be based in Warrnambool. I have also had a long time association with the WRAD Committee of Management as Treasurer until the end of 2016. In this role I became aware of the urgent gap in service provision to support alcohol and other drug clients in recovery.

My understanding is that currently clients requiring this well researched and effective model of service delivery are on long waiting list and referred out of the region away from family and friends and the community. It is important to understand that alcohol and other drugs are affecting all facets of the local community and the problem is complex and is not only a drug issue but significant health and wellbeing dilemma.

As a business leader who is invested in the economy and health of our local community I believe that it is important that we all support the Lookout Residential Rehabilitation Centre. This much needed project will increase employment and provide benefits to individuals engaged in treatment that include reduced crime, improved family relationships and provide hope for those who need it.

I believe that we need to invest in providing support and rehabilitation for those clients struggling with alcohol and other drug dependence. I ask that the Warrnambool City Council consider the merits of this project based on the projected gains into the future.

Regards,

CHRIS KOL
McLAREN HUNT FINANCIAL GROUP

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244 Liebig Street,

Warrnambool Vic 3280

0418 518 870

I write in support of the Lookout Residential Rehabilitation Centre and its proposed location at Atkinson's Road, Dennington.

I am a donor to the project and have been keen to understand the process and the progress that the Lookout Project Committee have undertaken to lobby government for financial support and to garner strong support from the Community, both financial for a facility that is much needed in our region.

In order to understand the community concerns that may exist regarding the placement of the center at the Atkinson's Road location I attended the meeting held at Emmanuel College on 21 June, 2018, at which the Committee representatives, police and CEO of Odyssey House were able to address questions from the floor and outline the benefits of the proposed rural based Centre including most importantly to me the advantage of having a regional residential rehab Centre within our region, the ready access to local and ongoing services for the residents, acreage to allow for outdoor activity, space and distance from the CBD.

I understand the benefits of the Lookout being placed on the Atkinson's site including its current partial government ownership which the Committee are seeking to have transferred over to the project, the proximity to support services and agencies, and that the concerns voiced by some community members at the meeting such as water access, sewerage, road access, fire services etc would be addressed by Warrnambool City Council in their permits issued.

I am most concerned that comments made by certain community members indicate *full support for the project…but not in my back yard.* Community members that face the huge challenge of recovering from long term alcohol and drug addiction and and chose to attend a residential rehabilitation program should be fully supported in a location that has the benefits attributed to successful programs elsewhere. The Odyssey programs in Benalla particularly resonated with me and I feel sure that with WCC support and the program and support of our community and health agencies within the region, that the Aitkinson Road site would be an ideal location for the Lookout.

FELICITY MELICAN

16/7/18

SWAHP
SOUTH WEST ABORIGINAL HEALTH PARTNERSHIP

26 July 2018

Dear Bruce,

Re: Letter of Support for 'The Lookout' Residential Alcohol and Other Drugs Rehabilitation Centre

It is with great pleasure that the South West Aboriginal Health Partnership (SWAHP) provides and gives our full support to 'The Lookout' project and their endeavor to secure funding to have a Residential Alcohol and Other Drugs Rehabilitation Centre here in the Great South Coast.

SWAHP is a partnership between 4 local Aboriginal Community Controlled Health organisations in South West Victoria, the aim of this consortium is to address, and to work in partnership towards improving the health and well-being status of Aboriginal people in our region.

We believe this is a much needed resource for our region that will help and support our service responses for the community. At present between agencies across the Great South Coast we have between 50-60 Aboriginal community members accessing Alcohol and other Drugs services, anecdotally between stakeholders we believe the correct figures to be almost double that.

Between our organisations we have always found it challenging to get our community members to address the substance abuse issues via Rehabilitation Centre's mostly due community members not willing to leave their homelands. We believe the proposed facility on Country will be an excellent and appropriate

step to assist local Aboriginal residents accessing such a response and would fill the gap that is so desperately needed for our community and the wider community.

Each of our SWAHP organisations have strong collaborative networks and excellent established relationships and reciprocal referral pathways with stakeholders in this project. As Aboriginal specialist partners we will be actively involved in the design and cultural characteristics of the project if successful, to ensure that the proposed facility is culturally safe and respectful for our community.

We wish 'The Lookout' Residential Alcohol and Other Drugs Rehabilitation Centre project every success with their endeavors to obtain funding for this extremely worthwhile project for our region.

Yours sincerely,

John Bell - CEO
Dhauwurd-Wurrung Elderly & Community Health Service

Michael Bell - CEO
Winda-Mara Aboriginal Corporation

Nonnie Harridine - CEO
Kirrae Health Service

Jason Kanoa - CEO
Gunditjmara Aboriginal Cooperative

DETAILED PLANNING ASSESSMENT

PROPOSAL

The proposal is for the use and development of the site as a residential drug and alcohol rehabilitation centre. The proposal would convert an existing former dwelling (more recently utilised by Western District Employment Access Community Day Services) into an administrative wing while two single storey accommodation wings would be constructed to the south.

The facility proposes to accommodate 10 resident bedrooms and a single staff bedroom, office space, kitchens, dining rooms, a library, medical room, and group and recreational space. The existing workshop and water tanks are proposed to be retained.

The accommodation wings are proposed to be single storey in height and constructed in Colorbond wall cladding and painted sheet panel cladding with aluminium windows and doors. No detail on the colours or hues of the materials has been provided.

The existing accessway is proposed to be retained and additional areas are proposed to be created adjacent to the administrative wing to accommodate 12 car parking spaces.

Additional landscaping has been proposed around the perimeter of the site and around the proposed facility. No detail has been provided on the species or size at planting of the landscaping.

The proposed facility will accommodate up to 20 residents and 10 staff at any one time. The facility will accommodate approximately 80 residents per year that are suffering from problematic alcohol and other drug (AOD) use and associated issues. The facility will cater for two overnight staff. The program for residents includes gardening, orchard and animal care activities.

A proposed management plan, prepared by Western Region Alcohol and Drug Centre Inc (WRAD), and a land capability assessment for on-site wastewater management, prepared by Paul Williams and Associates Pty Ltd, have been submitted in support of the application.

The proposed management plan details eligibility for residents of the facility and includes being 18 years or older, AOD free on admission and voluntary. Exclusions to admission include being charged with sex offences at any time, where a current offence is defined as a serious or violent offence, those whose who have not yet completed AOD withdrawal, and behavioural and other factors that impact on treatment success.

An on-site effluent system is proposed to the east of the existing building that has been designed to cater for 45 persons. Two effluent areas are illustrated on the advertised plan.

BACKGROUND

The site currently accommodates a dwelling, workshop and rainwater tanks that have formerly been used for disability services The Council's property file includes documentation of a supported employment and adult training for the disabled use operating from 1998 (Yalunda Support Services and Vantage Meaningful Opportunities). Vegetation is limited to around the dwelling and the south-western portion of the site. The remainder of the site is pasture.

Dennington Neighbourhood Activity Centre is located approximately 1.7 kilometre to the east, comprising a range of local retail, commercial and community facilities. Princes Highway to the north connects the area with Warrnambool. The Merri River passes within 400 metres of the subject site.

Figure 1: Subject site (Image source: Nearmap 2018)

Within a radius of 250m from the boundary of the subject site there are nine (9) dwellings. The Dennington Bowls Club and Rowing Club are approximately 900m from the subject site. The Dennington Neighbourhood Activity Centre is approximately 1.7km from the site The subject site is within the Farming Zone (FZ). **Refer Appendix 5 – Zone and Map**

Pursuant to Clause 35.07 of the Scheme, a planning permit is required for:

- the use of the land for a residential alcohol and drug rehabilitation centre being a section 2 innominate land use; and
- construction of a building or construction or carrying out of works associated with a permit required use.

The application was notified pursuant to Section 52 of the Planning and Environment Act 1987 (Act). Notification comprised letters to adjoining properties, a sign on site and a notice in the local newspaper for a period of two weeks.

The application received 34 objections, which raise the following concerns:

- Lack of consultation
- Safety and security concerns for nearby bowls club, callisthenics club, horse riding groups, and other community groups
- Incompatible with surrounding nearby sensitive uses including a school, kindergarten and childcare facility within 3km of the site
- Safety and security concerns for neighbours
- Insufficient water supply for fire fighting and water useage
- Capability of land to accommodate septic system
- Proximity to neighbours
- Security of centre – surveillance and fencing

- Access issues
- Single point of access makes site vulnerable during emergencies
- Land too small for facility
- Location too close to city centre
- Traffic generation
- Impact on neighbouring property values
- Loss of privacy
- Plan of subdivision misleading
- Lack of servicing, including reticulated water supply and wastewater disposal, and public transport
- Effluent system contaminating existing bores, Merri River and water table
- Noise and disturbance
- Planning report in support of the application is misleading
- Conflict of interest for board members of WRAD
- Reverse sensitivity impacts on surrounding hobby farms
- Proposal inconsistent with purpose of Farming Zone and State Planning Policy Framework
- Incompatible with neighbourhood character and scale of development in area
- Scale of intensity of use incompatible with area
- Potential for future expansion

Four (4) submissions of support have been received.

ISSUES

The relevant considerations in the assessment of the application, in addition to the decision guidelines of Clause 65, include whether the proposal meets the purpose of the Farming Zone in addition to the Planning Policy Framework, Municipal Strategic Statement and Local Planning Policy. A detailed planning assessment is included in this report.

A response to the issues raised in the objections is provided throughout this report, however, additional consideration of issues raised in the objections are as follows:

Lack of consultation

The application was advertised by way of letters to surrounding owners, a sign on site and a notice in the local newspaper. This satisfies the statutory requirement to provide notice of a planning application pursuant to Sections 52(1)(a) and (d) of the *Planning and Environment Act 1987* (the Act).

The applicant has indicated that there has also been consultation sessions with the community prior to the lodgement of the application; however, such pre-lodgement consultation is not a requirement of the Act and, if undertaken, has been done so voluntarily to provide informal information to the community.Water supply for fire-fighting purposes

The application has been referred to the CFA who advise they do not object to the application subject to conditions being included on any permit issued relating to the supply of fire hydrants and access to CFA vehicle specifications. The applicant will be required to bear the cost of these works.

Impact on neighbouring property values

Fluctuations in property prices are not a relevant consideration in assessing an application under the provisions of *Act*, or the Warrnambool Planning Scheme. In addition, the Victorian Civil and Administrative Tribunal has consistently found that property values are not a relevant matter in the assessment of a planning application.

Plan of subdivision misleading

The plan of subdivision shows the legal boundaries of the parcel only and is not required to identify the wider subdivision pattern of the area. It is noted the plan of subdivision submitted with the title was registered at the Titles Office in 1994. The size of lots in proximity to the subject site and their uses can be appreciated using Council's GIS system and has been a consideration in the assessment of the application.

Conflict of interest for board members of WRAD

The assessment of the application will consider the planning merits of the proposal only. Consideration of the board members of WRAD have formed no part of this assessment.

Incompatible with neighbourhood character and scale of development in area

The scale of the proposal is not considered to undermine the rural character of the area. Limited visibility of the proposed single storey extensions to the existing building are likely from Atkinsons Lane. A condition of approval is recommended to require full details of the materials and finishes of the development. This enables Council to ensure the visual impacts of the development are minimised. A condition is also proposed that a Lighting Plan be submitted to ensure that on-site amenity can be managed and to ensure no unreasonable light spill occurs onto neighbouring properties.

Referrals

Public notice of the application was provided to Moyne Shire as Atkinsons Lane is the boundary between Moyne Shire and Warrnambool City Council (WCC). At Moyne Shire's Ordinary Council Meeting held on 26 June 2018, Moyne Shire Council resolved to advise WCC of its support for the proposal. **(Refer Appendix D – Moyne Shire submission)**

Wannon Water advise they do not object to the grant of a permit and note no reticulated water or sewerage services are available to the site.

Victoria Police advise they have no concerns with the proposal other than a request to ensure suitable accessibility of emergency service vehicles to the facility.

VicRoads advised they have no in principle objection to the proposal.

The CFA advises it has no objection to the proposal, subject to conditions being included on any permit to issue in relation to water supply and access. These conditions are considered to be appropriate and have been included in the recommendation.

Council's Health Department has advised all sewerage and sullage wastewater from the proposal must be discharged into a new EPA approved wastewater system with a disposal area of at least 1800m^2. All wastewater must be maintained within the boundaries of the land and be located as per the endorsed plans. Approval to install the system must be obtained from Warrnambool City Council Health Department. A condition to this effect should be included in any permit to issue.

Council's Local Laws Department have advised they do not object to the proposal.

Council's Building Surveyor advises he/she does not object to the proposal; however, a building permit will be required, and the Relevant Building Surveyor will assess the development against the relevant building permit criteria.

Council's Infrastructure services have requested a Traffic Impact Assessment be prepared by a suitably qualified engineer to assess the ability of the existing road (i.e. Atkinsons Lane) to accommodate increases in traffic, public lighting of the road reserve, access for emergency and waste collection vehicles, provision of a turn-around facility, and road safety and traffic management of the intersection with Illowa Road. Refer to the Parking and Access section of the report for further discussion.

Strategic Planning Policy

The strategic assessment of the application requires consideration of the Planning Policy Framework and the Local Planning Policy Framework in the Warrnambool Planning Scheme. In particular, policy in relation to the strategic importance of agricultural land, the potential for non-rural uses to compromise the continued operation of surrounding productive agricultural uses and the need for social and community facilities, specifically those dealing with alcohol and drug addiction must be considered.

Protection of agricultural land & primary production

Clause 11 advocates for planning to *"prevent environmental and amenity problems created by siting incompatible land uses close together."* Clause 13.07-1S includes the objective *"to safeguard community amenity while facilitating appropriate commercial, industrial or other uses with potential off-site effects."*

Strategies to achieve this objective include:

- *Directing land uses to appropriate locations; and*
- *Using a range of building design, urban design, operational and land use separation measures.*

Clause 14 recognises planning should ensure agricultural land is managed sustainably, while acknowledging the economic importance of agricultural production. Clause 14.01-1S contains the objective *"to protect the state's agricultural base by preserving productive farmland."*

Strategies to achieve this objective include:

- *Avoid permanent removal of productive agricultural land from the state's agricultural base without consideration of the economic importance of the land for the agricultural production and processing sectors.*
- *Protect productive farmland that is of strategic significance in the local or regional context.*
- *Protect productive agricultural land from unplanned loss due to permanent changes in land use.*
- *Prevent inappropriately dispersed urban activities in rural areas.*
- *Protect strategically important agricultural and primary production land from incompatible uses.*
- *Limit new housing development in rural areas by:*
    - *Directing housing growth into existing settlements.*
    - *Discouraging development of isolated small lots in the rural zones from use for dwellings or other incompatible uses.*
    - *Encouraging consolidation of existing isolated small lots in rural zones.*

- *In considering a proposal to use, subdivide or develop agricultural land, consider the:*
    - *Desirability and impacts of removing the land from primary production, given its agricultural productivity.*
    - *Impacts on the continuation of primary production on adjacent land, with particular regard to land values and the viability of infrastructure for such production.*
    - *Compatibility between the proposed or likely development and the existing use of the surrounding land.*
    - *The potential impacts of land use and development on the spread of plant and animal pests from areas of known infestation into agricultural areas.*
    - *Land capability.*

Clause 21.05-1 contains the objectives *"to maintain a diverse and economically viable agricultural sector" and "to prevent land use conflicts between agricultural uses and sensitive uses and ensure that use and development does not prejudice agricultural industries or the productive capacity of land and supports the processing of agricultural products."*

Strategies to achieve these objectives include:

- *Protect agricultural land in sustainable and productive units.*

- *Support diversification of rural land uses that are consistent with sustainable land and water resource management.*
- *Support intensive agricultural industries having regard to soil and water quality, the adequacy of infrastructure and the location of sensitive uses.*
- *Protect productive agricultural land from encroachment by uses which will limit the productive capacity of land.*
- *Discourage the unplanned expansion of urban uses and development into agricultural areas.*

Summary

The Warrnambool Planning Scheme contains strong policy support at the State and local level for the protection of productive agricultural land from the loss to non-productive uses and the inappropriate dispersing of urban activities and incompatible uses in rural areas. Applications for a non-productive use on agricultural land must be assessed against the desirability of removing the land from primary productivity, potential for reverse sensitivity impacts on adjacent productive uses, impacts on the continuation operation of productive uses on adjacent land with particular regard to land values and the viability of infrastructure, and the land capability of the site.

Social and health facilities

Clause 19 advocates for planning to recognise social needs by providing a range of community resource facilities and for development to enable efficient, equitable, accessible and timely access to social and physical infrastructure. Specifically, Clause 19 seeks for planning to recognise social needs by enabling a range of accessible community resources, including health and community support facilities.

Clause 19.02-1S outlines an objective to *"assist the integration of health facilities with local and regional communities".* Relevant strategies to achieve this objective include:

- *Facilitate the location of health and health-related facilities (including acute health, aged care, disability services and community care facilities) taking into account demographic trends, the existing and future demand requirements and the integration of services into communities.*
- *Plan public and private developments together, where possible, including some degree of flexibility in use.*
- *Locate hospitals and other large health facilities in designated health precincts and areas highly accessible to public and private transport.*
- *Provide adequate car parking for staff and visitors of health facilities.*

Strategies outlined at clause 19.02-1R being particular to the Great South Coast are as follows:

- *Create connections between key health institutions and major centres throughout the region.*
- *Support the renewal, maintenance and improvement of health facilities.*
- *Facilitate the development and expansion of medical precincts at Warrnambool.*

Clause 21.10-1 includes the objective *"to develop Warrnambool as the key specialist health service centre of South West Victoria".* It is acknowledged the strategies that relate to this objective refer to the Warrnambool Base Hospital, St John of God Warrnambool, Lyndoch Living and Gillin Park aged care facilities, and the Medical Services Precinct.

Summary

The Warrnambool Planning Scheme also provides clear policy support for community facilities, in particular health related facilities that recognise social needs and provide efficient, equitable, accessible and timely access to the community. The policy for health and health related facilities in Warrnambool seeks to facilitate these uses taking into account demographic trends, existing and future demand and the integration of services into communities. The high-level policy seeking adequate car parking for staff and visitors of health facilities (at clause 19.02-1S) gives the car parking requirement for any such use particular importance.

Strategic Assessment

At a strategic level the assessment of the proposal should balance the loss of agricultural land and potential to compromise the productive potential of the surrounding area, with the need for health-

related facilities that serve community needs in appropriate locations. This balancing exercise must also have regard to whether the siting of the facility would have an unreasonable impact on the amenity of the area.

To this end, the Planning Scheme calls upon Council to adopt an integrated decision making approach, as per clause 71.02-3 of the Scheme which provides:

> Society has various needs and expectations such as land for settlement, protection of the environment, economic wellbeing, various social needs, proper management of resources and infrastructure. Planning aims to meet these needs and expectations by addressing aspects of economic, environmental and social wellbeing affected by land use and development.
>
> Planning and responsible authorities **should endeavour to integrate the range of planning policies relevant to the issues to be determined and balance conflicting objectives in favour of net community benefit and sustainable development for the benefit of present and future generations**. However, in bushfire affected areas, planning and responsible authorities must prioritise the protection of human life over all other policy considerations.
>
> Planning authorities should identify the potential for regional impacts in their decision making and coordinate strategic planning with their neighbours and other public bodies to achieve sustainable development and effective and efficient use of resources.

Ultimately, it must be determined whether the proposal would provide a net community benefit.

In *Australian Community Support Organisation V Moira SC* [2017] VCAT 1133, Senior Member Hewet and Member Keddie considered an application for a residential alcohol and drug rehabilitation centre in a Farming Zone in Numurkah. The Tribunal found that careful consideration must be given to applications for non-agricultural uses in agricultural areas *"because often, it is the cumulative impact of many individual decisions that ultimately lead to the degradation of individual agricultural uses and the viability of an agricultural area more generally."*

The Warrnambool Planning Scheme contains a strong strategic directive for the protection of productive agricultural land from the loss of land to non-productive uses and the inappropriate dispersing of urban activities and incompatible uses in rural areas. The policy requires all applications for a non-productive use on agricultural land to be assessed against the desirability of removing the land from primary productivity, potential for reverse sensitivity impacts on adjacent productive uses, impacts on the continuation operation of productive uses on adjacent land with particular regard to land values and the viability of infrastructure, and the land capability of the site.

Council records indicate the previous use of the land as a disability training and support service facility for approximately 20 years. However, it is understood this use ceased and the property vacated. The proposed use, in part within an existing building, is not considered to represent a loss of productive agricultural land. In addition, the relatively small scale of the site limits its primary production potential. The limited impact of the loss of the site from the agricultural land base is not considered to weigh strongly against the grant of a permit.

The fragmented lot sizes around the proposal site and the existing dwellings and hobby farms on these lots limit the productive potential of the area. In this context the potential for reverse sensitivity impacts associated with the proposed residential alcohol and drug rehabilitation facility that may constrain productive agricultural uses now, and in the future, is considered to be low.

The proposed residential alcohol and other drug rehabilitation centre would not act as a precedent for urban uses to establish in the area, and there is no nexus associated with the use that would encourage other non-rural uses to co-locate near the proposal. In any event, such applications would be assessed on a site by site basis. In addition, the proposal does not involve the subdivision of a

lot from a larger productive lot which may encourage other such proposals. In this context the proposal is considered unlikely to encourage speculation or put upward pressure on property prices to the detriment of agricultural production.

The land capability of the site is assessed in greater detail later in the report; however, a land capability assessment for on-site wastewater management, prepared by Paul Williams and Associates Pty Ltd, demonstrates the proposal can suitably be accommodated on-site. A matter that can be further managed by the application of appropriate planning permit conditions, as required by Council's Health department.

The Warrnambool Planning Scheme provides clear policy support for community facilities, in particular, health related facilities that recognise social needs and provide efficient, equitable, accessible and timely access to the community. The proposed Management Plan for the Lookout Residential Rehabilitation Centre, submitted in support of the application, identifies a need, articulated in the Great South Coast AOD Plan, for "*residential rehabilitation beds in the catchment for individuals requiring intensive support in their recovery that cannot be met by therapeutic non-residential services".* It is considered the applicant has demonstrated there is a clear need for a residential alcohol and other drug rehabilitation facility in the region due to the lack of such a facility at present and the levels of alcohol and other drug addiction in the region.

In the Moira case the Tribunal also acknowledged the growing drug and alcohol addiction in the community generally and within the Moira Shire specifically, and the availability of different types of drugs which necessitate new approaches to the treatment of addiction. The Tribunal found the demonstrable need for alcohol and drug rehabilitation facilities is a *"relevant and influential consideration in the exercise of discretion"* when considering a rehabilitation centre in the context of a Farming Zone and surrounding agricultural activities.

In the context of this proposal, the need for the residential rehabilitation facility is considered a key consideration weighing in support of the application.

The Warrnambool Planning Policy Framework seeks to facilitate health and health related facilities taking into account demographic trends, existing and future demand and the integration of services into communities..

The Warrnambool Planning Policy Framework includes a policy that specifically seeks adequate car parking for staff and visitors of health facilities which gives the car parking requirement for any such use particular importance. The parking provision proposed is discussed in greater detail later in the report; however, it is noted the proposal meets the statutory parking requirement.

In summary, it is considered there is a need for a residential alcohol and other drug rehabilitation facility in the region due to the lack of such a facility at present and the alcohol and other drug problems experienced in the region. The need for alcohol and drug rehabilitation facilities in the area is considered to outweigh the negligible impact on the loss of agricultural land or the limited potential impact on surrounding productive uses or in respect of general off-site amenity impacts The proposal is considered to be appropriately located taking into account the operational needs of the use and the policy directive to have a degree of integration between health-related facilities and the community. The proposal is also considered to provide an appropriate level of parking for staff and visitors thus mitigating off-site amenity impacts.

Zoning Provisions

The subject site is within the Farming Zone.

The purpose of this zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To provide for the use of land for agriculture.*
- *To encourage the retention of productive agricultural land.*
- *To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture.*

- *To encourage the retention of employment and population to support rural communities.*
- *To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.*

Pursuant to Clause 35.07-1, a permit is required to use land for residential alcohol and drug rehabilitation centre (an innominate use).

Pursuant to Clause 35.07-4, a permit is required to construct a building or construct or carry out works associated with a use in section 2 of Clause 35.07-1.

Decision Guidelines

Decision Guidelines of relevance to the proposal are as follows:

General issues

- The Municipal Planning Strategy and the Planning Policy Framework.
- Any Regional Catchment Strategy and associated plan applying to the land.
- The capability of the land to accommodate the proposed use or development, including the disposal of effluent.
- How the use or development relates to sustainable land management.
- Whether the site is suitable for the use or development and whether the proposal is compatible with adjoining and nearby land uses.
- How the use and development makes use of existing infrastructure and services.

Agricultural issues and the impacts on non-agricultural uses

- Whether the use or development will support and enhance agricultural production.
- Whether the use or development will adversely affect soil quality or permanently remove land from agricultural production.
- The potential for the use or development to limit the operation and expansion of adjoining and nearby agricultural uses.
- The capacity of the site to sustain the agricultural use.
- The agricultural qualities of the land, such as soil quality, access to water and access to rural infrastructure.
- Any integrated land management plan prepared for the site.

Dwelling issues

- Whether the dwelling will result in the loss or fragmentation of productive agricultural land.
- Whether the dwelling will be adversely affected by agricultural activities on adjacent and nearby land due to dust, noise, odour, use of chemicals and farm machinery, traffic and hours of operation.
- Whether the dwelling will adversely affect the operation and expansion of adjoining and nearby agricultural uses.
- The potential for the proposal to lead to a concentration or proliferation of dwellings in the area and the impact of this on the use of the land for agriculture.

Environmental issues

- The impact of the proposal on the natural physical features and resources of the area, in particular on soil and water quality.
- The impact of the use or development on the flora and fauna on the site and its surrounds.
- The need to protect and enhance the biodiversity of the area, including the retention of vegetation and faunal habitat and the need to revegetate land including riparian buffers along waterways, gullies, ridgelines, property boundaries and saline discharge and recharge area.
- The location of on-site effluent disposal areas to minimise the impact of nutrient loads on waterways and native vegetation.

Design and siting issues

- The need to locate buildings in one area to avoid any adverse impacts on surrounding agricultural uses and to minimise the loss of productive agricultural land.

- The impact of the siting, design, height, bulk, colours and materials to be used, on the natural environment, major roads, vistas and water features and the measures to be undertaken to minimise any adverse impacts.
- The impact on the character and appearance of the area or features of architectural, historic or scientific significance or of natural scenic beauty or importance.
- The location and design of existing and proposed infrastructure including roads, gas, water, drainage, telecommunications and sewerage facilities.
- Whether the use and development will require traffic management measures.

Zoning Assessment

The proposed use can best be characterised as a residential alcohol and drug rehabilitation centre, which is an innominate use under the Farming Zone. This is consistent with the characterisation of a similar use considered by the Tribunal in the Moira case, where pursuant to Clause 35.07-1, a permit was required to use land for an innominate use in the Farming Zone.

The purpose of the Farming Zone includes to retain productive agricultural land and to ensure non-agricultural uses do not impact on productive agricultural use. Use and development should also be supported by comprehensive and sustainable land management practices and infrastructure provision.

Given the previous use and built form as a disability training and support service for approximately 20 years, the proposed use and additional built form is not considered to represent the loss of productive agricultural land at this site. In addition, the relatively small scale of the site restricts its primary production potential. The fragmented lot sizes around the subject site and the existing dwellings and hobby farms also limit the productive potential for the area. In this context the potential for the proposed use to constrain productive agricultural uses now and in the future is considered to be limited. The potential for the use of surrounding sites to impact on the proposed use is also considered to be limited.

A land capability assessment for on-site wastewater management, prepared by Paul Williams and Associates Pty Ltd, has been submitted in support of the application. The assessment details an on-site effluent system proposed to the east of the existing dwelling that is designed to cater for 45 people. The assessment details field testing, including soil profile logging and sampling, permeability testing, a differential level survey and laboratory testing.

The land capability assessment notes that no ground water bores are located within a significant distance of the area. An objection from No.43 Princes Highway indicates a water bore is located on the property adjacent to the boundary with the subject site. The bore supplies water to the dwelling at the objector's property and to stock.

Council's Health Department have reviewed the application and have advised they do not object to the application provided a new EPA approved wastewater system is constructed to maintain all wastewater within the site's boundaries. A condition to this effect has been included in the recommendation. It is noted the effluent system will require approval from Council's Health Department before being installed and this matter too has been accordingly conditioned.

The proposal does not involve the removal of any existing vegetation or habitat and no watercourses or significant natural features traverse the site. The proposed on-site effluent system is considered to minimise the proposal's impact on nutrient loads on the site and surrounds.

The existing building is visible from Atkinsons Lane. Given the single storey nature of the proposed extensions, the proposed buildings are likely to be visible only from limited views from Atkinsons Lane and vantage points of nearby properties. A condition of approval is recommended to require full details of proposed materials and finishes for the centre. This will enable Council to ensure any visual impacts of the proposal are minimised.

The proposed perimeter landscaping would provide a degree of screening to the development. Conditions of approval are recommended to require full details of landscaping prior to the endorsement of plans and for the landscaping to be established prior to the commencement of the use. The traffic generation impacts of the proposal have been considered in the Parking and Access Section of the report (see below).

Having regard to the above consideration in the context of the decision guidelines of the Farming Zone, the proposal is considered to accord with the purpose of the zone.

Management

A proposed management plan, prepared by Western Region Alcohol and Drug Centre Inc, has been submitted in support of the application. The management plan details eligibility for residents of the facility and includes being 18 years or older and for admissions to be voluntary and AOD free on admission. Exclusions to admission include: being charged with sex offences at any time, serious or violent current offences, those whose who have not yet completed AOD withdrawal and behavioural and other factors that impact on treatment success.
The management plan details an intake and assessment process that takes place off-site prior to the admission of residents to the site. In addition, the management plan details ongoing assessment and the frequency of the assessment for residents. The management plan also proposes around the clock on-call management support every day of the year.
The management plan includes a coordinated process for residents to leave the site if they wish and proposes to utilise controlled window exits, CCTV and alarms on exits during evenings to monitor any unplanned exits. Community access for recreation and education will be supervised directly by the centre's staff and residents will undertake an individual readiness assessment prior to being granted community access.

The proposed management plan has been provided to appropriately manage the operation and risk associated with the proposed use. In particular, a number of objections raised concerns in relation to the safety and security of the residents of the clinic, staff and residents of surrounding properties. The assessment and management protocols proposed in the management plan have been provided to minimise any risks associated with the proposal.

The management plan is a key component in avoiding and minimising impacts on surrounding residents and the wider community. In this context a condition is recommended requiring the management plan to be adhered to, and updated and resubmitted to the Council prior to any changes in the operation or management of the site. There is nothing unusual about such a condition, and it is noted similar conditions have been applied on like permissions, including in the Moira case..

Amenity Impacts

The potential impacts on the safety and security of the residents of surrounding properties and the wider community is discussed under the management section above. Council officers are of the opinion that off-site amenity impacts can be appropriately mitigated by ensuring, by permit condition, the use is carried out in accordance with the provisions of the approved management plan.

Concerns have also been raised in relation to potential noise and disturbance impacts associated with the proposal and potential loss of privacy to neighbouring sites.

A number of dwellings are located in proximity to the site with the closest dwelling, No.27 Atkinsons Lane, located approximately 20 metres from the northern site boundary. The proposed use of the site would see residents and staff undertaking gardening, animal caring and orchard activity across the site. These activities are not considered to cause any unreasonable amenity impacts to abutting property owners, including with respect to noise impacts. With appropriate management practices in place, and having regard to the proposed low intensity of the use, it is not envisaged the loss of amenity will arise to neighbouring properties.

The proposed site plan includes vegetation around the boundaries of the site; however, no detail has been provided in relation to the species or size at planting and therefore the ability to provide a visual screen. A condition which requires full details of the proposed landscaping prior to the endorsement of plans would address this matter. The use of the site for gardening, orcharding and animal caring activities is consistent with that anticipated in the Farming Zone. While there may be additional people on site, any privacy impacts associated with the use on site would form part of a hobby farm activity expected in the area.

The proposed management plan details the schedules of residents of the clinic and the types of activities proposed. The proposal is not considered to have the potential to create unreasonable noise and disturbance impacts on neighbouring properties provided the site is operated in

accordance with the management plan. In particular, the ability of residents to leave the buildings in the evening is included in the management plan. A condition of approval is recommended to ensure the ongoing operations of the site are carried out in accordance with the approved management plan.

Parking and Access

The existing accessway is proposed to be retained to Atkinsons Lane. Beyond Atkinsons Lane, Illowa Road and Princes Highway are both Road Zone, Category 1 roads.

Regarding car parking, additional areas will be created adjacent to the administrative wing to accommodate 12 car parking spaces on-site.

Clause 52.06 of the Warrnambool Planning Scheme does not provide a statutory parking requirement for a residential alcohol and other drug rehabilitation centre. Pursuant to Clause 52.06-6, car parking spaces to the satisfaction of the Responsible Authority should be provided. An appropriate level of car parking should be considered in light of the nature and scale of the use.

The proposed facility will accommodate up to 20 residents and 10 staff at any one time thereby no more than 30 people (excluding visitors). Importantly, residents are not permitted to have cars while at the centre and the management plan indicates that visitors are limited to weekends only. In this context, the amount of car parking proposed is considered to adequately accommodate the staff and visitors to the centre. In the event that additional carparking is required, it is considered that the site is of sufficient size to accommodate overflow parking.

Council's Infrastructure Department have requested a Traffic Impact Assessment be prepared by a suitably qualified traffic engineer to assess the ability of the existing road to accommodate increases in traffic, public lighting of the road reserve, access for emergency and waste collection vehicles, provision of a turn-around facility, and road safety and traffic management of the intersection with Illowa Road.

Atkinsons Lane is currently sealed to approximately four (4) metres in width and not line marked. The width of the road requires a car to move to the verge to enable passing. The road currently accommodates some large vehicles and there is sufficient space at the end of the road to enable turning. Atkinsons Lane connects to Illowa Road before meeting Princes Highway. Both intersections are controlled with give way signs.

Traffic movements at the site are likely to be generated by staff, visiting specialist consultants, visitors and residents entering and exiting the program from time to time. In the context of the likely traffic movements generated by the proposal, a Traffic Impact Assessment that can carefully consider the relevant traffic considerations and make appropriate recommendations is considered important and will be conditioned accordingly, as will the implementation of its ultimate requirements to the satisfaction of the Responsible Authority The intersections with Atkinsons Lane, Illowa Road and Princes Highway currently function efficiently. It is noted there are clear sightlines from the Atkinsons Lane/ Illowa Road intersection to the Illowa Road/ Princes Highway intersection.

The CFA has requested conditions on any permit issued that relate to emergency vehicle access. This is appropriate and the recommendation includes the CFA's conditions.

Aboriginal Cultural Heritage

The site is located within an area of Aboriginal Cultural Heritage Sensitivity. The construction of a residential building is a high impact activity under the Aboriginal Heritage Regulations 2007 and therefore a Cultural Heritage Management Plan (CHMP) is required for the proposal.

A CHMP has been prepared and has been submitted to, and approved by, the Department of Premier and Cabinet.

Clause 65 Decision Guidelines

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- The matters set out in section 60 of the act.
- The municipal planning strategy and the planning policy framework.

- The purpose of the zone, overlay or other provision. Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the amenity of the area.
- The proximity of the land to any public land.
- Factors likely to cause or contribute to land degradation, salinity or reduce water quality.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The extent and character of native vegetation and the likelihood of its destruction.
- whether native vegetation is to be or can be protected, planted or allowed to regenerate.
- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.
- The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.

The proposal has been considered in the context of the above, including the effect on the amenity of the area and in respect orderly planning for the area.

It is noted that Section 60 of the Act provides, among other things, the need to:

(1)Before deciding on an application, the responsible authority must consider—

(a) the relevant planning scheme; and

(b) the objectives of planning in Victoria; and

(c) all objections and other submissions which it has received and which have not been withdrawn; and

(d) any decision and comments of a referral authority which it has received; and

(e) any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development; and

(f) **any significant social effects** and economic effects which the responsible authority considers the use or development may have.

Social Effects

Social effects are not defined in the Act but guidance can be gleaned from case law, such as *Minawood Pty Ltd v Bayside City Council* (Red Dot) [2009] VCAT 44 where the Tribunal, at paragraph 35, noted the following matters to constitute relevant social effects of a proposal:

- The demand for or use of community facilities and services;
- Access to social and community facilities;
- Choice in housing, shopping, recreational and leisure services;
- Community safety and amenity;
- The needs of particular groups in the community, such as the aged.

The Tribunal in Minawood noted:

> Wherein '….*there is an overriding obligation to examine and weigh all the relevant considerations …… In deciding what considerations are relevant, the decision maker (be it the responsible authority or the Tribunal) must be guided by the purpose of the planning control, decision guidelines set out in the planning scheme or Act and planning policy. In particular, a responsible authority must consider the matters set out in section 60 of the Act*….'

Relevant considerations, particularly around community safety and amenity and the needs of particular groups in the community have been considered in the assessment of amenity, management of the application and within the zoning provisions, decision guidelines and policy. A social impact assessment was not provided with the application.

CONSULTATION/COMMUNICATION

The application was advertised pursuant to Sections 52(1)(a) and (d) of the *Planning and Environment Act 1987* by way of letters to adjoining properties, a sign on site and advertisement in the local newspaper.

Four (4) letters of support were also received, including from the South West Aboriginal Health Partnership and Brophy Family and Youth Services.

In addition to the above, one (1) objection was received and subsequently withdrawn.

Councillors have met with objectors at a meeting session on the 8 October 2018 and with the Permit Applicant on 19 November 2018.

OFFICERS RECOMMENDATION

That Council:-

Having considered all the matters required under Section 60 of the Planning and Environment Act 1987 (Act), advise the Victorian Civil and Administrative Tribunal that had an Application for Review not been lodged under Section 79 of the Act, Council would have resolved to issue a Notice of Decision to Grant a Permit for application PP2018-0105 under the relevant provisions of the Warrnambool Planning Scheme in respect of the land known and described as ALLOT Lot 12 PS 321948R, 43 Atkinsons Lane DENNINGTON VIC 3280, for the use and development of a residential alcohol and other drug rehabilitation centre, in accordance with the endorsed plans and subject to the following conditions:

1. *Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority.*

When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans submitted with the application (received by Council on 31 May 2018 and advertised with the application) but modified to show:

a) A schedule of construction materials, external finishes and colours (incorporating samples) must be submitted to and approved by the Responsible Authority. When approved, the schedule will be endorsed and will then form part of the permit.

b) A lighting plan with details of the location and type of lighting for the centre, including external and security lighting. All external lighting should be designed to be baffled to avoid any light spill to adjacent properties to the satisfaction of the Responsible Authority.

c) A landscaping plan in accordance with Condition 4 of this permit.

d) A waste management plan in accordance with Condition 8 of this permit.

2. *Before the commencement of development (and any associated works) the applicant must provide a Traffic Impact Assessment Report (TIAR) prepared by a suitably qualified engineer in accordance with the Infrastructure Design Manual (Clause 9) and to the satisfaction of the responsible authority. When approved the Report will form part of the permit. The TIAR is to consider, but not be limited to:*

- *The ability of the Atkinsons Lane to accommodate the increased traffic;*
- *Any impact on traffic as a result of vehicles parking on the lane;*
- *Public lighting of the road reserve;*
- *Provision of access for emergency and waste collection vehicles;*
- *Provision of a vehicle turn-around facility on the subject land;*
- *Road safety and traffic management at the intersection of* ***Atkinsons Lane*** *with Illowa Road.*

3. *Before the use commences, the permit holder must construct and/or implement any traffic related works identified in the Traffic Impact Assessment Report to the satisfaction of the responsible authority.*

4. *The layout of the site and size, design and location of the buildings and works as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.*

5. *The use must operate at all times in accordance with the Management Plan for the Lookout Residential Rehabilitation Centre dated May 2018.*

6. *The proposal must be constructed in accordance with the recommendations of the Land Capability Assessment, prepared by Paul Williams & Associates Pty Ltd dated May 2018, to the satisfaction of the Responsible Authority.*

7. *All security alarms or similar devices installed at the site must be of a silent type and be connected to a security service to the satisfaction of the Responsible Authority.*

Landscaping

8. *Before the development starts, a detailed landscape plan to the satisfaction of the Responsible Authority must be submitted to and be endorsed by the Responsible Authority. The plan must be generally in accordance with the proposed site plan drawing No.1.0, dated 29 May 2018 and be drawn to scale with dimensions and three copies must be provided. The plan must show planting schedule of all proposed trees and shrubs, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant.*

9. *Prior to the commencement of the use, the landscaping works shown on the endorsed landscape plan must be carried out and completed to the satisfaction of the Responsible Authority.*

10. *The landscaping shown on the endorsed landscape plan must be maintained to the satisfaction of the Responsible Authority.*

Waste Management

11. *Before the development starts, a Waste Management Plan must be submitted to and approved by the Responsible Authority. The Waste Management Plan must include:*

a) Dimensions of storage waste areas.
b) Storm water drains in storage areas should be fitted with a litter trap.
c) The number and size of bins to be provided.

d) *Facilities for bin cleaning.*
e) *Method of waste and recyclables collection.*
f) *Types of waste for collection, including colour coding and labelling of bins.*
g) *Hours of waste and recyclables collection (to correspond with Council Local Laws and EPA Noise Guidelines).*
h) *Method of hard waste collection.*
i) *Method of presentation of bins for waste collection.*
j) *Sufficient headroom within the basement to accommodate waste collection vehicles.*
k) *Sufficient turning circles for the waste collection vehicles to enter and exit the site in a forward direction.*
l) *Strategies for how the generation of waste and recyclables will be minimised.*
m) *Compliance with relevant policy, legislation and guidelines.*

When approved, the Waste Management plan will be endorsed and will then form part of the permit. Waste collection from the development must be in accordance with the Waste Management plan, to the satisfaction of the Responsible Authority.

12. Construction Amenity

To safeguard the local amenity, reduce noise nuisance and to prevent environmental pollution during the construction period:

a. *Stockpiles of topsoil, sand, aggregate, spoil or other material must be stored clear of any drainage path or easement, natural watercourse, footpath, kerb or road surface and must have measures in place to prevent the movement of such material off site.*
b. *Building operations such as brick cutting, washing tools, concreting and bricklaying must be undertaken on the building block. The pollutants from these building operations must be contained on site.*
c. *Builders waste must not be burnt or buried on site. All waste must be contained and removed to a Waste Disposal Depot.*

13. *All sewerage and sullage wastewater from the development must be discharged into an EPA approved wastewater system with a disposal area of at least 1800m^2. All wastewater must be maintained within the boundaries of the land and be located as per the endorsed plan. Approval to install the wastewater system must be obtained from Warrnambool City Council Health Department prior to the commencement of any works.*

CFA Conditions

14. *Operable hydrants, above or below ground must be provided to the satisfaction of CFA.*

15. *The maximum distance between these hydrants and the rear of all building envelopes (or in the absence of the building envelope, the rear of all lots) must be 120m.*

16. *Hydrants must be identified as specified in 'Identification of Street Hydrants for Firefighting purposes' available under publications on the Country Fire Authority website (www.cfa.vic.gov.au)*

17. *Roads must be constructed to a standard so that they are accessible in all weather conditions and capable of accommodating a vehicle of 15 tonnes for the trafficable road width.*

18. *The average grade must be no more than 1 in 7 (14.4% or 8.1 degrees) with a maximum of no more that 1 in 5 (20% or 11.3 degrees) for more than 50 metres. Dips must have no more than a 1 in 8 (12% or 7.1 degrees) entry and exit angle.*

19. *Curves in driveway must have a minimum radius of 10 metres.*

20. *Must provide a minimum trafficable width of 3.5 metres, be clear of encroachments 4 metres vertically and have no obstructions within 0.5 metres either side of the formed width of the road, to the satisfaction of the Responsible Authority.*

21. Expiry

This permit will expire if one of the following circumstances applies:

a. The development is not started within two (2) years of the date of this permit.
b. The development is not completed within four (4) years of the date of this permit.
c. The use does not start within two (2) years of the date of this permit.
d. The use is discontinued for a period of two (2) years.

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires, or:

a. Within six (6) months afterwards for commencement, or
b. Within twelve (12) months afterwards for completion.

Cr. Cassidy returned to the meeting at 7.22pm.

5.7. EASTERN ACTIVITY STRUCTURE PLAN - AMENDMENT AUTHORISATION REQUEST

PURPOSE:

This report recommends that Council seek authorisation from the Minister for Planning to prepare and exhibit Planning Scheme Amendment C103 to the Warrnambool Planning Scheme to implement the Eastern Activity Precinct Structure Plan.

EXECUTIVE SUMMARY

- Planning Scheme Amendment C103 is proposed to implement the policy direction of the Eastern Activity Precinct Structure Plan (The Structure Plan).
- The Structure Plan was adopted by Council in September 2016.
- The Structure Plan creates a framework to guide future land use, development, urban design, vehicle and pedestrian movement, in the Eastern Activity Precinct.
- Key aspects of this Amendment are to make changes to the Local Planning Policy Framework to reflect the strategic directions within the Structure Plan.
- The Amendment does not include rezoning at this stage but sets the framework for future rezonings in accordance with the Structure Plan.
- A shared infrastructure plan will ensure that appropriate development contributions are paid at the time land is developed or subdivided.

MOVED: CR. PETER HULIN
SECONDED: CR. SUE CASSIDY

That Council:

1. **In accordance with Section 8A of the Planning and Environment Act 1987 (the Act) seek authorisation from the Minister for Planning to prepare Planning Scheme Amendment C103 to implement the Eastern Activity Precinct Structure Plan.**

2. **Subject to the Minister's authorisation, in accordance with Section 19 of the Act, prepare and exhibit Amendment 103 to the Warrnambool Planning Scheme to implement the Eastern Activity Precinct Structure Plan.**

CARRIED - 7:0

BACKGROUND

The Eastern Activity Precinct is Warrnambool's only major activity centre, second only in scale and importance to the City Centre. Refer to **Figure 1** for location of the Precinct.

In addition to its importance as an activity centre, the Eastern Activity Precinct also serves a role as the City's eastern gateway, and as such, offers opportunities to deliver a high amenity and high quality presence at the eastern entry to Warrnambool.

A Structure Plan was initially prepared in 2004 for the Eastern Activity Precinct, responding to an expansion in bulky goods retailing, as well as other core retail activities such as an expansion of Gateway Plaza, and the Woolworths/Dan Murphy development.

Since 2004, significant changes have occurred by way of development at the Eastern Activity Precinct, and also in retail policy at the state and local levels.

Therefore a review of the 2004 Structure Plan was required to ensure that the vision and objectives of the structure plan remained relevant and consistent with Council's decisions within the Eastern Activity Precinct over the past years.

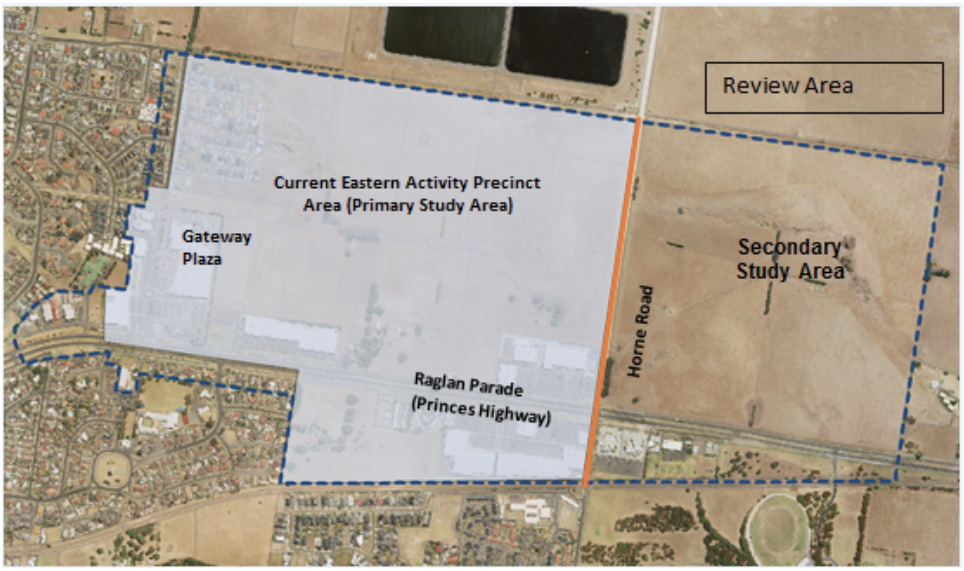
The revised Eastern Activity Precinct Structure Plan was adopted by Council in September 2016 with a vision to develop the Eastern Activity Precinct as a genuine mixed use activity centre complemented by neighbourhoods with a distinctive and defined character and a network of linked open space.

Refer to **Attachment 1** for a copy of the Eastern Activity Precinct Structure Plan. (Please note that a full copy of the structure plan report can be accessed on Council's website at https://www.warrnambool.vic.gov.au/eastern-activity-precinct-structure-plan)

The Amendment is proposed to set the policy direction within the Local Planning Policy Framework for the Eastern Activity Precinct, which includes a vision and implementation strategies for the Precinct, and guidance on the the exercise of discretion in planning decision making.

The Amendment does not include rezoning at this stage but sets the framework for future rezonings in accordance with the Structure Plan.

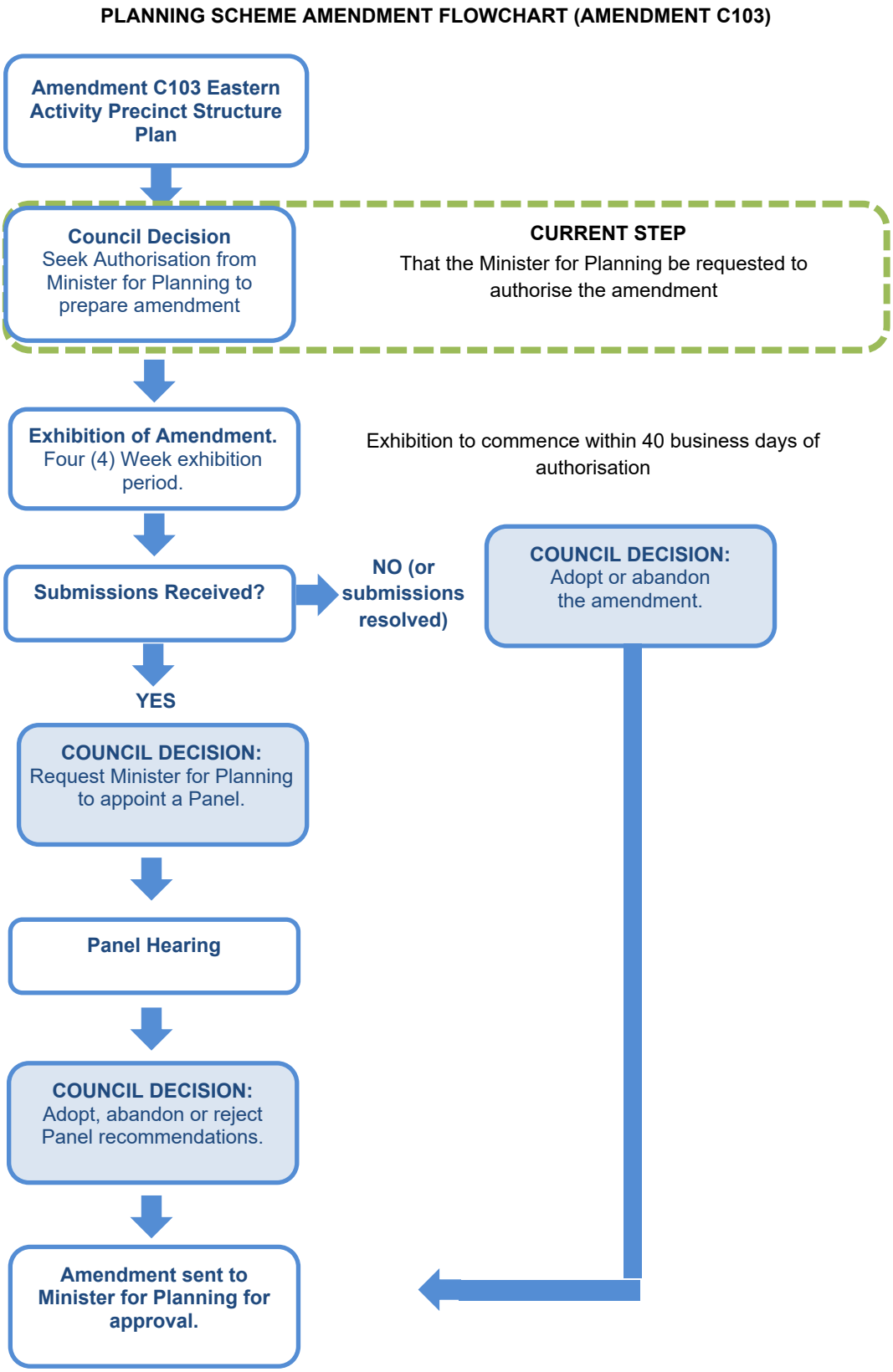
Figure 1 - Locality Plan: Eastern Activity Precinct



ISSUES

The Eastern Activity Precinct Structure Plan was adopted by Council in September 2016. The plan establishes a land use framework and sets built form outcomes that will enhance the precinct by ensuring coherent and integrated development outcomes and recognise the Eastern Activity Precinct as a prominent gateway to Warrnambool.

The following process will be undertaken for the Amendment:



FINANCIAL IMPACT

Costs associated with the Amendment have been included within the 2018/2019 City Strategy and Development Budget.

LEGISLATION/POLICY/COUNCIL PLAN CONTEXT

3 Maintain and improve the physical fabric of the City
3.3 Build Infrastructure that best meets current and future community needs.
3.4 Enhance movement in and around the City.
3.5 Maintain and enhance existing Council Infrastructure.

4 Develop a modern economy with diverse and sustainable employment
4.1 Grow the Cities population through local economic growth
4.2 Encourage more sustainable local business.
4.3 Enhance the visitor experience.
4.4 Advocate for and improve infrastructure including transport, services and digital infrastructure.

5 Practice good governance through openness and accountability
5.1 Strategic Resource Plan
5.2 Annual Budget
5.3 Council Plan
5.6 Provision of opportunities for the community to actively participate in Councils decision-making through effective promotion, communication and engagement.
5.7 Develop policies, strategic plans and processes to address local and regional issues, guide service provision and ensure operational effectiveness.
5.8 Ensure financial sustainability through effective use of Councils resources and assets and prudent management of risk.

COMMUNITY IMPACT/CONSULTATION

Following authorisation by the Minister for Planning, and pursuant to Section 19 of the *Planning and Environment Act 1987*, Amendment C103 must be publicly exhibited for a minimum of one month. Individual notice will be given to owners and occupiers of affected properties. Government agencies and stakeholders including VicRoads, Vic Track, the CFA, and Public Transport Victoria will also be notified of the Amendment. Copies of the notice will also be published in the Warrnambool Standard, and in the Government Gazette.

All amendment documentation will be available for inspection at Council's office, on Council's website and the Department of Environment Land Water & Planning's website once exhibition commences.

Where submissions cannot be resolved, an Independent Panel will be requested to hear and consider the submissions, and make recommendations to Council.

LEGAL RISK/IMPACT

The Amendment has been assessed against all relevant requirements of the Warrnambool Planning Scheme and the *Planning and Environment Act 1987.*

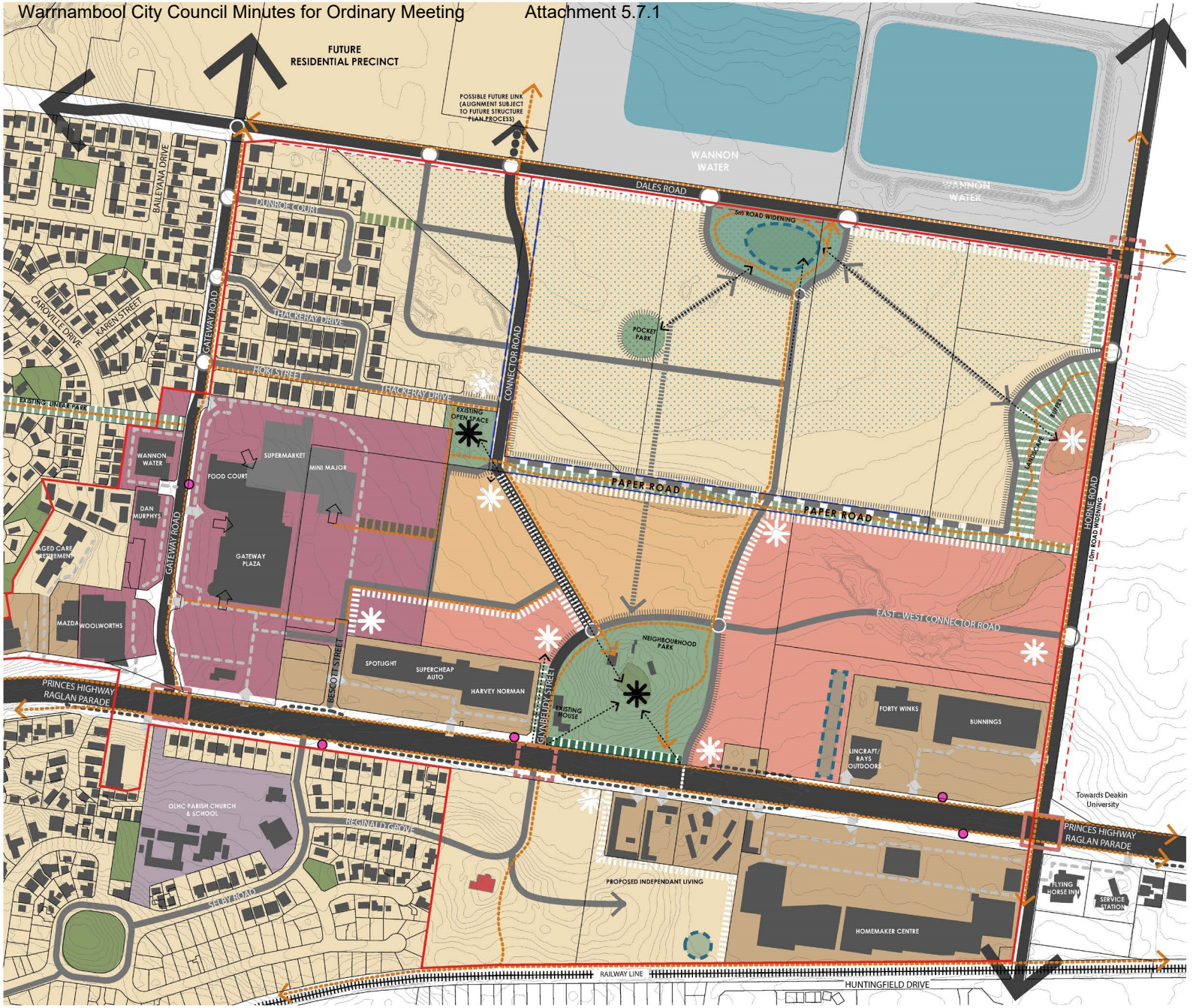
OFFICERS' DECLARATION OF INTEREST

None

ATTACHMENTS

1. Attachment 1 **[5.7.1]**
2. Attachment 1 **[5.7.2]**

Figure 1 **Structure Plan Overall**



DRAWING KEY

- Primary Study Area Boundary

Land Uses

- Residential Standard Density
- Mixed Use Urban Core / Medium Density Residential
- Office / Commercial
- Bulky Goods/ Highway Related Uses
- Activity Centre
- Education, Community & Civic Uses
- Major Utility (Wannon Water)

MOVEMENT NETWORK

- Proposed Road Widening
- Existing Signalised Intersection
- Proposed Signalised Intersection
- Vehicular Access to Precinct (public realm)
- Secondary Vehicular Access Point (private realm)
- Roundabout / Key T intersection
- Median Break on Arterial
- Arterial Road*
- Service roads
- Connector Road*
- Non-Standard Streetscape
- Key Local Road
- Key Local Link Road
- Possible Future Link
- Private road / Carpark circulation
- Paper Road
- Shared Path
- Gateway Plaza Shopping Centre Entry
- Existing Bus Stop
- Railway Line

*Arterial and connector road network can accommodate a bus route

OPEN SPACE

- Neighbourhood Park
- Drainage reserve
- Retarding Basin/Wetland
- Key Landscape Link
- Key Streets / Linkages

BUILT FORM

- Existing Buildings
- Proposed Key Building Extensions
- Landmark Building / Structure
- Heritage Building

LANDSCAPE

- High Point / Ridgeline
- Low Lying Area
- Existing Trees & Vegetation
- Key View Corridor
- 0.5m Contours
- Key Open Space Landmark

KEY INTERFACES

- Landscape Buffer
- Open Space Gateway
- Sensitive Land Use Transition
- Development to Address Open Space

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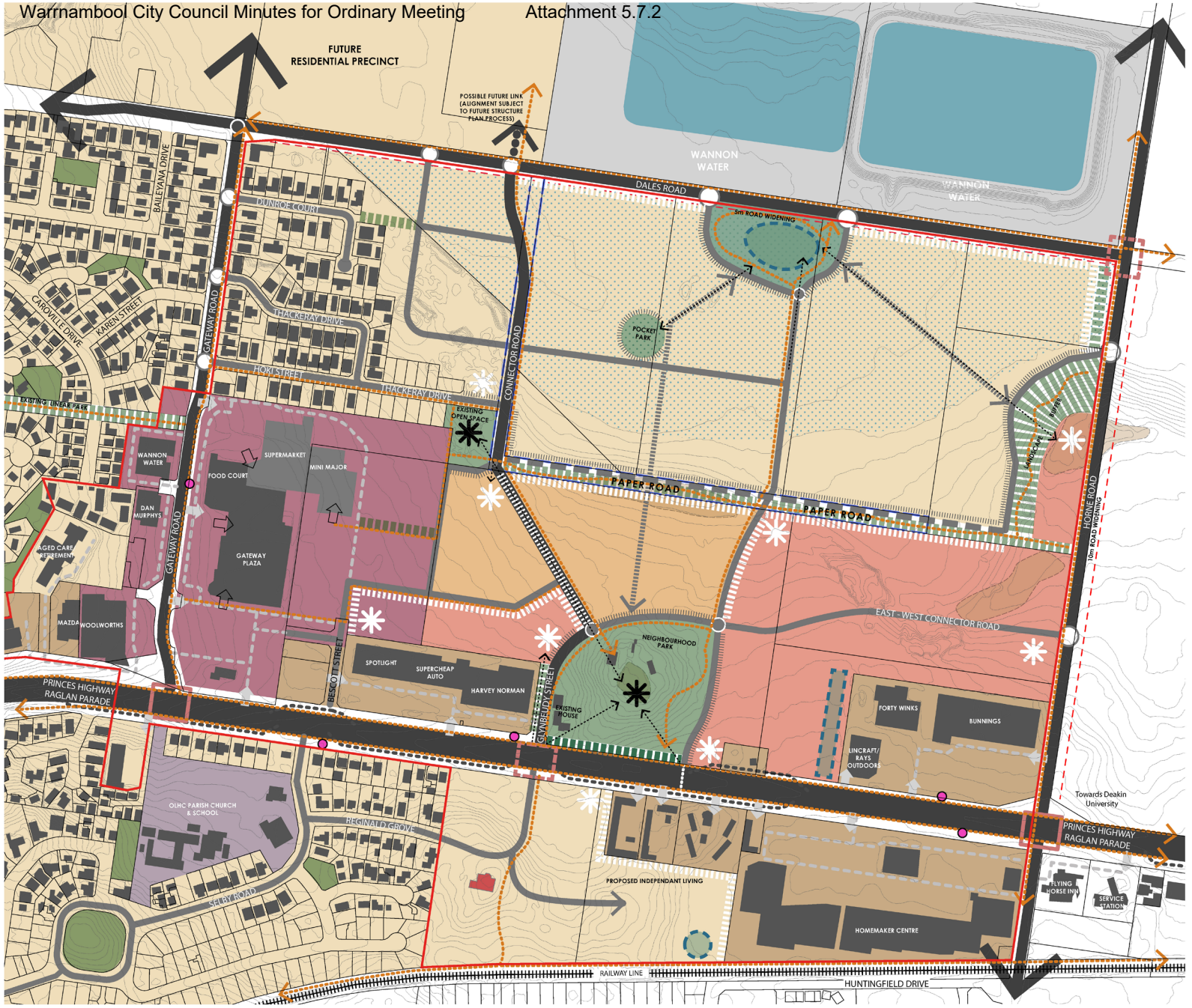
0 25 50 75 125 METERS

1:2500 at A1 1:5000 at A3

mesh



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*Arterial and connector road network can accommodate a bus route

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- Key Landscape Link
- Key Streets / Linkages

BUILT FORM

- Existing Buildings
- Proposed Key Building Extensions
- Landmark Building / Structure
- Heritage Building

LANDSCAPE

- High Point / Ridgeline
- Low Lying Area
- Existing Trees & Vegetation
- Key View Corridor
- 0.5m Contours
- Key Open Space Landmark

KEY INTERFACES

- Landscape Buffer
- Open Space Gateway
- Sensitive Land Use Transition
- Development to Address Open Space

mesh

5.8. LAKE PERTOBE MASTER PLAN ADOPTION

PURPOSE:

This report presents the results of the final consultation for the Lake Pertobe Masterplan and recommends the adoption of the Lake Pertobe Masterplan.

EXECUTIVE SUMMARY

- Following an extensive process to develop the Lake Pertobe Masterplan with the community, the Lake Pertobe Masterplan is now ready for adoption.
- The Lake Pertobe Masterplan was advertised from 11 December 2018 to the 4 February 2019 for a final round of consultation.
- One significant issue was identified in the draft relating to path composition on the southern side of Lakes which identified them as granitic sand in composition. This was an error which was identified in a previous review and not updated. In support of our disability access principles through the park to all play areas these have been shown as a constructed hard surface pathway.
- Consultation comments and responses are attached.
- The Lake Pertobe Masterplan is now ready for adoption by Council.

MOVED: CR. KYLIE GASTON
SECONDED: CR. MICHAEL NEOH

That Council:

1. **Acknowledge those responses submitted as part of the latest consultation process and the submission that highlighted the incorrectly designated pathways within parkland on the southern side of the Lakes.**
2. **Adopt the Lake Pertobe Masterplan with changed pathway designations.**

CARRIED 7:0

BACKGROUND

Lake Pertobe is a 58-hectare park nestled between the City's CBD and beachfront. The name was derived from the word 'pirtup', which means small sandpiper in Gunditjmara language. The reserve was a seasonal wetland area which was developed into recreational lakes and an adventure playground in the 1960s and 1970s. Over the last four decades, Lake Pertobe has developed a reputation as one of Victoria's best regional parks due to the diverse and unique recreational opportunities and expansive social areas.

Implementation of the masterplan (refer **Attachment 1 - 3**) will enhance the experience of this renowned playspace for locals and visitors alike. By improving connections between Lake Pertobe, the CBD and foreshore area; improving access and wayfinding within the reserve; adding to the play opportunities and experiences for people of all ages and abilities; and encouraging visitors to explore whole reserve and enjoy the environment, will strengthen the city's reputation as a family-friendly destination.

The Masterplan was also tasked with establishing an agreed Vision for Lake Pertobe which is included in the plan.

ISSUES

The final draft of the Lake Pertobe Masterplan was placed on public exhibition from the 11 December 2018 to the 4 February 2019. Twenty-five responses were received on the final draft document and specific comments have been incorporated into the plan or responded to in the attached summary (**Attachment 4**).

One of the submissions provided did highlight a significant issue related to the construction of paths throughout the southern park area which had incorrectly been designated as granitic sand. In order to provide accessible access to all play areas the intent was for these to be provided as a constructed pathway and this has been amended. This issue had been identified previously but the amendment had not occurred. The new designation is also in accordance with Council's pathway asset management plan.

The consultation has been considered and the Lake Pertobe Masterplan is now ready to be adopted.

FINANCIAL IMPACT

The Lake Pertobe Masterplan provides an implementation strategy phased over the next 10 years. The plan identifies potential funding streams which could be utilised in order to undertake projects.

An initial funding allocation has been made by the Federal Government of $1.45M towards a $2.9M project which will see aspects of the Master Plan Delivered over the next 2 years.

LEGISLATION / POLICY / COUNCIL PLAN CONTEXT

1 Sustain and enhance the natural environment
1.1 Protect and enhance our waterways, coast and land
1.7 Partner with the community on local sustainability projects.

2 Foster a healthy City that is socially and culturally rich
2.1 Promote healthy lifestyles
2.2 Seek equity, access, safety and inclusion for everyone.
2.3 Increase community health and social connections.
2.4 Encourage and support participation in sport, recreation and physical activity.
2.6 Engage a broader range of people in cultural activities.
2.7 Actively acknowledge local Aboriginal culture.
2.8 Increase participation opportunities for disadvantaged members of the community.

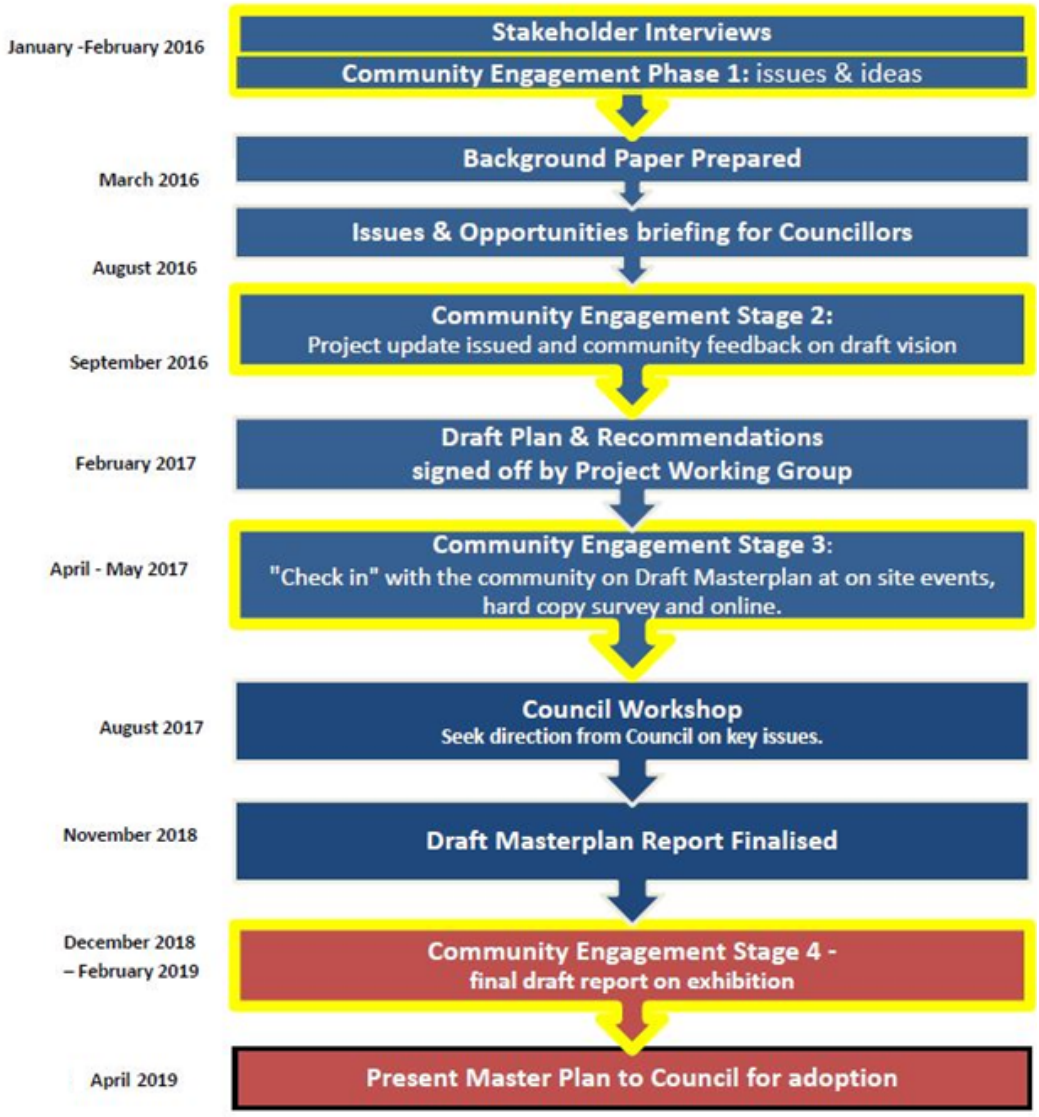
3 Maintain and improve the physical fabric of the City
3.1 Build better connections for cyclists and pedestrians
3.2 Create a more vibrant City through activating high quality public places.
3.3 Build Infrastructure that best meets current and future community needs.
3.4 Enhance movement in and around the City.
3.5 Maintain and enhance existing Council Infrastructure.

4 Develop a modern economy with diverse and sustainable employment
4.3 Enhance the visitor experience.

5 Practice good governance through openness and accountability
5.4 Community Plan

COMMUNITY IMPACT / CONSULTATION

The master-planning process has included an extensive range of community engagement activities enabling the community to provide extensive input into the development of the plan. The engagement phases are highlighted in yellow on the following flowchart.



The Phase 4 consultation was undertaken over the summer period from 11 December 2018 to the 4 February 2019, there was a total of 25 responses received with 87% of responders rating the Masterplan at 3 stars or above. This is in line with the previous consultation that was undertaken in phase 3 in which 87% also ranked it 3 stars or above.

The feedback received during this final consultation outlined similar concerns to that received previously. There were also some items which were outside the scope of the Lake Pertobe Masterplan. One submission in relation to pathway accessibility highlighted an oversight which has now been amended.

Full comments received in the final stage of consultation are attached for review along with a summary of these comments and Council's response to the issues raised (Attachment 4).

LEGAL RISK / IMPACT

The engagement process for the Lake Pertobe Masterplan to date has been positively received and supportive of the outcome.

ATTCHMENTS

1. Lake Pertobe Masterplan **[5.8.1]**
2. Lake Pertobe Masterplan OPC 1 of 2 **[5.8.2]**
3. Lake Pertobe Masterplan OPC 2 of 2 **[5.8.3]**
4. Lake Pertobe Masterplan Comments **[5.8.4]**

WARRNAMBOOL
CITY COUNCIL

Lake Pertobe Masterplan 2018

Project Consultant:

Michael Smith and Associates, Landscape Architecture and Urban Design
Tel: (03) 9830 0414 **Mobile:** 0418 172 863
Email: mike@msalandurb.com.au

ACKNOWLEDGMENTS

Council acknowledges the Gunditj-mara and the Kirrae Whurrong people as the original custodians of the lands of this area.

Council also acknowledges the descendants of the ancestors of Aboriginal nations within the lands forming the Great South Coast and particularly the elders of the indigenous communities within both Warrnambool and this region.

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  - Jenny Emeny, Open Space Planner
  - Glenn Reddick, Manager Infrastructure Services
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  - Mark Mirtschin, Manager Depot Operations
  - Lisa McLeod, Manager Community Planning and Policy

- **Kevin Sparrow and Louise Sheba - Australian Plants Society Warrnambool and District**
- **Uncle Robbie Lowe and Uncle Lochie Eccles**
- **Shane Bell, Aboriginal Victoria**
- **Joel Wright, Victorian Aboriginal Corporation for Languages**

Contents

1	**Executive Summary**		**4**
	1.1	Vision	5
	1.2	Masterplan Recommendations	6
2	**Introduction**		**12**
	2.1	Scope	13
	2.2	Project Aims	13
3	**Process**		**14**
4	**History**		**18**
5	**Strategic Context: Policies and Strategies**		**19**
	5.1	Warrnambool 2040 Community Plan (draft)	19
	5.2	Warrnambool City Council Plan (2017 – 2021)	20
	5.3	Warrnambool - A Healthy City (2017 – 2021)	21
	5.4	Warrnambool Open Space Strategy (2014)	21
	5.5	Warrnambool Open Space Infrastructure Guidelines	22
	5.6	Warrnambool Public Toilet Plan (2014)	22
	5.7	Warrnambool Sustainable Transport Strategy (2010-2020)	22
	5.8	Lake Pertobe Concept Plan (1998)	22
	5.9	Lake Pertobe Development Plan (1975)	22
6	**Masterplan Recommendations**		**23**
	6.1	Infrastructure	23
	6.2	Connectivity and Wayfinding	25
	6.3	Access for All	28
	6.4	Play Infrastructure	30
	6.5	Arts and Culture	34
	6.6	Recreation and Social Use	35
	6.7	Environment and Landscaping	37
	6.8	Events Infrastructure	39
	6.9	Parking and Transport	40
	6.10	Drainage and Water	46
7	**References**		**48**
8	**Appendices**		**48**
	8.1	Appendix 1 – Background Report 2016	
	8.2	Appendix 2 – Implementation Plan and Opinion of Probable Costs	
	8.3	Appendix 3 – Summary of Part A Background Report SWOT Analysis	
	8.4	Appendix 4 – Summary of additional issues and opportunities	
	8.5	Appendix 5 – Assessment of Merit of consultation outcome	
	8.6	Appendix 6 – Lake Pertobe Riparian vegetation survey - Australian Plants Society	
	8.7	Appendix 7 – Remnant Species of Lake Pertobe – Kevin Sparrow	
	8.8	Appendix 8 – Traffic Issues and Opportunities – Traffix Group	
	8.9	Appendix 9 – Stormwater Harvesting Options Report - STORM Consulting	
	8.10	Appendix 10 – Community Engagement Summary	

1 Executive Summary

Lake Pertobe (name derived from 'pirtup', the word meaning small sandpiper in local Gunditjmara language) is a 58 hectare park nestled between the City's CBD and beachfront. It was developed from ephemeral wetlands in the 1970s. The recreational lakes and adventure playground of Lake Pertobe have developed a reputation due to the diverse and unique play opportunities and expansive social areas on offer and over the last four decades, Lake Pertobe has become Warrnambool's most recognised visitor attraction, having been named among Trip Advisor's Top 10 Travellers' Choice Parks (South Pacific region) in 2016.

An unsurpassed recreational asset, Lake Pertobe is a key element of Warrnambool's offering for local residents and contributes to Warrnambool's reputation as Victoria's most liveable regional city (IPSOS, Life in Victoria 2017 and Deloitte Regional Cities Liveability Index 2017).

Implementation of this masterplan will enhance the experience of this renowned playspace and park for locals and tourists alike. By improving connections between Lake Pertobe, the CBD and foreshore area, improving access within the reserve, adding to the play opportunities for all ages and abilities, encouraging more people to explore whole reserve and enjoy the lakeside environment will strengthen the city's reputation as a family-friendly destination for both domestic and international visitors.

The park attracts groups, families with children, those looking for outdoor spaces to meet friends and also lovers of the environment (particularly bird watchers). Lake Pertobe offers extensive walking opportunities around the lakes and is located strategically between neighbouring residential areas of South Warrnambool and Merrivale, the City's central business district and Warrnambool's main beach and foreshore promenade.

In early 2016 Council's Project Working Group prepared a Background Report (Appendix 1) which summarised key issues for Lake Pertobe and the ideas and opportunities identified during extensive stage one community engagement. In June 2016, the consultant team were appointed to analyse these findings, provide expert advice on a range of matters and develop the Masterplan Report. The process is outlined in Chapter 3.

The challenges and opportunities for Lake Pertobe (see Appendix 3 & 4), identified in consultation with Council officers, stakeholders and the community, have provided a strong foundation for masterplan's development. The vision for the reserve and this masterplan will guide future improvements, maintenance and management of the Reserve for the next 10-15 years.

The Masterplan considers the goals and priorities of Warrnambool 2040 Community Plan (draft), the Warrnambool City Council Plan, Warrnambool Open Space Strategy, Warrnambool Open Space Infrastructure Guidelines, Warrnambool – A Healthy City, Sustainable

Transport Strategy, Warrnambool Asset Management Strategy and the Railway Station Precinct Plan, within its recommendations.

Lake Pertobe Reserve is identified as a regional reserve in the Warrnambool Open Space Strategy 2014. It offers extensive and diverse passive and active recreation opportunities to both those living in the Warrnambool and across the South West region (approx. 50,000 residents) in addition to the thousands of domestic and international visitors to Warrnambool each year.

While the reserve is large (58 hectares including three lakes and the extensive wetland areas), the developed recreation area and accompanying facilities along the Pertobe Road frontage, is relatively small (4 hectares). An immediate challenge is to ensure that this intensively used strip along Pertobe Road is not over-used to the detriment of the user experience or to an extent which requires unsustainable and unaffordable maintenance to retain Lake Pertobe Reserve at the current high standards.

The Reserve's ability to meet peak demand is most challenged in the summer months, when visitation and activity levels increase sharply. In January, when there are thousands of holiday makers within the precinct, beach-goers and many events held in the foreshore area (and most often the events spaces in Lake Pertobe), car access and parking and reserve infrastructure such as shelters, barbecues, toilets and play spaces are regularly stretched beyond the area's capacity.

This Masterplan's recommendations provide for upgrade and renewal of existing facilities and improved connectivity and development of attractions away from the existing play areas of this iconic reserve to meet the growing needs of the local community, to encourage users to explore and use more of the reserve to spread visitation across the site and to retain Lake Pertobe as an exceptional asset which continues to exceed the expectation of visitors of all ages.

The Masterplan's extensive development and management recommendations (as summarised in Section 1.2 and detailed in Chapter 6):

- identify improvements to ensure Lake Pertobe's reputation as one of the best playgrounds in regional Australia is maintained;
- recommend investment to protect the reserve from overuse and congestion (including improving infrastructure, experiences and creating easy connections from neighbouring areas and the CBD for pedestrians and cyclists), and
- improve maintenance activities to enhance and protect the environmental values of this much loved place in the decades to come.

1.1 Vision

Following extensive input of stakeholders and the community in Stage One, a vision for Lake Pertobe was developed as the guiding statement for this plan. This vision was endorsed after considering feedback from the community in Stage 2 (refer Appendix 10 - Community Engagement Summary)

The Vision has influenced the recommendations and priorities in this Masterplan and should be considered when making decisions about improvement and renewal of Lake Pertobe in the future.

VISION:

Lake Pertobe is a unique park, playground and regional attraction, which connects Warrnambool's city centre to the foreshore. It is a place which inspires Warrnambool's residents and visitors to gather, play and enjoy the natural environment.

1.2 Masterplan Recommendations

Below is the summary of masterplan recommendations for each of the ten themes, which are expanded on in Section 6.

6.1. Infrastructure	Priority	
6.1.1.	Construct a new toilet/change facility with showers and change rooms at McGennan's Carpark to service all users of the foreshore area.	Immediate
6.1.2.	Provide access to the water for reserve users and hire operators along the lakes' edge in appropriate locations which are connected to the path network.	Medium
6.1.3.	Identify appropriate locations and form for the provision of shade infrastructure in the reserve, particularly servicing the play areas.	High
6.1.4.	Prepare an infrastructure style guide to create a consistent and appropriate character. The guide should include: seats, waste receptacles (rubbish/recycle), drinking fountains/water bottle refilling stations, bike racks, lighting and picnic tables.	High
6.1.5.	Install combined drinking fountains and water bottle filling stations at key destinations within the reserve.	Medium
6.1.6.	Review the provision of litter bins across the reserve, and install new/replacement waste and recycling infrastructure.	Medium
6.1.7.	Install bike racks at key destinations within the reserve, particularly adjacent to car parks and entry points.	Medium
6.1.8.	Install additional seating and picnic tables which meet the needs of all users (including some seats with arm rests, back rests and wheelchair accessible tables).	High
6.1.9.	Investigate feasible options for replacement of the swing bridge feature in Play Area 3.	Immediate
6.1.10.	Creative and innovative design will be included in all new projects (eg wayfinding & signage, shelters, functional art, picnic decks, play features, etc).	Immediate
6.1.11.	Develop an App to increase engagement and enjoyment of visitors to Lake Pertobe by providing information and interpretation of Lake Pertobe's environment and recreational opportunities.	High
6.1.12.	Construct a Changing Places facility with accessible shower on reserve adjacent to existing public toilets.	High
6.2. Connectivity and Wayfinding		
6.2.1.	Develop and implement a wayfinding strategy for areas within and adjacent to Lake Pertobe.	High
6.2.2.	Install wayfinding maps of the reserve in selected high traffic locations to facilitate easy navigation of the reserve and raise awareness of the variety of experiences and activities on offer.	Immediate
6.2.3.	Name all walking paths/loops, play areas and barbecue shelters to improve navigation and wayfinding.	High
6.2.4.	Design and develop a pedestrian and cyclist-friendly entrance from Harris Street Reserve by formalising pathways, installing appropriate fencing and wayfinding.	Medium
6.2.5.	Design and develop a pedestrian and cyclist-friendly entrance to the foreshore precinct at the corner of Banyan Street/Pertobe Road and Merri Street (and integrate into the wayfinding strategy for Lake Pertobe and surrounds).	Medium
6.2.6.	Improve pedestrian and cycle connections between Lake Pertobe and all adjacent public areas by improving and connecting paths, and the addition of wayfinding information.	Medium
6.2.7.	Construct new shared path across the southern side of Lake Pertobe Reserve to link all pedestrian crossing points on Pertobe Road as well as create raised crossing points.	High

6.2.8.	Complete the existing pedestrian loops and sub-loops in the reserve by constructing new paths and filling gaps in the existing network to create multiple options for a continuous path of travel around Kids Lake and Main Lake.	Medium
6.2.9.	Construct a new (shared) path to create pedestrian and cycle-friendly connections across the southern boundary of the reserve linking with path on the northern side of Pertobe road in 6.2.7.	High
6.2.10.	Construct a path between Mill Lake and Main Lake and on the north side of the Main Lake to connect to the northern path.	Medium
6.2.11.	Provide and clearly designate emergency access at all entrances to the reserve.	Medium
6.2.12.	Investigate options to improve pedestrian access across the railway line to link Lake Pertobe to Warrnambool's CBD.	Medium
6.3. Accessibility		
6.3.1.	Include information about accessible destination points and infrastructure (paths, play, social, toilets etc) in the wayfinding information.	High
6.4. Play Infrastructure		
6.4.1.	Design and construct an exciting, unique, inclusive, challenging and innovative playspace in Play Area 2 for 0 to 12 years.	Immediate
6.4.2.	Design and develop a diverse range of exciting, unique, challenging and innovative play for all ages by designating specific user groups for each play area: Play Area 1 – Youth/Adventure – Ages 12 years plus Play Area 3 – Slides etc – All ages / Mixed Area	High
6.4.3.	Provide unique, additional natural and sensory play experiences within existing play areas.	Medium
6.4.4.	Provide additional challenging adventure play opportunities in Play Area 1.	High
6.4.5.	Remove the paddling pools and creek feature in Play Areas 1 and 3 and replace with other water-based play elements in Play Areas 2 and 3.	Medium
6.4.6.	Include additional inclusive play elements and improve accessibility in all Play Areas by removing barriers such as raised timber edges and sand soft fall and replacing with accessible pathways and surfaces, as appropriate.	High
6.4.7.	Construct a new play area or feature in the central section of the reserve to create a new destination which encourages users to explore areas beyond the Pertobe Road frontage.	Medium
6.5. Arts and Culture		
6.5.1.	Include and share stories about Lake Pertobe's heritage, indigenous culture, stormwater/drainage functions and environmental values through improvements, wayfinding, precinct names and other on-site information.	High
6.5.2.	As 'Pertobe' is derived from the word 'pirtupp' meaning small sandpiper in aboriginal language, include the bird as a theme where appropriate, to acknowledge local aboriginal culture and identity within the reserve.	Immediate
6.6. Recreation and Social Use		
6.6.1.	Construct a half-court basketball and/or other active recreation infrastructure (eg netball/soccer/table tennis facilities) to encourage young people and adults to participate in casual sport.	Medium
6.6.2.	Construct several elevated viewing mounds on the edge of the Main Lake and/or Mill Lake.	Low
6.6.3.	Change to the local laws applying to Lake Pertobe Reserve to allow dogs-on-lead to use the perimeter pathways. This change should be evaluated after 12 months.	Medium
6.6.4.	Install clear signage at entry points and along pathways, and communicate via other channels available, to indicate where dogs are permitted and not permitted at Lake Pertobe.	High

6.6.5.	Investigate the formation of a Friends of Lake Pertobe group to increase community involvement in the implementation of the Masterplan.	High
6.7. Environment and Landscaping		
6.7.1.	New plantings will be indigenous wherever possible, with exotic trees used to provide natural shade as required.	Immediate
6.7.2.	Plant new groups of advanced deciduous trees for shade at the edges of grassed, open space areas/events areas.	High
6.7.3.	Review existing plantings and identify trees/shrubs for removal and/or replacement.	High
6.7.4.	Limit vehicles parking under the Norfolk Island Pine trees on Pertobe Road Monitor the health and condition of the Norfolk Island Pine trees regularly as part of the Council's existing tree audit/program.	Medium
6.7.5.	Improve the reserve's habitat values through weed control and works to improve water quality.	High
6.7.6.	Remove noxious and environmental weeds in the reserve.	High
6.8. Events and Infrastructure	Priority	
6.8.1.	Review access to the electricity supply for events and install access points in appropriate locations.	High
6.8.2.	Develop an events and activities policy to guide and manage appropriate and sustainable use of Lake Pertobe.	Immediate
6.8.3.	Develop an online interactive process for the approval, booking, management and promotion of events at Lake Pertobe.	High
6.8.4.	Develop a Policy around fees and charges for Council Open Space	High
6.8.5	Develop a policy for Itinerant Trading on Council managed Land	High
6.9. Parking and Transport		
6.9.1.	Prioritise, design and cost all parking recommendations as detailed on the parking layout plan for Lake Pertobe.	High
6.9.2.	Extend and formalise the car park area next to the mini golf.	High
6.9.3.	Extend the car park area near the sewer pump station to include extra vehicle spaces.	Medium
6.9.4.	Improve the vehicle parking area on the northwest side of Pertobe Road by sealing and line marking vehicle parking to maximise the spaces available near Events Area 1.	High
6.9.5.	Develop overflow parking for the foreshore area along Price Street.	High
6.9.6.	Restrict inappropriate vehicle access to the Jetty Flat area.	High
6.9.7.	Install a barrier to the east of Play Area 2 to stop vehicles parking under the Norfolk Island Pine trees on the road reserve.	Medium
6.9.8.	Communicate changes to parking and pedestrian connections at Lake Pertobe to increase awareness of park and walk options in the area.	Medium
6.10. Drainage and Water		
6.10.1.	Develop and implement a drainage maintenance program to ensure the lake's important drainage function is sustained.	High
6.10.2.	Investigate with Wannon Water the feasibility of alternate water souces from the main lake system for reuse at surrounding public areas.	High

LEGEND

- Proposed car parking spaces
- Pertobe Road Precinct envelope (see enlarged plan)
- Proposed granitic sand path
- Proposed concrete shared path
- Existing concrete path to be widened into a shared path
- Proposed location for wayfinding signage
- Proposed location for wayfinding map
- Proposed bicycle hoops

MASTERPLAN CONTEXT AND KEY PLAN
LAKE PERTOBE
WARRNAMBOOL CITY COUNCIL

SCALE 1:2000 (B1 SHEET)

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Amendments:

Print Issue:
25.09.2017 - Emailed to L. Mcleod

Title: Masterplan Context and Key Plan
Lake Pertobe

Client: Warrnambool City Council

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Date: 21.09.2017
Project No.: 16-033
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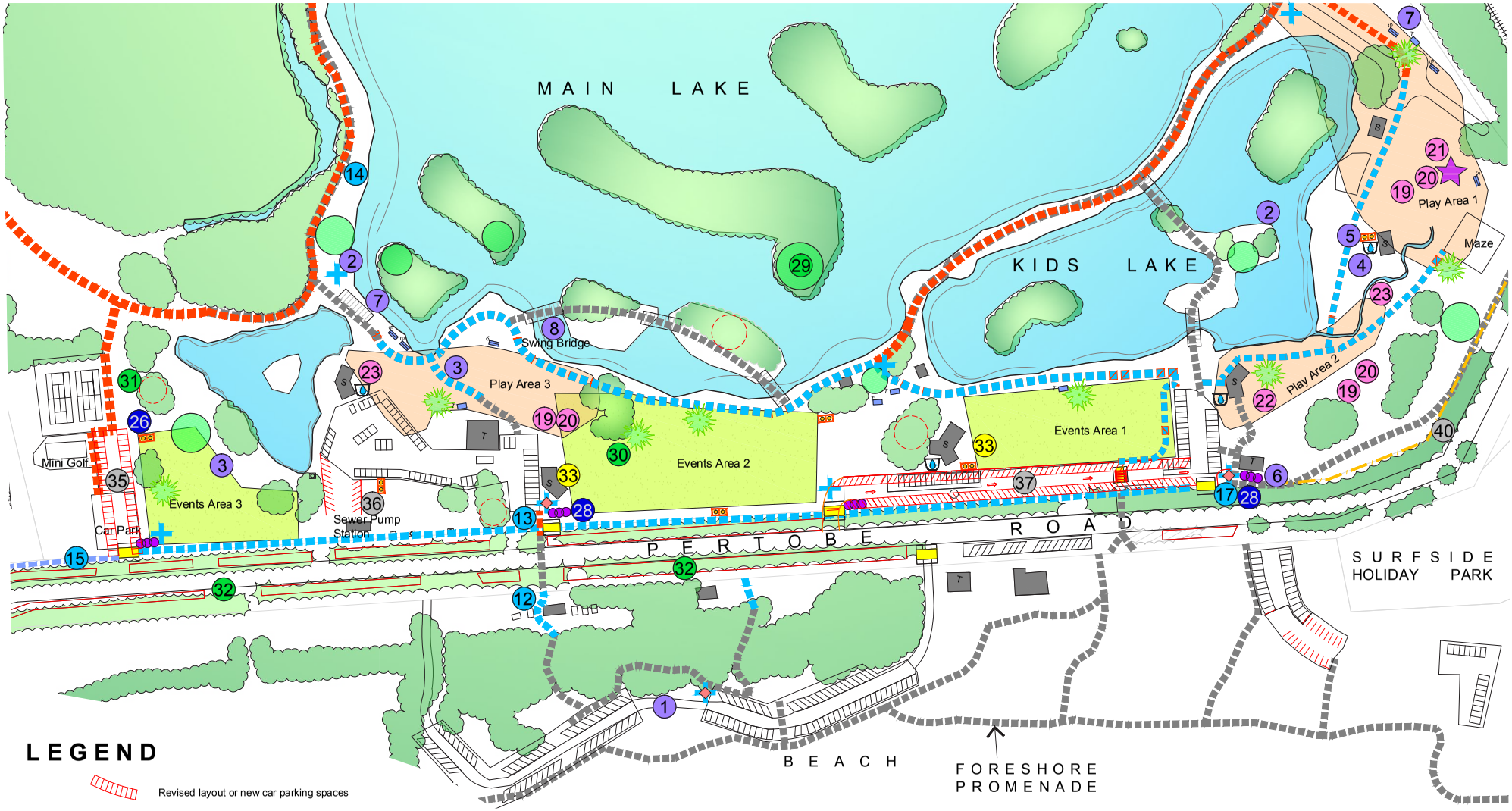
Drawing No.: Sheet 1 of 1



LEGEND

- Revised layout or new car parking spaces
- Existing pathway
- Proposed granitic sand path minimum width 2.3 metres
- Proposed concrete path minimum width 2.5 metres
- Existing concrete path to be widened into a shared path of minimum width of 2.5 metres
- Proposed raised shared path intersection treatment
- Proposed timber post and rail fence to prevent parking on nature strip
- Suggested location for wayfinding signage
- Suggested location for wayfinding map
- Trees/shrubs proposed to be removed
- Proposed group of deciduous trees for shade
- Proposed general location for new indigenous and/or native planting
- Proposed location for adventure/water play elements
- Suggested location for a drinking fountain and waterbottle filling station
- S T Existing shelter or toilet
- Suggested location for litter and recycling bins
- Suggested location for a seat
- Suggested location for a picnic table
- Suggested location for bicycle parking

PERTOBE ROAD PRECINCT - MASTERPLAN RECOMMENDATIONS

LAKE PERTOBE, WARRNAMBOOL

WARRNAMBOOL CITY COUNCIL

SCALE 1:750 (@1 SHEET)

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Client: Warrnambool City Council

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Drawn: G.L.
Date: 21.09.2017
Project No.: 16-033
Cad File:
Drawing No.: Sheet 1 of 1

SITE-SPECIFIC RECOMMENDATIONS

Infrastructure

1. Construct a new toilet/change facility with showers and change rooms at McGennan's Carpark to service all users of the foreshore area.
2. Provide access to the water for reserve users and hire operators along the lakes' edge in appropriate locations which are connected to the path network.
3. Identify appropriate locations and form for the provision of shade infrastructure in the reserve, particularly servicing the play areas.
4. Install combined drinking fountains and water bottle filling stations at key destinations within the reserve.
5. Review the provision of litter bins across the reserve, and install new/replacement waste and recycling infrastructure.
6. Install bike racks at key destinations within the reserve, particularly adjacent to car parks and entry points.
7. Install additional seating and picnic tables which meet the needs of all users (including some seats with arm rests, back rests and wheelchair accessible tables).
8. Investigate feasible options for replacement of the swing bridge in Play Area 3.

Connectivity and Wayfinding

9. Install wayfinding maps of the reserve in selected high traffic locations to facilitate easy navigation of the reserve and raise awareness of the variety of experiences and activities on offer.
10. Design and develop a pedestrian and cyclist entrance from Harris Street Reserve by formalising pathways, installing appropriate fencing and wayfinding.
11. Design and develop a pedestrian and cyclist-friendly entrance to the foreshore precinct at the corner of Banyan Street/ Pertobe Road and Merri Street (and integrate into the wayfinding strategy for Lake Pertobe and surrounds).
12. Improve pedestrian and cycle connections between Lake Pertobe and all adjacent public areas by improving and connecting paths, and the addition of wayfinding information.
13. Construct new paths to link Lake Pertobe Reserve with all pedestrian crossing points on Pertobe Road.
14. Complete the existing pedestrian loops and sub-loops in the reserve by constructing new paths and filling gaps in the existing network to create multiple options for a continuous path of travel around and between the lakes.
15. Construct a new (shared) path between Price Street and Pertobe Road to create pedestrian and cycle-friendly connections across the southern boundary of the reserve.
16. Construct a path between Mill and Main Lake and on the north side of the Main Lake to connect to Play Area 1.
17. Provide and clearly designate emergency access at all entrances to the reserve.
18. Investigate options to improve pedestrian access across the railway line to link Lake Pertobe to Warrnambool's CBD.

Play Infrastructure

19. Design and develop a diverse range of exciting, unique, challenging and innovative play for everyone by designating specific target/user groups for each play area:
    Play Area 1 - Youth/Adventure- 12 years plus
    Play Area 2 - Young children - Preschool to 12 years
    Play Area 3 - Slides etc - All ages/Mixed Area
20. Provide unique, additional natural and sensory play experiences within existing play areas.
21. Provide additional challenging adventure play opportunities in Play Area 1.
22. Provide a fenced/enclosed play space within Play Area 2.
23. Remove the paddling pools and creek feature in Play Areas 1 and 3 and replace with other water-based play elements in in Play Areas 2 and 3.
24. Include additional inclusive play elements and improve accessibility in all Play Areas by removing barriers such as raised timber edges and sand doft fall and replacing with accessible pathways and surfaces, as appropriate.
25. Investigate a new play area or feature in the central section of the reserve to create a new destination which encourages users to explore areas beyond the Pertobe Road frontage.

Recreation/Social Use

26. Construct a half-court basketball and/or other active recreation infrastructure (eg netball/soccer/table tennis facilities) to encourage young people and adults to participate in casual sport.
27. Construct several elevated viewing mounds on the edge of the Main Lake and/or Mill Lake.
28. Install clear signage at entry points and along pathways, and communicate via other channels available, to indicate where dogs are permitted and not permitted at Lake Pertobe.

Environment and Landscaping

29. New plantings will be indigenous wherever possible, with exotic trees used to provide natural shade as required.
30. Plant advanced deciduous trees for shade at the edges of grassed, open space areas/events areas as appropriate.
31. Review existing plantings and identify trees/shrubs for removal and/or replacement.
32. Limit vehicles parking under the Norfolk Island Pine trees on Pertobe Road by creating formalised/designated car park bays with a buffer zone from the edges of trees. Monitor the health and condition of the Norfolk Island Pine trees regularly as part of the Council's existing tree audit/program.

Events Infrastructure

33. Review access to the electricity supply for events and install access points in appropriate locations.

Parking and Transport

34. Prioritise, design and cost all parking recommendations as detailed on the parking layout plan for Lake Pertobe.
35. Extend and formalise the car park area next to the mini golf.
36. Extend the car park area near the sewer pump station to include extra vehicle spaces.
37. Improve the vehicle parking area on the northwest side of Pertobe Road by sealing and line marking vehicle parking to maximise the spaces available near Events Area 1.
38. Develop overflow parking for the foreshore area along Price Street.
39. Restrict inappropriate vehicle access to Jetty Flat area.
40. Install a barrier to the east of Play Area 2 to stop vehicles parking under the Norfolk Island Pine trees on the road reserve.

Drainage and Water

41. Develop and implement a drainage maintenance program to ensure the lake's important drainage function is sustained.
42. Investigate the feasibility of harvesting stormwater from the main lake system for reuse at surrounding public areas.

GENERAL AND MANAGEMENT RECOMMENDATIONS

Infrastructure

A. Prepare an infrastructure style guide to create a consistent and appropriate character. The guide should include: seats, waste receptacles (rubbish/recycle), drinking fountains/water bottle refilling stations, bike racks, lighting and picnic tables.
B. Creative and innovative design will be included in all new projects (eg wayfinding & signage, shelters, functional art , picnic decks, play features, etc).

Connectivity and Wayfinding

D. Develop and implement a wayfinding strategy for areas within and adjacent to Lake Pertobe.
E. Name all walking paths/loops, play areas and barbecue shelters to improve navigation and wayfinding.

Accessibility

F. Include information about accessible destination points and infrastructure (paths, play, social, toilets etc) in the wayfinding information.

Arts and Culture

G. Include and share stories about Lake Pertobe's heritage, indigenous culture, stormwater/drainage functions and environmental values through improvements, wayfinding, precinct names and other on-site information.
H. Integrate art, culture and storytelling into all infrastructure and other improvements within the reserve.
I. As 'Pertobe' is derived from the word 'pirtupp' meaning small sandpiper in aboriginal language, include the bird as a theme where appropriate, to acknowledge local aboriginal culture and identity within the reserve.

Recreation/Social Use

J. Change to the local laws applying to Lake Pertobe Reserve to allow dogs-on-lead to use the perimeter pathways.This change should be evaluated after 12 months.
K. Investigate the formation of a Friends of Lake Pertobe group to increase community involvement in the implementation of the Masterplan.

Environment and Landscaping

L. Improve the reserve's habitat values through weed control and works to improve water quality.
M. Remove noxious and environmental weeds in the reserve.

Events Infrastructure

N. Develop an events and activities policy to guide and manage appropriate and sustainable use of Lake Pertobe.
O. Implement a process for the approval, booking, management and promotion of events at Lake Pertobe.
P. Consider a fee structure for hosting of 'commercial/for profit' markets and events at Lake Pertobe.

Parking and Transport

Q. Communicate changes to parking and pedestrian connections at Lake Pertobe to increase awareness of park and walk options in the area.

MASTERPLAN RECOMMENDATIONS
LAKE PERTOBE
WARRNAMBOOL CITY COUNCIL

Amendments:

Print Issue:
25.09.2017 - Emailed to R. Lineham

Title: Draft Masterplan Recommendations Lake Pertobe

Client: Warrnambool City Council

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Drawn: G.L.
Date: 30.08.2016
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Drawing No.: Sheet 1 of 1

2 Introduction

LOCATION:

Lake Pertobe reserve (the reserve) is more than 50 hectares and is largely Crown Land vested under the control of Warrnambool City Council as the Committee of Management. An area of 10 hectares in the northeast section is Council Freehold Land. The reserve is in a Public Park and Recreation Zone in the Warrnambool Planning Scheme.

While Lake Pertobe reserve sits immediately to the south of the Warrnambool CBD, it is not well connected to the City Centre as a result of the Melbourne to Warrnambool Railway line dissecting the two. The Harris Street Recreation Reserve adjoins the site to the northwest, the residential neighbourhood of South Warrnambool to the west and south west, and Cannon Hill to the north east. The Lady Bay beach and foreshore is opposite the reserve's main frontage on Pertobe Road to the south and east. The map overleaf illustrates the reserve's location in the wider context.

Merri Street and the southern edge of the Warrnambool CBD is visually well-connected to Lake Pertobe and the foreshore area. Cannon Hill is open space on a hilltop with expansive views to Lake Pertobe and the foreshore. Whilst the views are vast, physical connections for both people and vehicles between these areas are extremely limited due to the railway line along the north boundary of the reserve, and the significantly difference in topography - with the CBD sitting on a hilltop overlooking the ocean and Lake Pertobe reserve at sea level.

Strategically, the reserve is well-located near other foreshore attractions such as Flagstaff Hill Maritime Village including the visitor centre, main swimming beach, the breakwater, the South Warrnambool Wetlands, and scenic locations such as Thunder and Pickering Points. There are several of Warrnambool's largest accommodation properties within walking distance of Lake Pertobe, including 3 camping grounds along Pertobe Road.

SITUATION ANALYSIS:

The Project Working Group's Background Report identified that current infrastructure at Lake Pertobe is consistent with the Warrnambool Open Space Infrastructure Guidelines, with exception of all-abilities access which is mostly poor, and a lack of any informational or wayfinding signage. While the lake and its environs are flat, there are issues of accessibility within and to/from the site due to a lack of paths and the steep difference in topography between the reserve and land to the north. As previously noted, the railway line limits access to and from the reserve

from Merri Street to a single location at the end of Gilles Street and via the road bridge on Pertobe Road.

The play opportunities are extensive and while renewal has taken place, the layout is original from the reserves development in the 1970s. The three main play areas are all along the frontage along Pertobe Road and near the reserve's picnic tables, shelters, barbecues and toilet facilities. The activities and facilities in this area along the Pertobe Road frontage, along with boat hire (small motor boats, canoes, and paddle boats), are the major drivers of visits by locals and visitors alike.

Currently the three stormwater outflows from Warrnambool's CBD are crude. Strategies to improve the visual and physical presentation and hydrological capacity of the stormwater outflows form part of the Masterplan's recommendations.

2.1 Scope

The Lake Pertobe Masterplan aims to address the development, management, operation and programming of the reserve for at least the next 15 years. The area covered by the Masterplan includes the area bounded by the Warrnambool Railway Precinct, Cannon Hill Lookout, Flagstaff Hill Maritime Village, Warrnambool Foreshore, the Woollen Mill Development and Harris Street Reserve.

Council's Project Working Group conducted a detailed consultation and engagement process that informed the preparation of the background report that summarised the issues and opportunities for both the Warrnambool Botanic Gardens and Lake Pertobe to date which formed the basis of Part A of the project.

Part B of the Project, which was undertaken by the Consultant team in conjunction with the Project Working Group and other Council officers, included:

- Analysis of the issues and opportunities raised in the Background Report.
- Identification and documentation of additional issues and opportunities.
- Assessment of opportunities.
- Consideration of community input and feedback.
- Preparation of the Draft Masterplan and Report.

The Part B tasks are detailed in the Appendices.

2.2 Project Aims

Warrnambool City Council set the following aims for the Masterplan study for Lake Pertobe.

- Develop a Masterplan for Lake Pertobe that take into account Warrnambool's changing demographics and future needs, furthering its goals and objectives as 'Warrnambool – a Healthy City'.
- Provide clear direction for Council and stakeholders by determining priorities, service levels and resourcing around the future development, management, operation and programming/activation of Lake Pertobe over at least the next 15 years.
- Prepare a functional and realistic Masterplan for Lake Pertobe.

The following are the objectives of the Masterplan for Lake Pertobe:

- Ensure the reserve continues to meet and exceed standards and expectations as a regionally significant reserve and open space by addressing issues such as connectivity, universal access, drainage, events and vehicle parking.
- Prepare the Vision for Lake Pertobe.

3 Process

The diagram details the actions undertaken to inform the development of the Masterplan.

January/ February 2016	Stakeholder Interviews Community Engagement: Issues and Ideas
February	Policy Review/ Strategic Context
March	Background Paper Prepared
April	Consultant Brief Prepared
June	Consultant Appointed
July	Consultant team site visit, stakeholder interviews, site assessments completed
August	Review of opportunities and development of the Draft Vision
September	Project update issued and community feedback on the draft vision
December 2016 - January 2017	Develop Draft Plan and Summary of Recommendations
March/April	"Check in" with the community on the Draft Masterplan direction at on site events and online
August	Workshop to seek direction from Council on key issues
September	Draft Masterplan and Report
January 2019	"Check in" with the community on the Final Report
2019	Masterplan presented to Council for adoption

Community Engagement : Issues And Ideas – January & February 2016

An extensive community engagement program was undertaken to explore what visitors, residents and stakeholders love about Lake Pertobe, and the changes and improvements they would support in the future.

In summary there were:

- 245 surveys completed
- 11 Submissions
- Hundreds of conversations at Summer Night Markets
- Two focus groups with young people at Warrnambool College
- Interviews with stakeholders

The message was clear – people of all ages love and value Lake Pertobe.

The top five things people told us they loved about Lake Pertobe were:

- The variety of play equipment and barbecue facilities
- Its spaciousness and size
- Open, grassed areas
- The wildlife and environment
- Walking tracks and accessibility

The top five things people told us they would like changed or improved were:

- Add and update play areas (including shade and water elements)
- Update and link paths and trails
- More native plants and wildlife
- Signage and wayfinding
- Better access for all

The submissions received included:

- Fencing to prevent inappropriate vehicle access (and prevent hoon activity)
- Improved parking and better connection to neighbouring areas
- Addressing gaps in pathway connections to improve connectivity in and around the site
- Fencing of some play areas
- More creative and challenging play activities for all ages
- Include permanent events infrastructure
- Add a petanque piste (playing area)
- Allow dogs on lead on perimeter paths around Lake Pertobe
- Improved bird watching facilities

Young aboriginal people and members of the Local Aboriginal Network (LAN) provided specific suggestions about how Aboriginal stories, language, and culture could be shared on the site in the future. These conversations also revealed that 'Pertobe' means "sandpiper" in local Gunditjmara language.

In summary, there is overwhelming community support for investment in and management of the Lake Pertobe to ensure it remains one of the best, freely accessible, reserves/parks and playgrounds in Australia, and becomes a more walkable, connected and environmentally sustainable feature which is well connected to both central Warrnambool to the foreshore.

Following the community engagement outlined above, Council's Project Working Group (PWG) prepared the Background Report Part A (see Appendix 1) that provides information about the reserve, current use and management, and highlights a range of existing issues (infrastructure, connectivity and wayfinding, universal access, heritage and art, recreation and social use, environment, events and traffic and parking) to assist in the preparation of the Masterplan for Lake Pertobe. This feedback and the Background Report were provided to the Consultant on appointment to inform the development of the Draft Masterplan.

Since the appointment of the Consultant in June 2016 the following activities have informed the preparation of the Draft Masterplan.

July 2016	**Initial meeting and site analysis** Following the initial meeting and site reconnaissance of the consultant team with the PWG, other Council officers and Council Parks and Gardens staff, a new document was created outlining additional issues and opportunities identified. Together with the previous issues and opportunities identified during Part A, these were combined in tabulated form as an Assessment of Merit (see Appendix 5) and were disseminated to members of the PWG and the consultant team for comment.
August 2016	**Assessment of opportunities** The consultant team assessed each opportunity and provided a recommendation to the level of priority assigned to each. Ten (10) categories were used to theme the opportunities. These have continued through the project and have been used in this report (refer to Chapter 6).
	Water modelling and stormwater harvesting opportunities STORM Consulting prepared a Water Balance Model for Lake Pertobe which informed the options for stormwater harvesting and storage options.
	Project Working Group meeting and Council staff workshop An informal workshop was held to develop the Draft Vision to support the Masterplan for Lake Pertobe. The different options for stormwater harvesting and storage were presented to the Project Working Group for their feedback.
	Councillor Briefing The Draft Vision and Issues and Opportunities were presented to Councillors for their feedback.
September 2016	**Project Update to the community and feedback on the Draft Vision: Community Engagement # 2** A project update was published and a community survey was undertaken to gauge reactions to the Draft Vision and the issues and key directions identified. Highlights of the feedback received regarding each theme are provided in Chapter 6.
December 2016 – January 2017	**Preparation of the Draft Masterplan** The consultant team prepared the Draft Masterplan for presentation during the next phase of community consultation for early 2017.
March – April 2017	**Community Engagement # 3** Council officers presented the Draft masterplan at a community event in Lake Pertobe on 2nd April 2017 for community feedback. Community input was also sought via a survey online and in hard copy. This was distributed to those who had previously engaged in the project consultation.
August 2017	**Councillor Briefing** The Draft Masterplan key recommendations were presented to Councillors on 28th August 2017 for their feedback.
September 2017	**Draft Masterplan** The consultant team created a Draft Masterplan for refinement and sign off by the PWG

4 History

Prior to European settlement, Lake Pertobe would have been an ephemeral wetland draining the undulating land to the north now the CBD and north Warrnambool area. The Peek Woorong people occupied the area around Warrnambool for at least 30,000 years prior to Warrnambool's founding in 1847 and would have made use of the seafood, eels and birdlife that were present in the Warrnambool bay area as food sources.1

Lake Pertobe, in its current form, was established through a staged development process. In the 1960's, seawater was pumped into the lake and the lake was used for water skiing. The lake dried out in 1968 and became unusable. In 1975, a plan was presented to Council to develop the lake as a "Wildlife and Tourism Area". The 1975 plan's recommendations included dredging the lake, building a weir and creating a series of islands, bridges and canals. The plan was adopted by Council and implemented from 1974-1980, which contributed to Warrnambool winning as Premier Town Contest in 1979 2. Substantial investment in revegetation, playspace equipment and civic amenities followed.

In 1996, Council completed a Playground Development Strategy which highlighted the need for plans to upgrade the playground equipment within Lake Pertobe to meet Australian Standards. In response to the Strategy, a concept plan for the eastern section of Lake Pertobe was prepared in 1998. The concept plan incorporated a range of improvements including new play apparatus and amenities. The plan's recommendations have been largely implemented. The eastern section is the section in this report later referred to as the Lake Pertobe corridor.

The lake now functions as the nucleus for active competitive recreation to the southeast and south by way of: an athletics track, cricket ground, BMX track, Pigeon Racing Club, lawn tennis and hard surface tennis courts with lighting and a lawn bowling club.

In 2014 Lake Pertobe made the Top 10 South Pacific Parks in the Trip Advisor Travellers Choice Awards. The reserve consistently receives 'excellent' reviews on the Trip Advisor website. Lake Pertobe has received high reviews from a variety of Melbourne-based websites and blogs.

Lake Pertobe Development Plan 1975

5 Strategic Context: Policies and Strategies

Following is a summary of strategies and plans that have influenced the Masterplan, or for which the Masterplan delivers outcomes.

5.1 Warrnambool 2040 Community Plan (draft)

When endorsed in mid-2018, Warrnambool 2040 (W2040) will be a long term community plan for the future of Warrnambool. It aims to capture the community's shared values, goals and priorities for the next twenty-plus years.

During the first phase of community engagement, Warrnambool's residents identified Lake Pertobe one of the things they love about Warrnambool. More native revegetation and the protection of the natural environment were identified as improvements needed in the future.

The draft plan identifies the importance of access to the natural environment, connectivity and quality public spaces for Warrnambool's residents as key priorities.

W2040 GOALS AND PRIORITIES RELEVANT TO LAKE PERTOBE:

In November 2017, the following draft goals and specific priorities were published which the masterplan directly addresses and supports:

GOAL: Warrnambool is a welcoming, liveable and thriving place

PRIORITY 4: Warrnambool will have connected open spaces
Warrnambool will provide abundant public open space for its diverse population. Through good design, our public open spaces will be accessible, safe and well-connected, and provide a variety of activities and uses to suit all abilities and age groups. Our public open spaces will be designed to support and enhance the natural environment and biodiversity

PRIORITY 5: Warrnambool will have quality public spaces and facilities
Warrnambool will offer public spaces and facilities that are well designed, activated, sustainable, adaptable, multi-use and safe. Public spaces will be designed to facilitate social connections by encouraging diverse activities for residents and visitors in an open and welcoming environment. Warrnambool will be an attractive and pleasant place to be, including public art and other visual points of interest.

Goal: Warrnambool will be a city for all people

PRIORITY 1: A welcoming and inclusive city
Warrnambool will be an inclusive and welcoming community that embraces all residents and visitors, and encourages those with diverse backgrounds, ages and abilities to participate in the community. Warrnambool will reflect and celebrate its diverse cultures, beliefs and heritage.

PRIORITY 2: An active and connected community
Warrnambool will be a community which has safe, welcoming and accessible places designed to facilitate diverse social, cultural and physical opportunities. It will provide environments which support and encourage active living and meaningful social connection.

PRIORITY 3: A healthy place
Warrnambool will make health a priority with accessible and affordable physical and mental health services, recreational facilities and opportunities, including for those who are vulnerable and disadvantaged.

PRIORITY 4: Value our Aboriginal identity
Warrnambool will proudly embrace and respect Aboriginal culture, knowledge and heritage.

GOAL: Warrnambool will be the most sustainable regional city in Australia.

PRIORITY 2: Enjoy, love and respect its natural environment
Warrnambool will restore, maintain and enhance its natural environment, biodiversity corridors, waterways and coast for the benefit of all its inhabitants. It will strive to improve our natural assets and invest in them for our future generations, drawing on traditional owner knowledge.

PRIORITY 3: Green Warrnambool
Warrnambool will develop greening initiatives such as the urban forest and nature strips, connecting green wedges, green roofs, vertical gardens and community gardens. Warrnambool will increase its green infrastructure and associated canopy cover for a cooler, water sensitive and biodiverse City

PRIORITY 8: Warrnambool will conserve water and improve the health of its waterways through water sensitive urban design

5.2 Warrnambool City Council Plan (2017 – 2021)

The Council Plan includes the following objectives and strategies which are directly supported by the masterplan.

Objective 1: Sustain and enhance the natural environment
1.1 Protect and enhance our waterways, coast and land

Objective 2: Foster a healthy city that is socially and culturally rich
2.1 Promote healthy lifestyles
2.2 Seek equity, access, safety and inclusion for everyone

2.3 Increase community health and social connections
2.4 Encourage and support participation in sport, recreation and physical activity
2.7 Actively acknowledge local Aboriginal culture
2.8 Increase participation opportunities for disadvantaged members of the community

Objective 3: Maintain and improve the physical fabric of the city
3.1 Build better connections for cyclists and pedestrians
3.3 Build infrastructure that best meets current and future community needs
3.4 Enhance movement in and around the city
3.5 Maintain and enhance existing Council infrastructure

5.3 Warrnambool - A Healthy City (2017 – 2021)

Lake Pertobe is supports active living and social connection in Warrnambool. Improvements to arguably Warrnambool's most important reserve will deliver strongly on many priorities of the City's health and wellbeing plan.

5.4 Warrnambool Open Space Strategy (2014)

Assessed a regional open space in the strategy, Lake Pertobe Reserve is arguably the "jewel in the crown" of Warrnambool's Open Space network.

The open space vision for Warrnambool is: Warrnambool will have a high quality, diverse, accessible open space network that reflects community needs and enhances social connection, environmental protection and economic benefit."

In order to achieve this vision, principles have been developed to guide the day to day planning and management of open space in Warrnambool.

It is envisioned that Warrnambool's open space network will be:
Accessible - a variety of open spaces that are accessible to all residents, regardless of age, ability and culture. Residents should have at least one open space within walking distance of their home.
Adaptable – be flexible, multi-use and provide opportunities for passive and active recreation that is responsive to community needs.
Connected - open space corridors and shared trails that improve the connectivity of the network and provide links for walking, cycling and biodiversity movement.
Diverse – provide a variety of experiences and cater for a range of recreational needs.
Efficient - consider adaptability and maintenance in the development and management of open space.
Equitable - access to open space will be distributed as fairly as possible across the municipality.
Protective of the environment - preserve and enhance areas with environmental values and provide appropriate public access to waterways and coastal environments.

A key issue identified in the open space strategy which will be addressed in this masterplan is the poor connectivity between Warrnambool's Central Business District and the

Lake Pertobe/foreshore precinct for cycling and walking. Topographical differences between the two precincts is a contributing factor; the elevation difference delivers expansive views, however it limits access points on the north side to only two locations – from Pertobe Road and Gilles Street.

In terms of the other open space principles, Lake Pertobe needs to be improved in the following ways:

- **Accessibility** – be more accessible to all ages, abilities and cultural backgrounds.
- **Protection of the environment –** there is a need to better preserve and enhance areas of environmental value and provide access where appropriate to the lake.
- **Diversity –** improve the reserve's offer and variety of experiences and to better meet the recreational needs of all ages, but especially young people and adults.

5.5 Warrnambool Open Space Infrastructure Guidelines

The existing infrastructure at Lake Pertobe is generally consistent with the Warrnambool Open Space Infrastructure Guidelines as indicated for a regional recreation reserve. The following items are not currently lacking within the reserve and would be supported by these guidelines:

- A basketball hoop/hitting wall
- Improved disability/wheelchair access
- Additional all-abilities play equipment/experiences
- Improved and additional shared pedestrian/ bike pathways
- Additional bicycle racks
- Wayfinding and informational signage

5.6 Warrnambool Public Toilet Plan (2014)

Specific recommendations relevant to Lake Pertobe are the following:

- Upgrade of the interior of the public toilets building to the southwest of Play Area 2 to meet CPTED and DDA requirements.
- Installation of external lighting at the public toilets building to the southwest of Play Area 2 and south of Play Area 3.
- Decommissioning of the public toilets building on the southeast side of Pertobe Road (adjacent to the Beach Kiosk) and construction of a replacement public toilet and change facility within the Foreshore Precinct.

5.7 Warrnambool Sustainable Transport Strategy (2010-2020)

Specific recommendations relevant to Lake Pertobe are the following:

- Improvement to the foreshore path network through better pedestrian and cyclist linkages from Warrnambool's Central Activities District through the Railway Precinct and Lake Pertobe.
- Support of Warrnambool's tourism industry through better connectivity in between key destinations such as Lake Pertobe, Warrnambool Harbour, the beach areas and beyond.

5.8 Lake Pertobe Concept Plan (1998)

The majority of the recommendations within the concept plan were implemented apart from the construction of formal shared paths throughout the Lake Pertobe.

5.9 Lake Pertobe Development Plan (1975)

The majority of the recommendations within the development plan were implemented apart from the construction of a road or path under the railway line at Gilles Street to connect Lake Pertobe with the Central Activities District.

6 Masterplan Recommendations

The following discussion or narrative underpins the Draft Masterplan's Recommendations. They were derived from the analysis, the assessment of merit of ideas raised during the consultation and engagement process and adoption of Council Planning Policies and Strategies, including the objectives of the Masterplan.

6.1 Infrastructure

Current Situation

Overall infrastructure is adequate in terms of barbecue shelters, seating and the variety of play elements. Existing playspace elements are not due for renewal for at least another six years. Shade is provided primarily as barbecue shelters. There is limited shade provided by small to medium canopy trees nearby to the playspaces and the barbecue shelters. The granite stone top picnic tables have timber seat planks and many seat planks have deteriorated.

Community Feedback

The need for any new infrastructure is to be sympathetic to the setting and the environment was documented during the community engagement process. Additional seating and picnic facilities were strongly supported.

Recommendations

6.1.1 Construct a new toilet/change facility with showers and change rooms at McGennan's Carpark to service all users of the foreshore area

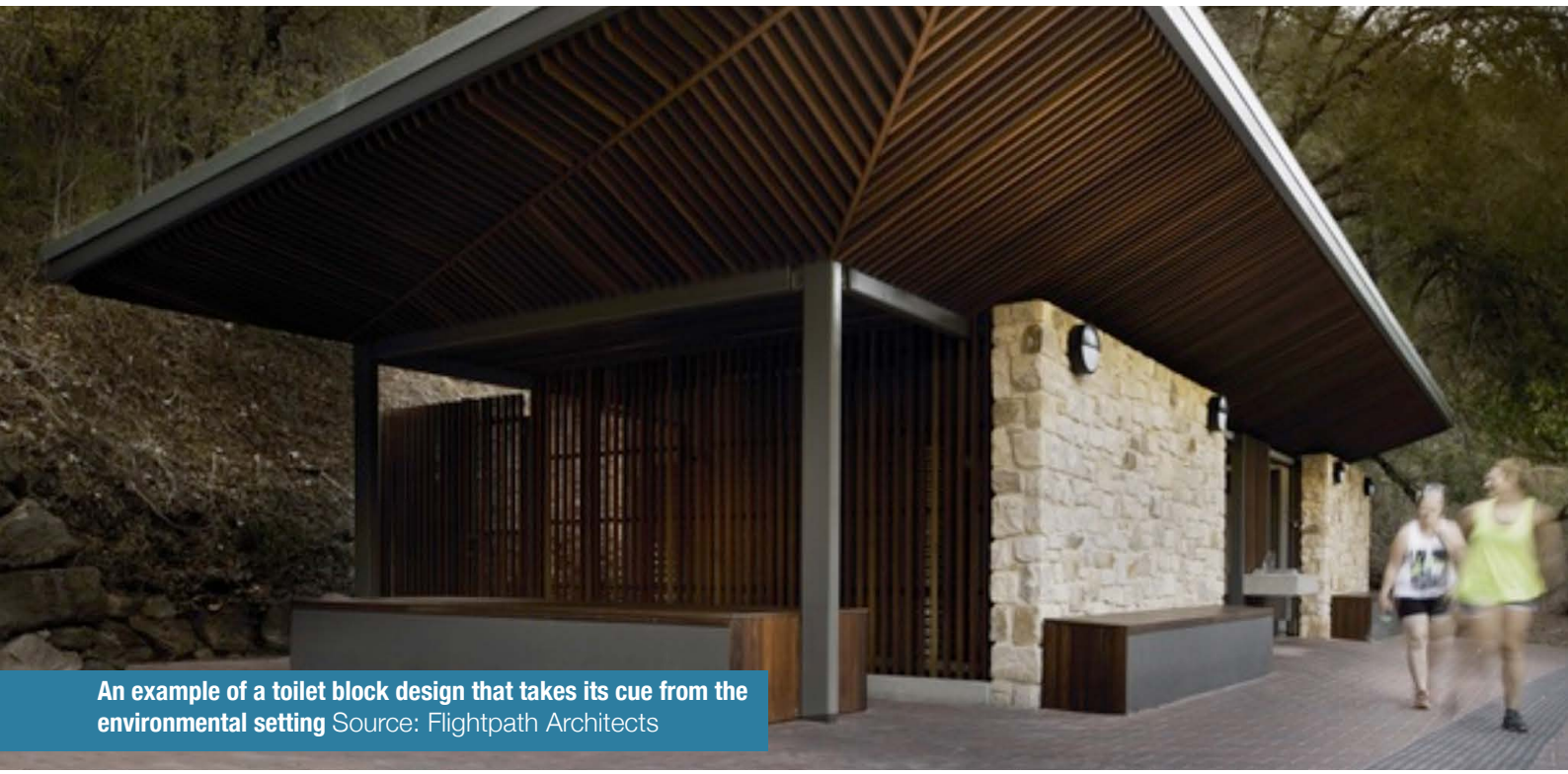
IMMEDIATE PRIORITY

This project has already been approved. The toilet facility should be carefully designed to be integrated into the foreshore precinct, consultation is to be undertaken for final location.

6.1.2. Provide access to the water for reserve users and hire operators along the lakes' edge in appropriate locations which are connected to the path network.

MEDIUM PRIORITY

Areas or portions of the lake edge should be accessible to people with prams, walking frames and wheelchairs. A floating jetty will allow all abilities access to the lake environment.



An example of a toilet block design that takes its cue from the environmental setting Source: Flightpath Architects

6.1.3 Identify appropriate locations and form for the provision of shade infrastructure in the reserve, particularly servicing the play areas.

HIGH PRIORITY

Consideration should be given to the provision of shade in the form of small clusters of deciduous trees and/or structures other than shade sails. These are best provided at key picnic locations and the toddler playspace. Providing shade to groups of seats and picnic tables will make the stay at Lake Pertobe more enjoyable, particularly for less mobile people, elderly people and families of young children.

6.1.4 Prepare an infrastructure style guide to create a consistent and appropriate character. The guide should include: seats, waste receptacles (rubbish/recycle), drinking fountains/ water bottle refilling stations, bike racks, lighting and picnic tables.

HIGH PRIORITY

Currently there is no consistent style for the existing infrastructure elements. Site furniture should be consistent and take reference to the lake and coastal environment.

6.1.5 Install combined drinking fountains and water bottle filling stations at key destinations within the reserve.

MEDIUM PRIORITY

Additional drinking fountains to key destinations such as the flying fox area will make visitation more enjoyable. Taps for filling water bottles will be more hygienic than bubblers and less wasteful of water.

6.1.6 Review the provision of litter bins across the reserve, and install new/replacement waste and recycling infrastructure.

MEDIUM PRIORITY

Attend to maintenance issues associated with having too many litter bins along Pertobe Road. Currently there are small bins to the kerbline and larger bins are used at peak times. Install some permanent larger litter bins as permanent installations.
There is a soldiered line or row of small capacity litter bins. Larger bins at key hot spots should be provided.

6.1.7 Install bike racks at key destinations within the reserve, particularly adjacent to car parks and entry points.

MEDIUM PRIORITY

Providing bicycle hoops adjacent to picnic areas and playspaces will encourage people to cycle to Lake Pertobe, rather than travelling by car. In the longer term the promotion of cycling within Warrnambool's CBD may help reduce car parking pressure and congestion at Pertobe Road and the foreshore area during the summer months.

6.1.8 Install additional seating and picnic tables which meet the needs of all users (including some seats with arm rests, back rests and wheelchair accessible tables).

HIGH PRIORITY

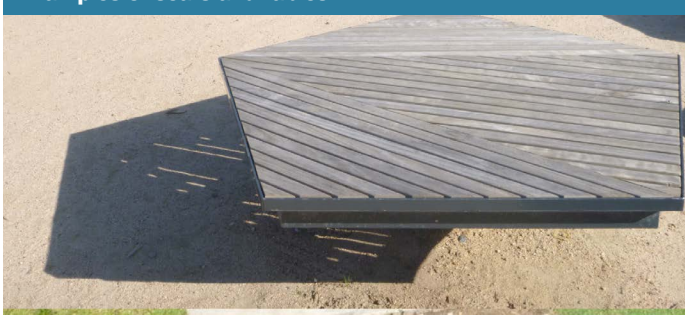
Provision of a range of seats and picnic tables will make the stay at Lake Pertobe more enjoyable particularly for less mobile people and elderly people. Provision of seats with back rests will be good as the seats to existing picnic tables do not have back rests. Flat zones for pram and wheelchair parking should be considered.
While traditional outdoor seats and tables can be utilised, creative options should also be considered.

6.1.9 Investigate feasible options for replacement of the swing bridge feature in Play Area 3.

IMMEDIATE PRIORITY

The suspension bridge functions as an access connecting paths, but doubles up as a 'play experience' enjoyed by children and adults. The bridge is one of Lake Pertobe's

Examples of seats and tables



Existing granite top picnic table with timber seating

more recognisable features that must be replaced.

6.1.10 Creative and innovative design will be included in all new projects (eg wayfinding & signage, shelters, functional art, picnic decks, play features, etc).

IMMEDIATE PRIORITY

Projects involving the design of infrastructure such as toilet blocks, shelters, signage and functional art should consider the lake and foreshore environment setting and do not include unnecessary/unrelated design elements for ornamentation's sake.

6.1.11 Develop an App to increase engagement and enjoyment of visitors to Lake Pertobe by providing information and interpretation of Lake Pertobe's environment and recreational opportunities.

HIGH PRIORITY

Develop a Lake Pertobe dedicated App that can efficiently disseminate important information to the users of Lake Pertobe. The App is to be designed to showcase all that Lake Pertobe has to offer as many users are unaware of the potential that Lake Pertobe has to offer. Many members of the public entering Lake Pertobe have very little idea as to where paths go and what opportunities might be within a few minutes' walk of them.

The app is to give information about Lake Pertobes cultural history, encourage participation in more site activities including walks, flora and fauna discovery (including birdwatching), the various play opportunities, wayfinding and locations of site amenities.

6.1.12. Construct a Changing Places facility with accessible shower on the reserve adjacent to existing public toilet.

As a key regional destination it is important to have a high standard of accessibility and inclusive facilities at Lake Pertobe. Changing Places facilities are larger than standard accessible toilets, and have extra features and more space to meet the needs of people with a disability and their carers. A Changing Places facility will be constructed adjacent to the existing toilet block at Play Area 2.

6.2 Connectivity and Wayfinding

Current Situation

Lake Pertobe is a 'destination' place and the important link connection to other destinations including the Jetty Flat sports precinct, the foreshore, Flagstaff Hill, Cannon Hill, the Railway Station, Lady Bay, Deep Blue Resorts and accommodation providers. The overall layout of the reserve supports multiple pedestrian/cycle 'loop' trails however there is no continuous formalised perimeter trail around the whole reserve. There are multiple defined entry points. The reserve has good pedestrian and cycling links to the South Warrnambool residential area including the Woollen Mill development however, cycling within the reserve is not well supported due to gaps in the formal path network, existing accessibility issues and minimal existing bike racks. There are no formalised walking tracks in between the lakes. Instead there is an informal mown/slashed track that does not provide all-weather access. Currently there is no directional or information signage available at the reserve.

Community Feedback

The need for wayfinding signage showing walking tracks and destination points within and around Lake Pertobe was mentioned during the community engagement process. Construction of missing links to the footpath network particularly links to the Warrnambool-Port Fairy Rai Trail and to Jetty Flat sports precinct was also mentioned during the community consultation stage.

Recommendations

6.2.1 Develop and implement a wayfinding strategy for areas within and adjacent to Lake Pertobe.

HIGH PRIORITY

The strategy should identify the location and style for directional signage and maps in the reserve, including information about walking and cycling loops, providing travel times between key destinations in and beyond the reserve and highlight accessible features. The wayfinding strategy is to

incorporate information about the site's history, environment, indigenous cultural heritage and leisure features.

6.2.2 Install wayfinding maps of the reserve in selected high traffic locations to facilitate easy navigation of the reserve and raise awareness of the variety of experiences and activities on offer.

IMMEDIATE PRIORITY

Lake Pertobe is Warrnambool's premier open space and link between the CBD and foreshore as bookends to the reserve. It is of crucial importance that maps are prepared noting pathways, vehicle access, car parking areas and activity zones.

Example of a wayfinding map

6.2.3 Name all walking paths/loops, play areas and barbecue shelters to improve navigation and wayfinding.

HIGH PRIORITY

Through naming each precinct (ideally with Gunditjmara names and/or names pertaining to the geology, ecology/environment), wayfinding will be easier for visitors to the reserve. Already the Sandpiper water bird (Pertobe means sandpiper in the Gunditjmara language) has been recommended as a possible design theme for the reserve and it is appropriate that other names of equal standing considered for sections of the reserve. Naming of sections of the reserve will assist Council and event organisers in better managing festivals and other events. Naming of precincts will assist in the deployment of work crews vehicles and access during emergency situations. The naming of precincts should be as per the already compartmentalised activity zones of playspaces and shelters.

6.2.4 Design and develop a pedestrian and cyclist-friendly entrance from Harris Street Reserve by formalising pathways, installing appropriate fencing and wayfinding.

MEDIUM PRIORITY

Harris Street Reserve with its soccer, cricket and dog training facilities is strategically located at the northwest corner of Lake Pertobe and is a link to the railway station, the CBD and residential areas to the west of Lake Pertobe. Therefore there is a strong requirement for the improved path network of Lake Pertobe to link into a formalised pathway system with wayfinding signage within Harris Street Reserve, thereby creating connectivity to the northwest.

6.2.5 Design and develop a pedestrian and cyclist-friendly entrance to the foreshore precinct at the corner of Banyan Street/Pertobe Road and Merri Street (and integrate into the wayfinding strategy for Lake Pertobe and surrounds).

MEDIUM PRIORITY

This is the main vehicular access to connect to the breakwater, the foreshore and Lake Pertobe for motorists, pedestrians and cyclists entering Lake Pertobe from the Warrnambool CBD and the northeast. The Maritime Museum and Visitor Information Centre is to the immediate east, making this intersection the gateway to the reserve, the breakwater, Thunder Point and the foreshore.

6.2.6 Improve pedestrian and cycle connections between Lake Pertobe and all adjacent public areas by improving and connecting paths, and the addition of wayfinding information.

MEDIUM PRIORITY

Currently the existing narrow 'sand through scrub tracks' are easily missed, plus a more legible asphalt pathway near the Warrnambool Surf Life Saving Club lead to the Lady Bay foreshore. Providing wayfinding signage and increasing the visual prominence of particularly the sand tracks leading from the existing picnic shelters is required.

6.2.7 Construct new shared path across the southern side of Lake Pertobe Reserve to link all pedestrian crossing points on Pertobe Road as well as create raised crossing points

HIGH PRIORITY

The southern side of the Lake Pertobe Reserve currently lacks any form of pedestrian paths, the reserve itself lacks any pathways to ensure that pedestrians can enjoy the reserve on a consistent surface. Pedestrians rather have to cross the road on the southern side of Pertobe Road to walk or cycle on a path, the Construction of a shared pathway on the southern side of the reserve will create a fantastic promenade which will link existing facilities including car parks, picnic shelters and some all abilities play equipment performing a vital walking infrastructure goal. Providing pedestrian raised pathways across vehicle accesses will also ensure that the pathway provides a pedestrian focused piece of infrastructure.

6.2.8 Complete the existing pedestrian loops and sub-loops in the reserve by constructing new paths and filling gaps in the existing network to create multiple options for a continuous path of travel around Kids Lake and Main Lake.

MEDIUM PRIORITY

There is a need for a legible and well-laid out path system both to the perimeter of Lake Pertobe and between the lake systems. Currently there is the North, East and Southern section of Lake Pertobe Reserve which lack pathways. The installation of a 2.5 metre wide concrete path will not only allow for paths to link up the large amounts of facilities including play areas, bbq areas, car parks but it will create a fantastic pedestrian loop with all abilities access. Pathways will need to have distance markers to assist people interested in circuit walking/running or cycling.

Proposed raised shared path priority treatment at all vehicle crossings (Source: Bicycle Network)

6.2.9 Construct a new (shared) path to create pedestrian and cycle-friendly connections across the south west boundary of the reserve linking with path on the Northern side of Pertobe Road in 6.2.7.

HIGH PRIORITY

At peak times visitation pressure is high, the Masterplan has actively sought to encourage activity away from the busy frontage, and provide improved active transport linkages provision to the southern and western sections of the reserve.

6.2.10 Construct a path between Mill Lake and Main Lake and on the north side of the Main Lake to connect to the Northern Path.

MEDIUM PRIORITY

There is an existing mown/slashed grass track subject to inundation between the two lake systems. Full construction of a concrete pathin the sections subject to inundation will provide more acceptable pedestrian surfaces.

6.2.11 Provide and clearly designate emergency access at all entrances to the reserve.

MEDIUM PRIORITY

Lake Pertobe of 58 hectares in area, is large and in parts somewhat secluded. Naming of the precincts of the reserve will assist emergency vehicles in locating incidents and adding emergency markers at key landmarks and entrance points will assist in locating part of the reserve for emergency agencies.

6.2.12 Investigate options to improve pedestrian access across the railway line to link Lake Pertobe to Warrnambool's CBD.

MEDIUM PRIORITY

One way to reduce the pressure of visitation and access by car/car parking pressure is to encourage people to walk from the CBD area to Lake Pertobe. Upgrading the Gilles Street crossing may be difficult, given it would involve VicTrack. Improving the pedestrian connections from the north to the crossing should actually be a higher priority than the crossing itself. A potential overhead crossing of the railway line with switch back ramp approaches to meet departure gradients is one long term option.

Existing conditions at the Gilles Street approach to Lake Pertobe – pedestrian crossing point.

6.3 Access for All

Current Situation

Most of Lake Pertobe is relatively flat, making access to people with mobility issues or with prams relatively easy.

The following elements are the existing all abilities infrastructure:

- Multiple disabled car parking spaces with path connections to the barbecue shelters (east and west of Events area 1, west of Events Area 2, northeast of Events Area 3 and west of the barbecue shelter adjacent to the toilet block south of Pertobe Road)
- A small equal access playspace that links to an accessible picnic table and a disabled car parking bay
- The maze in Play Area 1 is suitable for wheelchair access
- Accessible bridges linked to an accessible picnic table
- A variety of seating options in the barbecue shelters
- Disabled toilets to the south of Play Area 3

There are no wayfinding signs or maps to show where these elements are in the reserve.

There are many existing infrastructure elements that do not provide all-abilities access. Some of the bridges and fishing platforms do not support all abilities access. The informal tracks to the north, east and west of Main Lake are mown/slashed grass, which do not support all-abilities or all-weather access.

Community Feedback

The community overwhelmingly supports improvements to the existing path system and inclusion of new play opportunities that would improve accessibility for people with mobility issues.

Example of wheelchair-friendly play equipment
(Source: The Bay Push)

Recommendations

6.3.1 Include information about accessible destination points and infrastructure (paths, play, social, toilets etc) in the wayfinding information.

HIGH PRIORITY

The provision of information and wayfinding signage and markers will inform people of the reserve's attributes, diversity of use and environment. In the longer term, assist in spreading the intensity of use across the reserve.

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PLAY AREA 3
SLIDES, ETC.
MIXED/ALL AGES

Slide hill

Miracle slide, tyre swing and spinner

Junior playspace

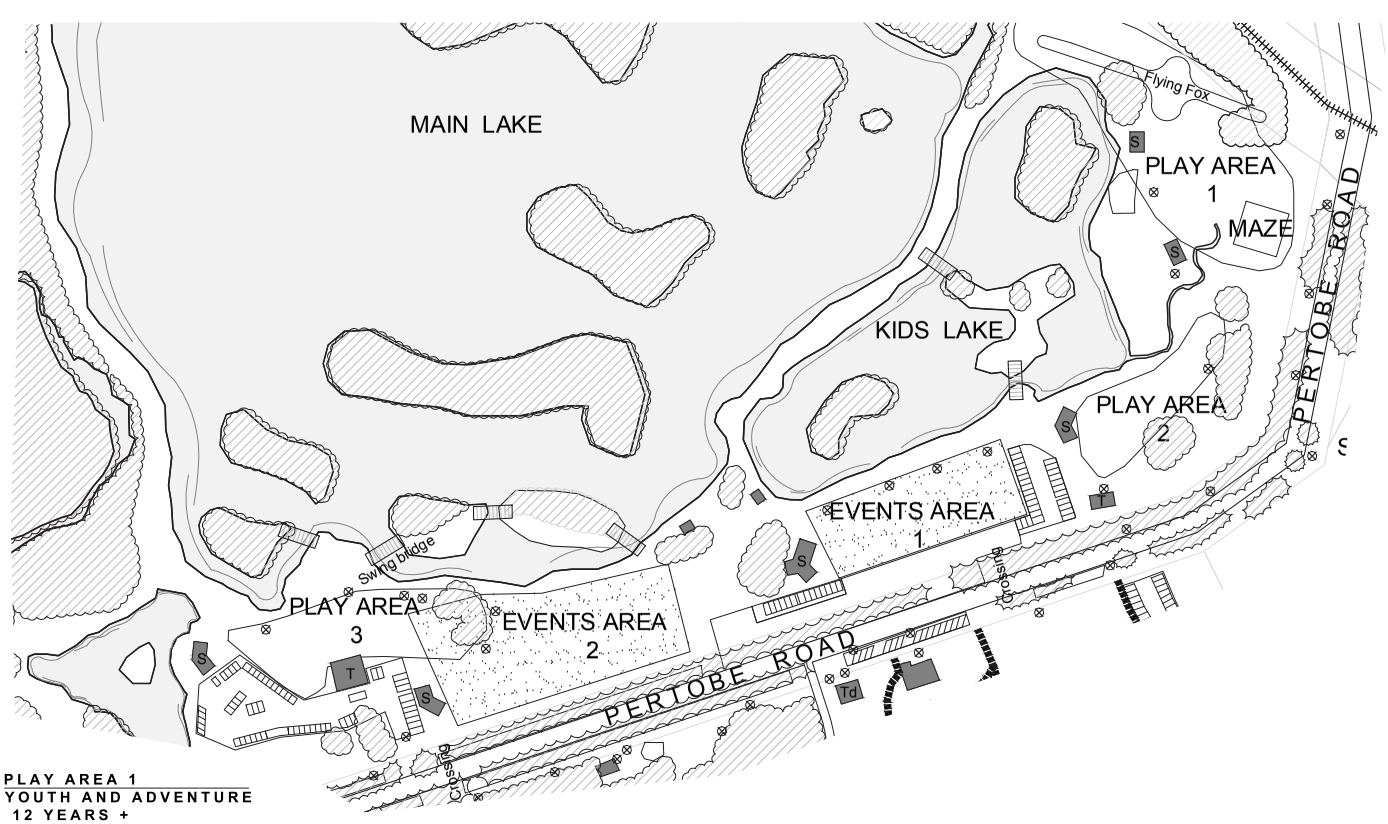
Mini trampolines

Rock pool

PLAY AREA 2
YOUNG CHILDREN
PRESCHOOL TO 12 YEARS

Toddler playspace

Equal access playspace



PLAY AREA 1
YOUTH AND ADVENTURE
12 YEARS +

Maze

Artificial creek and rock pool

Rock pool

Junior and senior flying fox

STRENGTHS
- Integration of adventure play areas with the 'natural' environme
- Unstructured links in between the playspaces
- Diverse play experiences on offer

CHALLENGES
- Lack of shade at all the playspaces
- The miracle slide, spinner and four tyre swing are play elements that cannot be replaced at end-of-life (2023). Some play elements such as the rock pools does not strictly meet safety standards
- Regular vandalism to play equipment

EXISTING PLAY INFRASTRUCTURE
LAKE PERTOBE - WARRNAMBOOL
WARRNAMBOOL CITY COUNCIL

SCALE 1:750 (@1 SHEET)

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Amendments:

Print Issue:

Title: Existing Play Infrastructure
Lake Pertobe - Warrnambool

Client: Warrnambool City Council

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Drawing No.: Sheet 1 of 1

6.4 Play Infrastructure

Current Situation

There is a diversity of play experiences on offer within Lake Pertobe. The play elements are linked informally which contributes to the 'adventure feel' of the playspaces. The three existing playspace precincts are:

- Play Area 1 – includes the maze, junior and senior flying fox, rock pool and artificial creek
- Play Area 2 – toddler playspace and equal access playspace
- Play Area 3 – slide hill, rock pool, junior playspace, mini trampolines, miracle slide, tyre swing and spinner

The existing all-abilities play elements within the reserve are the maze in Play Area 1 and an equal access playspace in Play Area 2 which is currently in poor condition and requiring replacement. While the maze is internally accessible by wheelchair, there is no footpath leading to it.

Community Feedback

The community supports improvements to the playspaces to make them safer for young children and to allow all-abilities access particularly for children with mobility issues. These include fencing around the toddler playspace, installing rubber mats under some play equipment and providing shade to playspaces. Requests have been made to either construct a dedicated water-based playspace or to incorporate water-based play into the existing playspace precincts. The incorporation of natural and sensory play experiences and adventure-type play infrastructure has also been documented during the community engagement process.

Lake Pertobe is acknowledged as being one of the state's best playspaces. The several core sites of play apparatus are well-compartmentalised and defined by mounding, vegetation, including grassed areas and picnic shelters.

Recommendations

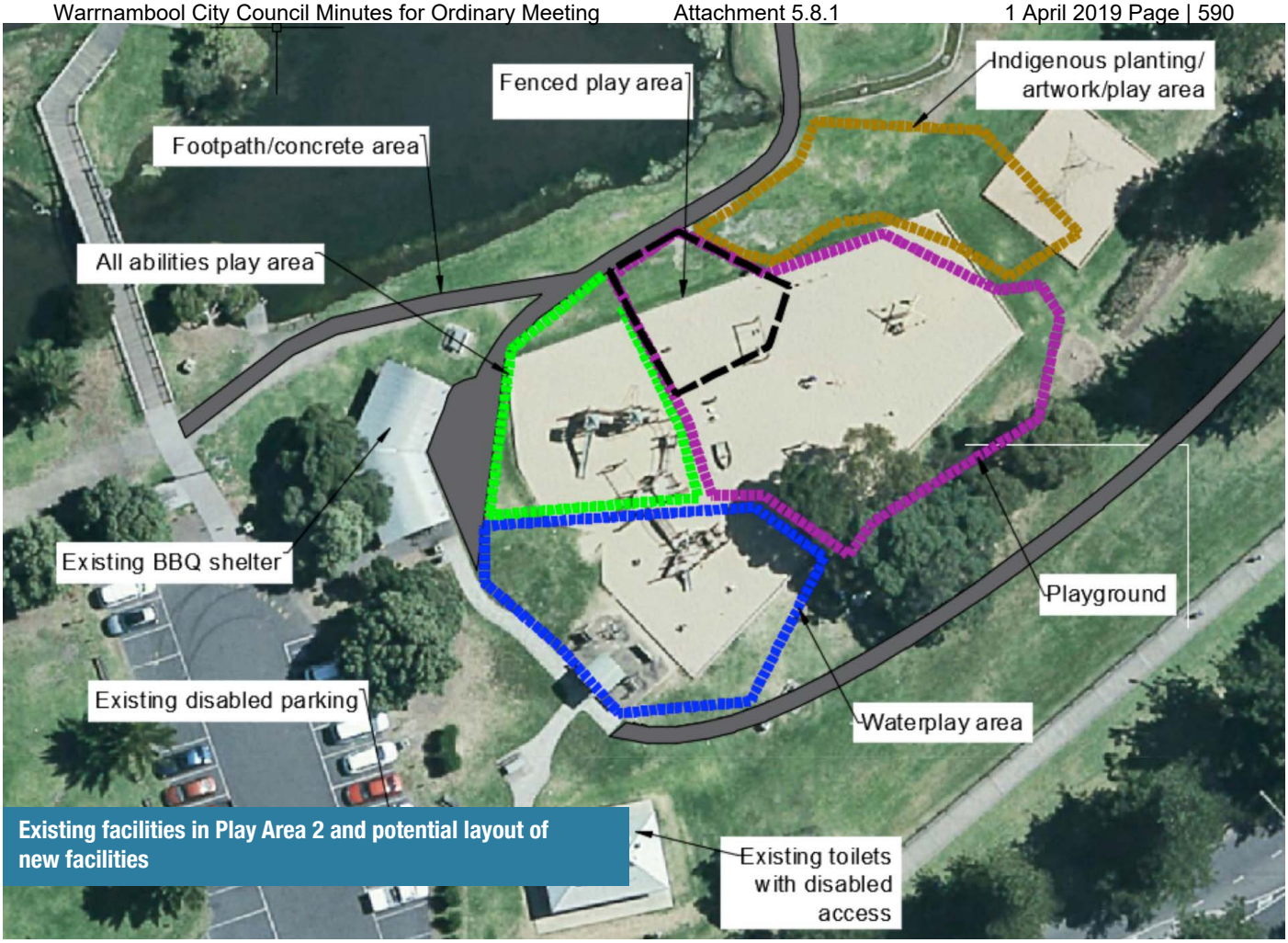
6.4.1 Design and construct an exciting, unique, inclusive, challenging and innovative playspace in Play Area 2 for 0-12 years

IMMEDIATE PRIORITY

The playspaces at Lake Pertobe are a very high value asset to the Warrnambool community and tourists abroad. Particular potential is present for Play Area 2 to be expanded to incorporate a high profile unique attraction. Play Area 2 has been identified as a key facility which can incorporate modern waterplay, new all abilities equipment and significant iconic playground equipment.

Installation of equipment at Play Area 2 will represent the highest value for money investment in Lake Pertobe as the site currently already has significant supporting facilities adjacent, including fully accessible disabled and ambulant toilets, fully accessible car parking and accessible bbq areas and shelters.

The playspace is one of the key projects for Lake Pertobe and Warrnambool in general, the creation of a significant facility in this location will help re-establish Lake Pertobe as one of the state's premier play facilities. The playspace is to feature:



Existing facilities in Play Area 2 and potential layout of new facilities

Unique playground equipment Lake Pertobe was once a one of a kind in its provision of unique and exciting play equipment. There is a pressing need to once again become a leader in play equipment provision. The playspace is to feature unique or rare play equipment to provide an exciting wow factor one of and one a kind experience.

Princess Diana Memorial Playground in Kensington Gardens, London. Source: Playground Adventure UK

True All Abilities Equipment Play Area 2 has some limited all abilities equipment which requires replacement, an investment is required to provide modern equipment which will allow for play that is fun for those of less ability and those of more ability to interact together. This is the best form of inclusive play as it truly removes any distinction between peoples and allows everyone to play together. Below is an example of equipment which provides a truly inclusive opportunity.

Water Play a modern water play system is required in this area to create a new a safe interaction point for water and children. The current wading pools and ponds in Lake Pertobe represent a potentially unsafe slippery environment; the creation of a modern waterplay facility will greatly improve the facility. This will also include truly accessible play equipment for all children to play together.

Fencing Lake Pertobe has several playgrounds in close proximity to the open water bodies of the lake, while it would be unfeasible to fence the whole lake an opportunity exists to create an area for very young children to play with more of a barrier between them and the water allowing for a greater degree of safety and piece of mind.

Example of water play elements

6.4.2 Design and develop a diverse range of exciting, unique, challenging and innovative play for all ages by designating specific user groups for play area 1 and 3:
Play Area 1 – Youth/Adventure – Ages 12 years plus
Play Area 3 – Slides etc – All ages / Mixed Area

HIGH PRIORITY

The Play Areas 1 and 3 require significant investment in the potential to create adventure play for older children along with the ability to promote other portions of Lake Pertobes facilities.

Log and rope climbing structure

6.4.3 Provide unique, additional natural and sensory play experiences within existing play areas.

MEDIUM PRIORITY

Much of the play apparatus is of proprietary and standard construction. The natural or sensory play experiences are limited to the creek channel and water play mound to the northern end of the reserve. There is scope to include elements of vegetation (fragrance, touch), sculptural animals, rocks and water play. There are some good water play spray/splash pads available operated by push button. Below are suggested plants with interesting flowers, fragrance and foliage texture that can be used as part of the natural and sensory play experiences:

Acaena novae-zelandiae	groundcover
Ajuga australis	groundcover
Anigozanthos flavidus	tufting plant
Atriplex semibaccata	shrub
Banksia ericifolia large	shrub
Banksia marginata	large shrub
Banksia spinulosa	shrub
Brachyscome multifida	groundcover
Carex appressa	tufting plant
Carex fascicularis	tufting plant
Cassinia aculeata	shrub
Chrysocephalum apiculatum	groundcover
Chrysocephalum ramossisimum	groundcover
Chrysocephalum semipapposum	groundcover
Correa alba	shrub
Correa reflexa	shrub
Corymbia citriodora 'Dwarf Pink'	small tree
Dianella longifolia	tufting plant
Dianella revoluta	tufting plant
Dodonaea viscosa subsp. spatulata	shrub
Eucalyptus leucoxylon 'Euky Dwarf'	small tree
Eucalyptus mannifera 'Little Spotty'	small tree
Ficinia nodosa	tufting plant
Helichrysum obcordatum	shrub
Pimelea ferruginea	shrub
Poa labillardieri	tufting plant
Rhagodia spinescens	shrub
Rytidosperma geniculatum	groundcover
Wahlenbergia communis	groundcover
Wahlenbergia stricta	groundcover
Xerochrysum viscosum	groundcover

Boulders as play features

6.4.4 Provide additional challenging adventure play opportunities in Play Area 1.

HIGH PRIORITY

Adventure play components using large dimension logs, ropes and mobile sections will appeal to older children.

Parkour play elements (Source: Maroondah City Council)

6.4.5 Remove the paddling pools and creek feature in Play Areas 1 and 3 and replace with other water-based play elements in Play Area 2

MEDIUM PRIORITY

The paddling pools have limited attraction and the rock work and crevices are potentially dangerous in terms of hidden broken glass, entrapment and other injuries.

6.4.6 Include additional inclusive play elements and improve accessibility in all Play Areas by removing barriers such as raised timber edges and sand soft fall and replacing with accessible pathways and surfaces as appropriate.

HIGH PRIORITY

An accessible playspace does not only constitute accessible play equipment, provision of accessible pathway connections and surfaces within and around the playspaces is also essential.

6.4.7 Construct a new play area or feature in the central section of the reserve to create a new destination which encourages users to explore areas beyond the Pertobe Road frontage.

MEDIUM PRIORITY

The creation of a new play area(s) away from the intensively used Pertobe Road corridor would assist in providing people with options in other sections of the reserve. Establishing an iconic climbing structure on one of the islands of the Main Lake or in between the Kids Lake and the Main Lake would assist in drawing people from the intensively used corridor to other parts of the reserve thereby dispersing activity and reducing pressure on the activity corridor parallel to Pertobe Road. The lake environment awaits discovery and interpretation through cultural heritage and environmental themes.

6.5 Arts and Culture

Current Situation

Lake Pertobe's status as a regional recreation reserve makes the precinct an ideal site for public art installations. Currently existing artwork is limited to murals on the maze in Play Area 1 and the sewer pump station. There is limited recognition of the Aboriginal and European heritage of the reserve.

Community Feedback

Demand exists for the installation of artworks in the form of sculptures and artistic feature elements along the reserve's path system.

Theming

Currently a visit to the lakes and the main Pertobe Road corridor leaves the visitor or local with little awareness of the environmental and cultural significance of the former wetland status of the lake. The integration of wayfinding theme and mural examples such as the Ngatanwarr Welcome Mural on the corner of Kepler and Merri Street all assist in making the journey and visit to Lake Pertobe more informative and memorable. The relationship of the maritime precinct and village offers opportunities for incorporation into storytelling.

6.5.1 Include and share stories about Lake Pertobe's heritage, indigenous culture, stormwater/drainage functions and environmental values through improvements, wayfinding, precinct names and other on-site information.

HIGH PRIORITY

This builds on the idea of creating interest and a sense of place for the reserve. During the community consultation and engagement process Part A, it was evident many people are unaware of the environmental values of the reserve. There are opportunities to incorporate references to Gunditjmara culture and the environment/ecology.

6.5.2 As 'Pertobe' is derived from the word 'pirtupp' meaning small sandpiper in aboriginal language, include the bird as a theme where appropriate, to acknowledge local aboriginal culture and identity within the reserve.

IMMEDIATE PRIORITY

Lake Pertobe is recognised in a local publication brochure 'Birds of Lake Pertobe' as one of six Warrnambool Region Birding sites and two other sites of close proximity – Thunder Point and the Merri River estuary and associated wetlands. It is appropriate that a bird common to the area can become the branding image for the reserve.

Example of integration of aboriginal culture within a pathway in Swan Reserve

Example of a bird used as a theme for feature paving and seating at Lake Colac

6.6 Recreation and Social Use

Current Situation

Currently there is good existing infrastructure to support leisure use of the reserve such as barbecue units and their integration with playspaces, open spaces and the lake environment. The cricket pitches, barbecue areas, playspaces, picnic areas and open spaces are available for use free of charge for individuals, groups and events. A number of commercial operators conduct hire businesses on the eastern edge of Kids Lake and Main Lake such as canoe, paddle boat and small motorboat hire and mini golf. Dogs are not allowed within the Lake Pertobe and the Warrnambool-Port Fairy Rail Trail to the west however, walking dogs on lead is allowed at the foreshore precinct areas including the Foreshore Promenade. Consumption of alcohol is prohibited in the reserve between 2pm to 4pm and 10pm to 11am daily.

Lake Pertobe is recognised as an important bird habitat. While bird hides have been constructed in the past, they have been a target of vandalism.

Community Feedback

The community is firmly against the charging of fees to use the reserve for both general usage and holding events and is of the opinion that there are enough businesses present in the reserve, i.e. the mini golf and the boat rides. There were comments about implementing safety procedures, including having security patrols after hours to address the lack of passive surveillance in the reserve particularly to the central and northwest areas. Requests have been made to construct additional infrastructure to encourage youth and adults to participate in casual sports and recreation activities such as basketball, soccer, petanque and netball. Opinion was divided on whether dogs should be allowed or not within the Lake Pertobe Reserve.

Recommendations

6.6.1 Construct a half-court basketball and/or other active recreation infrastructure (eg netball/soccer/table tennis facilities) to encourage young people and adults to participate in casual sport.

MEDIUM PRIORITY

The provision of a basketball half court, casual soccer goals and netball rings to the core sections of the Pertobe Road corridor adds a leisure dimension, particularly for older teenagers.

6.6.2 Construct several elevated viewing mounds on the edge of the Main Lake and/or Mill Lake.

LOW PRIORITY

Viewing mounds and platforms will create another dimension of interest and one or two at least should be strategically located away from the current high usage zones to assist in dissipating intensity of use. One of the mounds could be integrated with nature-based play experiences.

An example of a viewing mound in Lake Colac

6.6.3 Make a revision to the local laws applying to Lake Pertobe Reserve to allow dogs-on-lead to use the perimeter pathways.

MEDIUM PRIORITY

Dog ownership is an important part of many people's lives through companionship, socialisation and exercise, all of which contribute to community wellbeing. Dogs however, pose a threat particularly to bird and native marsupial populations. The balance of allowing dog on lead to certain areas of the reserve is a fair and reasonable consideration by Council in maintaining a balance of community wellbeing and consideration of the environment.

6.6.4 Install clear signage at entry points and along pathways, and communicated via other channels available, to indicate where dogs are permitted and not permitted at Lake Pertobe.

HIGH PRIORITY

Clear signage will increase awareness of where dogs are permitted and not permitted within the reserve.

6.6.5 Investigate the formation of a Friends of Lake Pertobe group to increase community involvement in the implementation of the Masterplan.

HIGH PRIORITY

Harnessing local knowledge, skills and enthusiasm will greatly contribute to the presentation and ongoing maintenance of Lake Pertobe.

Proposed perimeter pathways for dog walking

6.7 Environment and Landscaping

Current Situation

The saline wetlands of Lake Pertobe provide an important habitat to wildlife including threatened species and migrating water birds. A number of indigenous plants exist in the reserve including at least one with threatened species status.

Environmental sustainability measures such as the installation of solar panels on the depot roof and the presence of reasonable recycling points across the reserve have been implemented, but could be improved.

Community Feedback

Suggestions have been put forward by the community to improve the water quality in the lakes, clean the northern perimeter of rubbish, replace some of the aging native plant species and plant additional trees to provide shade.

Recommendations

6.7.1 New plantings will be indigenous wherever possible, with exotic trees used to provide natural shade as required.

IMMEDIATE PRIORITY

The Norfolk Island Pine trees, while not indigenous, form a strong character of a maritime setting and Warrnambool's main street, Raglan Parade is one of country's most iconic avenues of Norfolk Island Pines. Pertobe Road with 158 Norfolk Island Pine trees assists in supporting the character/theme, as does the lower end of Liebig Street and its interface to Merri Street.

Recommended New Plantings

Indigenous
Acacia melanoxylon
Allocasuarina verticillata
Astroloma humifusum
Banksia integrifolia
Banksia marginata
Baumea juncea
Chenopodium candolleanum (syn. Rhagodia candolleana)
Ficinia nodosa
Juncus kraussii
Kennedia prostatus
Leptospermum continentale
Leptospermum lanigerum
Leptospermum laevigatum
Leucopogon parviflorus
Melaleuca ericifolia
Melaleuca lanceolata
Myoporum insulare
Olearia axillaris
Poa poiformis
Sarcocornia quinqueflora

Native
Acaena novae-zealandiae
Banksia praemorsa 'High Noon'
Carpobrotus rossii
Correa alba
Disphyma crassifolium
Melaleuca armillaris
Melaleuca mesophila
Myoporum parvifolium

6.7.2 Plant new groups of advanced deciduous trees for shade at the edges of grassed, open space areas/events areas.

HIGH PRIORITY

From the selection of deciduous trees listed, several groups of deciduous trees are to be planted to the perimeter of most of the events areas. Shade trees need to be tolerant of the maritime conditions experienced at the reserve.

Recommended Deciduous Trees for Shade

Acer x freemanii 'Autumn Blaze'
Acer negundo 'Sensation'
Acer rubrum
Fraxinus excelsior 'Aurea'
Fraxinus pennsylvanica 'Cimmaron TM'
Fraxinus pennsylvanica 'Urbanite TM'
Melia azedarach 'Elite'
Pyrus calleryana

6.7.3 Review existing plantings and identify trees/shrubs for removal and/or replacement.

HIGH PRIORITY

A comprehensive and detailed plan is required to identify both exotic and native trees and shrubs that are either weed species or invasive. The plan should locate all trees including indigenous species that pose issues of personal safety (CPTED principles) to users of all parts of the reserve. Clearance of some vegetation from the north of Main Lake will allow tantalising view to the water from the Gilles Street approach.

6.7.4 Limit vehicles parking under the Norfolk Island Pine trees on Pertobe Road Monitor the health and condition of the Norfolk Island Pine trees regularly as part of the Council's existing tree audit/program.

MEDIUM PRIORITY

There are approximately 15 Norfolk Island Pines in the mid-length of Pertobe Road that have seriously deteriorated and are under stress. This is likely due to soil conditions, prevailing salt-laden winds and high intensity of vehicle parking to the particular zone, which compacts root systems' access to aeration and water. There is a total of 158 Norfolk Island Pines forming the avenue on Pertobe Road. There is parking available under approximately 130 trees consistently ranging from single bays to four car park bays between trees that are at 14 metre centres. There is currently a capacity of between 350 to 400 vehicles parking under the Norfolk Island Pines along Pertobe Road. Due consideration has been given and inspection of other Norfolk Island Pines for instance in Liebig Street. It is evident at the southern end of Liebig Street that car parking underneath the existing mature Norfolk Island Pines has not adversely affected the health and condition of the trees. Car parking is contained by existing tree islands of wood mulch between two to four metres from the trunk of each tree. This demonstrates a potential treatment for the Norfolk Island Pines parking area.

6.7.5 Improve the reserve's habitat values through weed control and works to improve water quality.

HIGH PRIORITY

Lake Pertobe's three lakes are fed from stormwater from Warrnambool Central Business District with three outfalls entering from the north edge of the reserve. Preliminary investigation has explored the potential/feasibility to improve the physical inflow and filtration of stormwater entering Mill Lake. Improved weed control, i.e. Pampas grass and other weeds is required to assist in providing improved habitat zones. The need is highlighted because of the extremely high visitation/activity pressures and the fact that Lake Pertobe is recognised as a bird habitat area linked to the Merri River system and Thunder Point.

6.7.6 Remove pampas grass and other noxious weeds in the reserve.

HIGH PRIORITY

Pampas grass, a native to New Zealand can seriously and quickly invade maritime wetland systems. It is prevalent to several locations to the edges of the lake. Other serious weeds within the reserve include weeping willows, Coprosma repens, mirror bush, Cortadieria sellowiana (NZ flax), Oxalis, Kikuyu grass, angled onion and Delairea odorata (Cape Ivy). Replacement planting of indigenous vegetation would be required.

Existing vegetation at the Gilles Street approach

An example of a mulched tree island as a buffer zone from parking spaces under trees in Liebig Street

6.8 Events Infrastructure

Current Situation

The Lake Pertobe/Foreshore Precinct is a popular venue for events and the number and size of events is increasing, most of which coincide with peak summer use. At present no charges are made for events conducted at the reserve. Everyday individual and group use of facilities by locals and visitors will remain casual and non-charged. The extensive off-road areas make the reserve a good venue for hosting running/cycling events including Surf to Surf Fun, Australian Schools Triathlon and Tour de Depot. The larger events including Wunta, Friday Night Market and Twilight Movies are held in Events Area 1 and 2 and smaller events including the World Wetland Day and Scripture Union event in Events Area 3. Council has an informal practice of alternating holding events in the three Events Areas to prevent the grass of either areas being too compacted.

Power is inadequately provided for events. Three phase power is set up for individual events, which is a recurring cost even for Council-run events such as the Twilight Movies. For events such the Friday Night Markets that provide their own power, a key issue is the number of power cables on the ground including through pedestrian thoroughfare areas. There is no access to hot water for events held at the reserve.

There are no dedicated loading points and boom gates are frequently blocked by parked cars/events vehicles during periods of high parking demand.

Community Feedback

The community supports the construction or installation of additional infrastructure such as a stage, barbecue units and litter bins to better support more events.

Recommendations

6.8.1 Review access to the electricity supply for events and install access points in appropriate locations.

HIGH PRIORITY

Onsite power points will increase safety given the significant number of events conducted on the reserve. Having a permanent power supply can also assist in a potential stormwater harvesting scheme.

6.8.2 Develop an events and activities policy to guide and manage appropriate and sustainable use of Lake Pertobe.

IMMEDIATE PRIORITY

a. Prepare an events policy to guide appropriate use for groups/individuals who require access to power and water within the reserve or for people who want to book and have exclusive use of the shelters. The range of revenue-generating activities for Council needs to be broadened. The events policy should also consider management and access arrangements for events with a consistent policy across Council facilities.

b. Prepare a policy framework identifying suitable activities and those that are not compatible. The policy should consider a review on the banning of dogs within the reserve and consider allowing dogs on lead within the perimeter of the reserve which will likely increase use and visitation by local residents. Signage should be installed at the entrance advising of dog on lead area.

6.8.3 Develop an online interactive process for the approval, booking, management and promotion of events at Lake Pertobe.

HIGH PRIORITY

The introduction of interactive online booking system and charge for use of facilities by commercial operators seeking a return for services used will assist in the management of events and traffic during peak-use months and general maintenance of infrastructure and the landscaped areas.

6.8.4 Develop a Policy around fees and charges for Council Open Space

HIGH PRIORITY

The introduction of a policy for fees and charges for opens spaces will ensure that charging of commercial use of public assets is fair and equitable and that community uses are encouraged and effectively managed.

6.8.5 Develop a policy for Itinerant Trading on Council managed Land.

HIGH PRIORITY

The introduction of an Itinerant Trading Policy will assist to support and enhance the vibrant and unique experiences available to the community and visitors to Lake Pertobe. The policy should allow Council to better manage requests to operate mobile and temporary businesses on all Council managed land.

6.9 Parking and Transport

Current Situation

During the cooler months, onsite parking is generally adequate and people with mobility issues can easily be accommodated within a number of disabled car parking spaces. There is plenty of informal parking for overflow, including the Cannon Hill car park area, which is also well used for overflow parking during events. The existing formal car park areas within the core demand area (between the Mini Golf and Play Area 2) are limited. During the summer months, there is an extreme concentration of activities within the foreshore precinct, which causes congestion on Pertobe Road and pressure on parking spaces and general vehicle access. Informal parking of cars on either side of the road reserve to Pertobe Road is uncontrolled during the peak-use months. As a result of the practice of informal parking, (a) cars park even on the wide nature strip adjacent to the maze which necessitates drivers on departure, reversing cars onto a bend of Pertobe Road (b) the grassed areas to some sites immediately under Norfolk Island Pine trees are compacted and a number of Norfolk Island Pines in Pertobe Road are in poor health probably due to soil conditions, salt-laden winds and exacerbated by soil-compaction of root systems.

There is a total of 158 Norfolk Island Pines forming the avenue on Pertobe Road. There is parking available under approximately 130 trees consistently ranging from single bays to four car park bays between trees that are at 14 metre centres.

Being flat, and virtually at the level of the Merri River, the reserve has several large areas of poor drainage, some of which attracts unauthorised vehicle access and abuse to less frequented/defined use areas such as around Jetty Flat oval and the BMX track.

Community Feedback

The community strongly supports additional car parking and strategies that would assist with better traffic flow during the peak-use months including better traffic management and alternative parking agreements.

Recommendations

6.9.1 Prioritise, design and cost all parking recommendations as detailed on the parking layout plan for Lake Pertobe.

HIGH PRIORITY

Given that there are several recommendations for the construction of additional car parking areas as well as formalising existing car parking spaces, prioritising each car parking-related project for Lake Pertobe would assist Council in allocating and sourcing funds. Ready identification of parking areas within the precinct and identification of each precinct (parking area on maps and on site) will assist Council and event organisers in better management of events.

6.9.2 Extend and formalise the car park area next to the mini golf.

HIGH PRIORITY

This area was identified in Council's Background Report Part A (see Appendix 1) to assist in the provision of

additional car parks in the vicinity of 50 cars, combined with a sealed access route to the Pigeon Club area. The provision of a shared pathway system through this area of the reserve would assist with access to the reserve for people arriving by car. Establishment of car parking in this area will assist in dispersing traffic across the Pertobe Road precinct during the peak-use months.

6.9.3 Extend the car park area near the sewer pump station to include extra vehicle spaces.

MEDIUM PRIORITY

The grassed area between the sewer pump station and the car park area to the north is not particularly heavily used. As identified in Council's Background Report (see Appendix 1), there is space to formalise additional car parking spaces to the south of the existing car park area, avoiding underground services.

6.9.4 Improve the vehicle parking area on the northwest side of Pertobe Road by sealing and line marking vehicle parking to maximise the spaces available near Events Area 1.

HIGH PRIORITY

There is space to line mark and seal additional car park areas to provide additional car park spaces around the existing formalised car park area to the southeast of Events Area 1. As this is primarily the area used by buses, shuttles and trailers for drop-offs and pick-ups, formalising the extra car parking spaces here should be a high priority.

6.9.5 Develop overflow parking for the foreshore area along Price Street.

HIGH PRIORITY

There is space on either side of Price Street to provide and sign available overflow car parking spaces to either side of the street. Currently both sides are grassed. The south side would require considerable re-grading and drainage works to alter the open grassed channel. Establishment of car parking in this area will assist in dispersing traffic across the Pertobe Road precinct during the peak-use months.

6.9.6 Restrict inappropriate vehicle access to the Jetty Flat area.

HIGH PRIORITY

Restricting access to unauthorised vehicles in the Jetty Flat area will minimise damage over time. Supplementary soil placement and/or grading in parallel with improving the drainage will assist in providing drier pedestrian areas and improve the somewhat neglected appearance of this isolated area. With increasing usage of the Jetty Flat precinct, the issue of hoon behaviour will reduce through increased passive surveillance.

6.9.7 Install a barrier to the east of Play Area 2 to stop vehicles parking under the Norfolk Island Pine trees on the road reserve.

MEDIUM PRIORITY

Formalise parking to protect Norfolk pipes and develop garden spaces under trees. Currently the road reserve northwest of Pertobe Road near Play Area 2 is used for informal parking during peak-use months. Parking under the Norfolk Island Pines is not only detrimental to the trees' health, it poses problems in terms of vehicles causing a traffic bottleneck in that section of Pertobe Road and possibly posing danger to pedestrians walking on the asphalt footpath. By moving the fence farther east, the potential space for parking will be restricted, making illegal parking there impossible.

6.9.8 Communicate changes to parking and pedestrian connections at Lake Pertobe to increase awareness of park and walk options in the area.

MEDIUM PRIORITY

Lake Pertobe is directly adjacent to the foreshore precinct and from a parking perspective are best contemplated as an integrated area. While the Lake Pertobe review identified a number of parking proposal and footpath connections, there may be other requirements associated with the foreshore area.

It is recommended that a parking strategy is prepared that considers the whole Lake Pertobe and foreshore precinct holistically, with consideration for:

- The various user groups across the precinct,
- The peak activity times for each use / user group,
- The likely peak parking demands,
- The suitability of the existing parking supply both from a numerical perspective, but also in relation to the proximity to key land uses,
- Consideration for the potential 'sharing' of parking resources from complementary land uses,
- Review of the opportunities for expansion to existing parking facilities,
- Review of new parking opportunities,
- Identification of key walking linkages between the parking resources and the key land uses,
- Management of parking to cater for various user group (i.e. parking restrictions),
- Enforcement of parking to provide safe and efficient parking for the precinct, and
- Wayfinding signage to the key parking area.

Given the seasonal nature of activity associated with the foreshore area (camping and beach activity), it is important that the strategy considers 'absolute peak' activity in the December / January period and 'typical peak' activity in February / March.

The strategy will need to identify how parking is to be managed into the future to allow for efficient usage of Council resources.

Refer to Appendix 8 for more information.

6.10 Drainage and Water

Current Situation

Lake Pertobe plays a critical role in the filtration of storm-water from Warrnambool's CBD before stormwater enters the Merri River. There are two bores within the reserve and one at Jetty Flat, which are used for watering the en-tout-cas tennis courts to the west and to top up water levels in the Kids Lake to support the boat hire amenities and in the children's water play pools in Play Area 3. The bore water is too saline for some uses. Mains water is used for the irrigation of the landscaped and grassed areas of Lake Pertobe, the Harris St Reserve (partial), the cricket oval and the grass tennis courts. The drain outfalls, which are located in the northern perimeter, become litter traps during major storm events. There are some maintenance issues associated with the Fairy Street and Japan Street drain outfalls associated with overgrown Kikuyu and infrequent cleaning of the drains. A sediment bed was installed to dry out sediments from the Japan Street drain prior to removal offsite, but it remains unused.

Community Feedback

Community supports the cleaning of the drain outfalls to the north and the improvement of water quality particularly in the Main Lake.

Lake Pertobe overview of water sources (Source: Council's Background Report in Appendix 1)

Recommendations

6.10.1 Develop and implement a drainage maintenance program to ensure the lake's important drainage function is sustained.

HIGH PRIORITY

Program regular maintenance of the drainage system, particularly at the Fairy, Gilles and Japan Street outflows.

6.10.2 Investigate with Wannon Water the feasibility of alternate water souces from the main lake system for reuse at surrounding public areas.

HIGH PRIORITY

A water balance model (see Appendix 9) was created as part of the Masterplan study to determine the reliability of a possible alternate water source being stormwater harvesting based on the available runoff from the Fairy Street and Gilles Street outlet catchments.

There is several potential ways which Council could work with Wannon Water to secure alternate water sources and while stormwater harvesting is not the only source which is available, Two scenarios for this type of harvesting were modelled as examples; one with an annual water demand of 17ML (existing use) and one with the annual water demand of 32.5ML which is based on the existing use and proposed irrigation use.

Typically, the exact components of a stormwater harvesting system are determined during a feasibility study/design based on water quality sampling and other factors such as space and surface levels. For the purposes of this Masterplan, two general arrangements are proposed which cover the typical arrangements of a stormwater harvesting system. These options are discussed below:

System schematic option 1 (STORM Consulting 2016)

For this option, stormwater is directed from the outlet(s) to a sedimentation basin north of Mill Lake. Water then flows from the sedimentation basin to a constructed pond, which is segregated from the rest of the lake. Water is then pumped from the pond through a tertiary treatment system. The treated water would continue to be pumped to local storage tanks prior to use for irrigation.

System schematic option 2 (STORM Consulting 2016)

The arrangement of Option 2 is similar to Option 1, however the water is stored in an underground storage tank before being pumped through a tertiary treatment system (same as Option 1). The benefit of Option 2 is that the Lake does not need to be disrupted and altered to achieve an open storage.

7 References

1 Visit Warrnambool (2017) Visitor Information – About Warrnambool.

Sourced from the Visit Warrnambool website. http://visitwarrnambool.com.au/visitor-information/about-warnambool/#.WH1MIFN97s1

2 Monument Australia (2017) Lake Pertobe Project.

Sourced from the Monument Australia website. http://monumentaustralia.org.au/themes/culture/social/display/95854-lake-pertobe-project

3 G Higgins (1912) Outer Ports of Victoria, The Varsity Engineer: vol. 5, June 1912, Committee of the Melbourne University Engineering Society, Melbourne.

8 Appendices

8.1 Appendix 1 – Background Report 2016
8.2 Appendix 2 – Implementation Plan and Opinion of Probable Costs
8.3 Appendix 3 – Summary of Part A Background Report SWOT Analysis
8.4 Appendix 4 – Summary of additional issues and opportunities
8.5 Appendix 5 – Assessment of Merit of consultation outcome
8.6 Appendix 6 – Lake Pertobe Riparian vegetation survey - Australian Plants Society
8.7 Appendix 7 – Remnant Species of Lake Pertobe – Kevin Sparrow
8.8 Appendix 8 – Traffic Issues and Opportunities – Traffix Group
8.9 Appendix 9 – Stormwater Harvesting Options Report - STORM Consulting
8.10 Appendix 10 – Community Engagement Summary

Appendix 2

Implementation Plan

1.1 Funding Assistance

Due to the extensive nature of the actions, funding has to be sought from various State and Federal sources. In most instances, Warrnambool City Council can apply for the funding independently. In other cases, the Council has to partner with another organisation, education institution or a non-profit group.

Warrnambool City Council must be able to demonstrate its commitment to the project through allocation of appropriate funds in Council's long term financial plans (capital works program). Most funding programs specify the funding ratio contributions. In most cases, Council should provide a minimum of 50% of funds – this could be via other external sources.

The following are some of the grant programs available.

STATE GOVERNMENT
Regional Infrastructure Fund (Regional Development Victoria)
Sustainability Fund (Department of Environment, Land, Water and Planning)
Sustainability Water Fund (Department of Environment, Land, Water and Planning)
Public Safety Infrastructure Fund (Department of Justice and Regulation)
Living Heritage Grants Program (Department of Environment, Land, Water and Planning)
Children's Facilities Capital Program (Department of Education and Training)
Tourism Driver Demand Infrastructure Program (Business Victoria)

FEDERAL GOVERNMENT
Stronger Communities Programme (Federal Department of Infrastructure and Transport)
Building Better Regions Fund (Federal Department of Infrastructure and Transport)

1.2 Responsible Bodies and Stakeholders/Partnership Opportunities

The Implementation Plan identifies the following Warrnambool City Council main departments and sub-departments as the responsible bodies for overseeing the different actions:

CPP - Community Planning and Policy
RC – Recreation and Culture
IS – Infrastructure Services
IDP – Infrastructure Development and Projects
HL – Health and Local Laws
TS – Tourism Services
CSD – City Strategy and Development

Events and Promotions
City Sustainability
Parks and Gardens
Youth Services
Community Support
Rural Access
Asset Management

In some of the proposed projects, the Council would have to partner with the Friends of Lake Pertobe group (once it is established) especially in securing external funding.

1.3 Timeframe

The timeline for implementation is as follows:

Immediate 0-3 Years
High 2-5 Years
Medium 5-10 Years
Low 10 years and beyond

1.4 Performance Indicators

The following are recommended performance indicators or benchmarks to track service/usage levels in terms of quality and quantities:

- Formal record of visitation (Number of visitors per annum/season)
- Record of events type and repeat events
- Record of events and attendees
- Record of markets, number of stalls and visitation
- Feedback list inbox (physical and online)

IMPLEMENTATION PLAN FOR LAKE PERTOBE MASTERPLAN
WARRNAMBOOL CITY COUNCIL

PRIORITIES:
IMMEDIATE 0-3 YEARS
HIGH 2-5 YEARS
MEDIUM 5-10 YEARS
LOW 10 YEARS AND BEYOND

Based on final plans (dated 21.09.2017)

IMPORTANT TABLE NOTES

Projects which have a "*minimal*" assignment are those which can be done with a reduced cost although the quality of the outcome can be significantly different.

* Asterisked items will be completed as part of new policy development/project for open space across the city - not as Lake Pertobe specific projects.

Bold tasks are independent, *italicised* tasks require the previous bold task to be completed prior to their completion.

REFERENCE NUMBER	ACTION	PRIORITY (I/H/M/L)	TIMEFRAME	RESPONSIBLE BODY	STAKEHOLDER/ PARTNERSHIPS FUNDING SOURCE	OPINION OF PROBABLE COSTS BASED ON 2017 COSTS
6.1.11	Develop an App to increase engagement and enjoyment of visitors to Lake Pertobe by providing information and interpretation of Lake Pertobe's environment and recreational opportunities.	I	0-3 years	Council	Council (capital funding) Building Better Regions	$200,000
6.4.1	Design and construct an exciting, unique, inclusive, challenging and innovative playspace in Play Area 2 for 0 to 12 years.	I	0-3 Years	Council	Council (capital funding) Building Better Regions	$1,500,000
6.1.9	· Investigate feasible options for replacement of the swing bridge feature in Play Area 3. Council time and structural engineering consultant.(design and construct)	I	0-3 years	Council	Council (capital funding)	$250,000
6.5.2	· As 'Pertobe' is derived from the word 'pirtupp' meaning small sandpiper in aboriginal language, include the bird as a theme where appropriate, to acknowledge local aboriginal culture and identity within the reserve.	I	0-3 Years	Council	Philanthropic Trusts Building Better Regions Council (capital funding)	$200,000

REFERENCE NUMBER	ACTION	PRIORITY (I/H/M/L)	TIMEFRAME	RESPONSIBLE BODY	STAKEHOLDER/ PARTNERSHIPS FUNDING SOURCE	OPINION OF PROBABLE COSTS BASED ON 2017 COSTS
6.1.1	**· Construct a new toilet/change facility with showers and change rooms at McGennan's Carpark to service all users of the foreshore area.**	**I**	**0-3 years**	**Council**	**Building Better Regions** **Council (capital funding)**	**$500,000**
6.1.12	**Construct a Changing Places facility with accessible shower on reserve adjacent to existing public toilets.**	**I**	**0-3 years**	**Council**	**Changing Places Fund - State Government** **Council (capital funding)**	**$200,000**
6.8.2	**· Develop an events and activities policy to guide and manage appropriate and sustainable use of Lake Pertobe. ***	**I**	**0-3 Years**	**Council**	**Council (capital funding)**	**$10,000**
6.8.3	*· Implement a process for the approval, booking, management and promotion of events at Lake Pertobe.*	*H*	*2-5 years*	*Council*	*Council (capital funding)*	*–*
6.8.1	*· Review access to the electricity supply for events and install access points in appropriate locations.*	*H*	*2-5 years*	*Council*	*Council (capital funding)*	*$40,000*
6.8.4	*Develop a Policy around fees and charges for Council Open Space*	*H*	*2-5 years*	*Council*	*Council (capital funding)*	*–*
6.8.5	*Develop a policy for Itinerant Trading on Council managed Land.*	*H*	*2-5 years*	*Council*	*Council (capital funding)*	*–*
6.1.4	**· Prepare an infrastructure style guide to create a consistent and appropriate character. The guide should include: seats, waste receptacles (rubbish/recycle), drinking fountains/water bottle refilling stations, bike racks, lighting and picnic tables**	**H**	**2-5 Years**	**Council**	**Council (capital funding)**	**$10,000**
6.1.3	*· Identify appropriate locations and form for the provision of shade infrastructure in the reserve, particularly servicing the play areas.*	*H*	*2-5 Years*	*Council*	*Community Shade Grants Program* *Council (capital funding)*	*$45,000*
6.1.5	*· Install combined drinking fountains and water bottle filling stations at key destinations within the reserve. Some require additional pipework and drainage connections.*	*M*	*5-10 years*	*Council*	*Stronger Communities Programme* *Council (capital funding)*	*$40,000*
6.1.8	*· Install additional seating and picnic tables which meet the needs of all users (including some seats with arm rests, back rests and wheelchair accessible tables).*	*H*	*2-5 Years*	*Council*	*Council (capital funding)*	*$56,000*
6.1.6	*· Review the provision of litter bins across the reserve, and install new/replacement waste and recycling infrastructure. Pair of rubbish/recycling bins at six locations.*	*M*	*5-10 years*	*Council*	*Victorian Litter Innovation Fund* *Council (capital funding)*	*$40,000*

REFERENCE NUMBER	ACTION	PRIORITY (I/H/M/L)	TIMEFRAME	RESPONSIBLE BODY	STAKEHOLDER/ PARTNERSHIPS FUNDING SOURCE	OPINION OF PROBABLE COSTS BASED ON 2017 COSTS
6.1.7	*· Install bike racks at key destinations within the reserve, particularly adjacent to car parks and entry points.*	*M*	*5-10 years*	*Council*	*Community Sports and Recreation Fund* *Stronger Communities Program* *Council (capital funding)*	*$35,000*
6.10.1	**· Develop and implement a drainage maintenance program to ensure the lake's important drainage function is sustained.**	**H**	**2-5 Years**	**Council**	**Council (capital funding)**	
6.10.2	**Investigate with Wannon Water the feasibility of alternate water souces from the main lake system for reuse at surrounding public areas.**	**H**	**2-5 Years**	**Council**	**Sustainable Water Fund** **Council (capital funding)**	**$15,000**
6.2.1	**· Develop and implement a wayfinding strategy for areas within and adjacent to Lake Pertobe.**	**H**	**2-5 Years**	**Council**	**Building Better Regions** **Stronger Communities Programme** **Council (capital funding)**	**$75,000**
6.2.2	*· Install wayfinding maps of the reserve in selected high traffic locations to facilitate easy navigation of the reserve and raise awareness of the variety of experiences and activities on offer. Includes art work and fabrication of two wayfinding maps.*	*I*	*0-3 Years*	*Council*	*Saputo Community Funds (Stage 1)* *Regional Infrastructure Fund Stage 2* *Building Better Regions* *Council (capital funding)*	*100000* *50000 (stage 1)*
6.2.3	*· Name all walking paths/loops, play areas and barbecue shelters to improve navigation and wayfinding.*	*H*	*2-5 Years*	*Council*	*Council (capital funding)*	*As per 6.2.1*
6.3.1	*· Include information about accessible destination points and infrastructure (paths, play, social, toilets etc.) in the wayfinding information.*	*H*	*2-5 Years*	*Council*	*Regional Infrastructure Fund* *Stronger Communities Programme* *Council (capital funding)*	*As per 6.2.2*
6.6.4	*· Install clear signage at entry points and along pathways, and communicate via other channels available, to indicate where dogs are permitted and not permitted at Lake Pertobe. Includes fabrication of four signs.*	*H*	*2-5 Years*	*Council*	*Council (capital funding)*	*$75,000*
6.9.8	*· Communicate changes to parking and pedestrian connections at Lake Pertobe to increase awareness of park and walk options in the area.*	*M*	*5-10 years*	*Council*	*Council (capital funding)*	*As per 6.2.2*

REFERENCE NUMBER	ACTION	PRIORITY (I/H/M/L)	TIMEFRAME	RESPONSIBLE BODY	STAKEHOLDER/ PARTNERSHIPS FUNDING SOURCE	OPINION OF PROBABLE COSTS BASED ON 2017 COSTS
6.9.1	**· Prioritise, design and cost all parking recommendations as detailed on the parking plan for Lake Pertobe. The designs for carparks which show a range of prices will need to be completed prior to the installation**	**H**	**2-5 years**	**Council**	**Regional Infrastructure Fund** **Council (capital funding)**	**$40,000**
6.9.2	*· Extend and formalise the car park area next to the mini golf. (1,000 sqm of asphalt plus line marking)*	*H*	*2-5 years*	*Council*	*Regional Infrastructure Fund* *Council (capital funding)*	*$315,000* *Minimal $140,000*
6.9.4	*· Improve the vehicle parking area on the northwest side of Pertobe Road by sealing and line marking vehicle parking to maximise the spaces available near Events Area 1. (2,400 sqm of asphalt plus line marking)*	*H*	*2-5 years*	*Council*	*Regional Infrastructure Fund* *Council (capital funding)*	*$756,000* *Minimal $336,000*
6.9.6	*· Restrict inappropriate vehicle access to Jetty Flat area.*	*H*	*2-5 years*	*Council*	*Council (capital funding)*	
6.9.5	*· Develop overflow parking for the foreshore area along Price Street. (2,200 sqm of asphalt plus line marking)*	*H*	*2-5 years*	*Council*	*Regional Infrastructure Fund* *Council (capital funding)*	*$693,000* *Minimal $308,000*
6.7.4	*Limit vehicles parking under the Norfolk Island Pine trees on Pertobe Road Monitor the health and condition of the Norfolk Island Pine trees regularly as part of the Council's existing tree audit/program.*	*M*	*5-10 years*	*Council*	*Regional Infrastructure Fund* *Council (capital funding)*	*$100,000*
6.2.11	*· Provide and clearly designate emergency access at all entrances to the reserve.*	*M*	*5-10 years*	*Council*	*Council (capital funding)*	*$15,000*
6.9.3	*· Extend the car park area near the sewer pump station to include extra vehicle spaces. (400 sqm of asphalt plus line marking)*	*M*	*5-10 years*	*Council*	*Regional Infrastructure Fund* *Council (capital funding)*	*$126,000* *Minimal $56,000*

REFERENCE NUMBER	ACTION	PRIORITY (I/H/M/L)	TIMEFRAME	RESPONSIBLE BODY	STAKEHOLDER/ PARTNERSHIPS FUNDING SOURCE	OPINION OF PROBABLE COSTS BASED ON 2017 COSTS
6.9.7	*· Install a barrier to the east of Play Area 2 to stop vehicles parking under the Norfolk Island Pine trees on the road reserve.*	*M*	*5-10 years*	*Council*	*Regional Infrastructure Fund* *Council (capital funding)*	*$25,000*
6.4.2	**· Design and develop a diverse range of exciting, unique, challenging and innovative play for all ages by designating specific user groups for each play area:** **Play Area 1 – Youth/Adventure – Ages 12 years plus** **Play Area 3 – Slides etc – All ages / Mixed Area**	**H**	**2-5 years**	**Council**	**Children's Facilities Capital Program** **Council (capital funding)**	**$2,000,000**
6.6.1	*· Construct a half-court basketball and/or other active recreation infrastructure (eg netball/soccer/table tennis facilities) to encourage young people and adults to participate in casual sport.*	*M*	*5-10 years*	*Council*	*Community Sports Infrastructure Fund - Minor Facilities* *Stronger Communities Program* *Council (capital funding)*	*$36,000*
6.4.4	*· Provide additional challenging adventure play opportunities in Play Area 1.*	*H*	*2-5 years*	*Council*	*Children's Facilities Capital Program* *Council (capital funding)*	*$150,000*
6.4.6	*· Include additional inclusive play elements and improve accessibility in all Play Areas by removing barriers such as raised timber edges and sand soft fall and replacing with accessible pathways and surfaces, as appropriate.*	*H*	*2-5 years*	*Council*	*Council (capital funding)*	*$180,000*
6.4.3	*· Provide unique, additional natural and sensory play experiences within existing play areas.*	*M*	*5-10 years*	*Council*	*Children's Facilities Capital Program* *Local artisan's and men's shed* *Council (capital funding)*	*$105,000*
6.4.5	*· Remove the paddling pools and creek feature in Play Areas 1 and 3 and replace with other water-based play elements in Play Areas 2 and 3. Includes two concrete pads, each with 160 sqm drainage, water spouts, pumps and pipework.*	*M*	*5-10 years*	*Council*	*Council (capital funding)*	*$360,000*
6.4.7	*· Construct a new play area or feature in the central section of the reserve to create a new destination which encourages users to explore areas beyond the Pertobe Road frontage.*	*M*	*5-10 years*	*Council*	*Children's Facilities Capital Program* *Community groups* *Council (capital funding)*	*$300,000*

REFERENCE NUMBER	ACTION	PRIORITY (I/H/M/L)	TIMEFRAME	RESPONSIBLE BODY	STAKEHOLDER/ PARTNERSHIPS FUNDING SOURCE	OPINION OF PROBABLE COSTS BASED ON 2017 COSTS
6.7.3	**· Review existing plantings and identify trees/shrubs for removal and/or replacement.**	**H**	**2-5 years**	**Council**	**Council (capital funding)**	**$3,000**
6.7.2	*· Plant advanced deciduous trees for shade at the edges of grassed, open space areas/events areas as appropriate.*	*H*	*2-5 years*	*Council*	*Council (capital funding)*	*$60,000*
6.7.5	*· Improve the reserve's habitat values through weed control and works to improve water quality.*	*H*	*2-5 years*	*Council*	*Council (capital funding)*	
6.7.6	*· Remove noxious and environmental weeds in the reserve.*	*H*	*2-5 years*	*Council*	*Council (capital funding)*	*$25,000*
6.7.1	*· New plantings will be indigenous wherever possible, with exotic trees used to provide natural shade as required.*	*I*	*0-3 years/ Ongoing*	*Council*	*Council (capital funding)*	*$15,000*
6.2.4	**· Design and develop a pedestrian and cyclist-friendly entrance from Harris Street Reserve by formalising pathways, installing appropriate fencing and wayfinding.**	**M**	**5-10 years**	**Council**	**Regional Infrastructure Fund** **Stronger Communities Programme** **Council (capital funding)**	**$100,000**
6.2.5	**· Design and develop a pedestrian and cyclist-friendly entrance to the foreshore precinct at the corner of Banyan Street/Pertobe Road and Merri Street (and integrate into the wayfinding strategy for Lake Pertobe and surrounds).**	**M**	**5-10 years**	**Council**	**Regional Infrastructure Fund** **Stronger Communities Programme** **Council (capital funding)**	**$38,500**
6.2.6	**· Improve pedestrian and cycle connections between Lake Pertobe and all adjacent public areas by improving and connecting paths and the addition of wayfinding information. Includes fabrication of 6N° signs.** **(Approximately 200Lm, 500 sqm concrete path - Pertobe Road)**	**M**	**5-10 years**	**Council**	**Regional Infrastructure Fund** **Stronger Communities Programme** **Council (capital funding)**	**$105,000**

REFERENCE NUMBER	ACTION	PRIORITY (I/H/M/L)	TIMEFRAME	RESPONSIBLE BODY	STAKEHOLDER/ PARTNERSHIPS FUNDING SOURCE	OPINION OF PROBABLE COSTS BASED ON 2017 COSTS
6.2.7	· Construct new paths to link Lake Pertobe Reserve with all pedestrian crossing points on Pertobe Road. Includes Five raised shared path priority treatment at five vehicle crossings.(Approximately 572 Lm concrete path)	H	3-5 years	Council	Regional Infrastructure Fund Stronger Communities Programme Council (capital funding)	$385,950
6.2.8	· Complete the existing pedestrian loops and sub-loops in the reserve by constructing new paths and filling gaps in the existing network to create multiple options for a continuous path of travel around Kids Lake and Main Lake. (Approximately 1,500 Lm concrete paths)	M	5-10 years	Council	Regional Infrastructure Fund Stronger Communities Programme Council (capital funding)	$656,625
6.2.9	Construct a new (shared) path to create pedestrian and cycle-friendly connections across the southern boundary of the reserve linking with path on the northen side of Pertobe road in 6.2.7. (Approximately 285 Lm of concrete path)	H	2-5 years	Council	Regional Infrastructure Fund Stronger Communities Programme Council (capital funding)	$134,595
6.2.10	· Construct a path between Mill and Main Lake and on the north side of the Main Lake to connect to Play Area 1. (Approximately 695 Lm of Concrete Path)	M	5-10 years	Council	Regional Infrastructure Fund Stronger Communities Programme Council (capital funding)	$262,000
6.6.3	· Change to the local laws applying to Lake Pertobe Reserve to allow dogs-on-lead to use the perimeter pathways. This change should be evaluated after 12 months.	M	5-10 years	Council	Council (capital funding)	_
6.6.5	· Investigate the formation of a Friends of Lake Pertobe group to increase community involvement in the implementation of the Masterplan.	H	2-5 years	Council	Council (capital funding)	_
6.5.1	· Include and share stories about Lake Pertobe's heritage, indigenous culture, stormwater/drainage functions and environmental values through improvements, wayfinding, precinct names and other on-site information.	Underway	ongoing	Council	Nature Glenelg Trust Council (capital funding)	_

REFERENCE NUMBER	ACTION	PRIORITY (I/H/M/L)	TIMEFRAME	RESPONSIBLE BODY	STAKEHOLDER/ PARTNERSHIPS FUNDING SOURCE	OPINION OF PROBABLE COSTS BASED ON 2017 COSTS
6.2.12	· Investigate options to improve pedestrian access across the railway line to link Lake Pertobe to Warrnambool's CBD. Preparation of engineering cost plans and discussions.	M	5-10 years	Council	Council (capital funding) VicTrack	$40,000
6.1.2	· Provide access to the water for reserve users and hire operators along the lakes' edge in appropriate locations which are connected to the path network.	M	5-10 years	Council	Tourism Demand Driver Infrastructure Program* Regional Infrastructure Fund Council (capital funding)	$75,000
6.6.2	· Construct several elevated viewing mounds on the edge of the main Lake and/or Mill Lake.	L	10+ years	Council	Tourism Demand Driver Infrastructure Program Council (capital funding)	$100,000
6.1.10	· Creative and innovative design approaches will be included in all new projects (eg wayfinding & signage, shelters, functional art, picnic decks, play features, etc).	Ongoing	_	Council	Council (capital funding)	_

Immediate Priority	$	2,875,000
High priority	$	5,058,545
Medium priority	$	2,459,125
Low Priority	$	100,000
Total	$	10,492,670

Total +10% contingency	**$**	**11,541,937**

Actual response	Summarised comments	Action/response
Small suggestion in relation to 6.6.1 Instead of half basketball court construction Install a full size multi sport court that can host a whole range of different sporting groups With already a great range of sports groups located at jetty flat area this would definitely compliment that and make the area nice sporting hub that would attract people of all ages. The proposed area behind mini golf next to bmx track is an ideal place for this Basketball/Netball/Tennis/Futsol/Badminton/Roller skating/derby/Roller hockey etc etc (also with the foundation there, it could also be transformed to an ice skating rink in winter) With being able to host many different sports for competition/exhibition extra funding/fundraising can be hopefully helped sourced from these sporting groups.	Recommended increasing the size of the basketball court and making a multiple use in 6.6.1.	The basketball half court is designed to minimise the amount of space taken up while still providing the activity.
6.4.1. I hope to see lots of new equipment that I have seen in Adelaide and Darwin in parks . And very popular. I don't have young kids but there are some good ideas which I hope council have explored. 6.4.2. Just my dream but would love to see a flying fox from cannon hill to Lake Pertobe. Young people love a bit of adrenaline. I realise insurance would be a problem. And maybe volunteers could work on weekends and charge for the experience to counter insurance	Desire for a very large play space and flying fox from cannon hill	A large play space will be constructed however a flying fox down from Cannon hill is a product that falls outside Councils facility provision.
1) I am happy with what I see with regard improvements and upgrades but believe that Pertobe Road itself becomes a bottleneck when events are in full swing with large crowds, having waiting times to access and leave the area up to 45 minutes or more. 2) There is limited access for emergency vehicles for quick and necessary arrival or departure during these times. 3) Pertobe Road needs a re-think with regard to improving the snails pace during our peak visitor times. 4) A population of thousands of elderly residents enjoy a drive to the Lake Pertobe precinct or to see the sea, with many unable to walk long distances, are they being overlooked?	Pertobe road needs to be rethought upgraded overall.	Pertobe Road has no plans of being changed, additional planned car parking and wayfinding aims to ease congestion by directing people to park and walk.
Something has to happen about the sewer pump. It smells disgusting! Why put a SEWER pump near eating areas??? It is an eye sore a waste of space and plainly just gross. It has to go!	The sewer pit needs to be removed near eating areas.	Discussion to be had with Wannon Water.
Concerned where water play areas will be with toilets and change facilities not close by this. For hygiene reasons you need toilets close by. Full court basketball court is needed to cater for more people!! Half court with only 1 ring is not enough down there. (But I do love the idea and can't wait to have one down there!)	desire for full basketball court and concern over location of toilets and change facilities for the play area	The half court for the moment is deemed appropriate. The major playground upgrade will be located beside

		BBQ's and the toilet block.
The master plan is a drag to read through- not ideal for the regular resident. The parking and traffic is horrendous during the Friday night markets and the carnival running consecutively. The parking recommendations seem to indicate more spaces being planned but also a large proportion being removed under Norfolk pines. These are highlights for visitors and locals and its getting ridiculous trying to access it let alone parking. Can we think outside the box- have the market or carnival at the foreshore/lady Bay Area and preserve the grass? Can we have shuttle buses to stop traffic?? The play areas sound nice but a bit nondescript. The toddler area sound pretty identical- river and rock pool thing. The amount of water is actually terrifying being a mum of multiple children. I'd like a fenced area around one of the playgrounds for safety. My children have all fallen in the water multiple times, luckily ive been only seconds behind them running after them for my life! The huge tree poles look great for teenagers but also dangerous for preteens. The first foothold needs to be high up!! We need security of cctv. Great area until young people ruin it with glass bottles and endanger the children visiting.	Concerns regarding - Vandalism - unfenced playground - parking congestion especially around markets - loss of parking under Norfolk pines -playground looks dangerous	Vandalism is an aspect that is ever present for public facilities, the play equipment will be designed to withstand vandalism as much as is practical. A portion of the playground upgrade at Play Area 2 will be appropriately fenced to provide for a smaller children area. The parking under the Norfolk pines has been extensively considered and will be undertaken appropriately. The playground design will ensure that all issues are considered.
I would like to see the granitic sand path changed to a smooth surface footpath as I use a wheelchair. Using a self propelled wheelchair to cross sand is next to impossible. I would like to be able to at least access the flying fox ride with my children.	Request for changed of paths to concrete as unable to access equipment across granitic sand. Would like to access to the flying fox at minimum	The extents of the paths are to be relabelled on two plans in the document as they were incorrectly labelled
A water play area similar to the ones at Lilydale Lake, Seville, Creswick and numerous other places would be great for Lake Pertobe. So many councils have built them so it wouldn't be hard to follow their lead.	A water play splash pad would be great	A splash pad will be incorporated

Congratulations to the City Council for a great plan for Lake Pertobe. I have, however, a question and 3 suggestions. Firstly, can the western boundary be clearly identified? (the section from Mackay Cres along to Cavers Mews). Does it include the west and the east side of the rail track from the station to Jetty Flat? Whose responsibility is this? Could it be included in this master plan as the trees are, in places, quite overgrown. Suggestion 1.Foot track. There is a foot track from Mackay Cres to the rail track. This is used frequently by the nearby residents. Could this please be widened and regularly maintained. Suggestion 2 Wild life. There seem to be quite a number of snakes on the western side. With increased patronage of this area, safety of residents and visitors may be at greater risk. Is there a way of safely controlling snake numbers? Also, rabbits abound in great numbers. Population control might be necessary. Mosquitoes have been a minor problem as well. Suggestion 3. Vegetation. Congrats on the proposal to eradicate the weeds. I do, however, have a concern regarding the inclusion in the draft plan of leptospermum laevigatum. Indeed you own publication "Environment Weeds of Warrnambool" on p22 identifies this tree as 'friend or foe'. There are large numbers of these weedy trees along the rail track in the Mackay Cres reserve and opposite the Cavers Mews housing. Could these please be removed? As well as being a weed the argument could also be put regarding the notion stated in 6.7.3 that trees could be removed along the Gillies Street area to enhance the view from the city. Following this logic, residents in the western area would also have their views enhanced. Again, may I congratulate the Council. I look forward to this area bringing even more enjoyment to all.	-It is a great plan. -the Lake Pertobe extents needs to be clearly defined. - foot track on MacKay crescent needs to be widened - Request to control pest wildlife species, snakes, rabbits etc. - specific trees have been requested to be removed from the area.	The border of Lake Pertobe within the plan is defined. -The pathway has not been considered currently but may be considered in the implementation of the plan. -Species of trees are not considered for removed for the moment and the planting schedules have been through several iterations of consultation. -Snake control and pest species such as rabbits are ongoing operational issues that are beyond the scope of the masterplan.
The overall draft is good. I would like to see an upgrade to the sewage pumping station as the smell during summer makes the closest playground not very enjoyable, let alone trying to eat a meal at the nearby park benches. Might I suggest when planning for Warrnamboolâ€™s future that we look at long term. 10 - 15 years is quite short term and I would like to see Lake Pertobe is enjoyed by generations to come. We need to start making 50 year plans.	The draft is good. Would like to see a longer term plan and would like to see the sewerage pumping station upgraded due to smell.	A 15 year plan for Lake Pertobe is appropriate for the plan. The sewerage pump station is an important community asset and will be part of Lake Pertobe for the foreseeable future, ongoing management of odour issues will be discussed with Wannon Water

Much of the plan is to be applauded, especially the increased signage and extra shade and shelter. My main concerns are with any aspect of the plan that reduces the amount of green grass, which to most visitors, especially children, from inland or urban areas, is the the best thing about the reserve. Large swathes of green grass, punctuated by playground activities, that are not intrusive, are unique to the area. Green grass also lends itself to a wide range of active and passive activities and is inclusive and accessible to all. Wheelchairs can go on green grass. In light of this: 1. the proposed granitic paving (Items 14 and 16) beside the lake and through main Lake and Mill Lake is unnecessary and detracts from the visual and tactile experience of the park 2. Overflow parking in Price St is unnecessary. The few days it is used, the grassed area is fine. The cost not justified. Funds should be devoted to protecting grassed areas from hoons who do extensive damage on areas that can be used occasionally as required for car parking The proposed specific recommendations under the heading of Play Infrastructure are in almost every case excessively costly and unnecessary. This section of the masterplan document reads like a commercial pitch from a playground/design company to WCC to commit to millions of dollars of expenditure. Fencing and dividing up the playground, as well as the paths proposed, detract from the sense of adventure provided by expanses of grass. Why install an artificial "Water Play" area when the biggest and best - a sandy beach- is across the road? The area is a "sensory playground" - again why the need to construct one? Reviews of the area by locals and visitors, again and again, comment positively on the playground. There is no evidence that there is "a pressing need to once again become a leader in play equipment provision" . Further , installation of more expensive and constructed equipment is not in line with the stated vision for Lake Pertobe which presumably drives the Masterplan - as "a place which inspires Warrnambool's residents and visitors to gather , play and enjoy the natural environment." Naturally, I would expect there to be ongoing maintenance of what is there now. I endorse the control of weeds in the area. However I do not support the removal of the willow trees along the northern boundary, arguing that that are significant trees that ad to the amenity of the area.There also needs to be an emphasis on controlling feral animals which are running wild. I also strongly support the development of an events and management policy to protect the area, which should remain primarily for the use of community groups and for one off, and no longer than one day's duration. Therefore I also am opposed to	-A lot of the plan is good. granitic sand paths between main lake and mill lake are unnecessary and detract from the natural area. -Concerned about the loss of green grass open space Parking does not need to be sealed for overflow parking -The new large play area is excessively costly and unnecessary Water play is unnecessary due to proximity to beach Sensory playground is unnecessary. -Against removing willow trees.	-The path improvements are necessary to provide accessible forms of travel. A substantial portion of green area will remain open -Requirements to seal overflow parking are due to the requirement for all weather access. -Play areas are costly endeavours however Lake Pertobe has been described as the best playground in regional Australia, as much of the current equipment in play area 2 is now in poor condition this investment is required to maintain its significance. -The water play will provide safe access to water without standing water. -Any removal of trees will be to improve the natural environment.

the construction of any sort of permanent stage structure.		
I have rated this 5 stars because I think the plan is great, I thought I'd just add that I think this area is very important to Warrnambool and that the natural feel of the lake should always be a priority in the selection of designs and materials.	it is great just want to make sure natural areas are placed as top priority	Agreed
limiting the parking under the Norfolk pines is terrible, they are making up stories they will die if they park under them, this is a total lie, they have been parked under for over fifty years, with out an issue, these trees like any other have a life, they die from disease. old age whether conditions, parking making them die is bull s***, there is not enough parking in this area, so limiting or reducing parking will impact the well being of the community, because they will not be able to use this space, whats next, no driving on the road, guess what the root system is under the road so ban cars from the road, , the fumes from the cars are killing them as well, how many years did cars park under the Norfolk pines every day at Fletcher Jones, or Norfolk plaza, the have lived really well, so go Knock yourself out, calculate the traffic movements each day on the roots at Norfolk plaza, then go to Lake Pertobe, lucky to be 1 car to 5 cars per day at Norfolk plaza car park, so why not close it,	Sceptical that the Norfolk pines are being effected by parking underneath them. Would like to see to changes in the parking arrangements.	Measures in place within the plan have been extensively scrutinised to ensure a healthy balanced is created. The Norfolk pines do require some protection to ensure they are looked after.
All additions to playground and infrastructure have to be Accessible. All additions to playground should happen immediately. Not high priority , immediate priority. It's tired and needs extensive revamp. See Balarats and hamiltons inclusive playgrounds . Work to improve the natural environment ie weed removal and planting of indigenous plants needs to be immmediate. Keep the active areas to the current areas . Do not encroach on passive and more natural areas or areas south of pertrobe rd . Ie new ball game area near Mcgennans BBQs .	The playgrounds should be upgraded immediately to be completely accessible. Playground upgrades need to be made now. Do not take up any grass south of Lake Pertobe	One of the playgrounds will be upgraded to a very high standard shortly. The basketball ball court to the south of Pertobe road is an appropriate use of the land and does not overly encumber the land.

The Lake Pertobe precincts popularity is based on people enjoying the grassed/water areas, picnic and low level sporting activities, and its associated facilities, all which combine to provide a fun, family oriented atmosphere. Anything that detracts from the above shall only serve to turn off peoples enjoyment and hence use of the area. So based on the above I believe the plan has some serious errors which do not add to the areas attractiveness. Points 1,3 4, 5, 6, 7, 9,10, 12, 13,17, 18,27, 28, 29, 30, 31, 32, 33,34, 35, 36, 37, 39, 40, 41, 42 , and Points A to M all have merit and are in most cases, (parking areas excepted) are relatively inexpensive. The following points come under the general heading WHY DO IT? As the expense involved hardly seems worth it: 2, 8, 11, 15, 16, 27, The following points have serious flaws that can be addressed individually: 14: The loop proposed is incorrectly routed as it should provide a dog walking path around the external perimeter so dogs can be walked on lead around the outside of the park without entering the Events and Play areas. Therefore the map should have included the existing pathway along the west boundary passing the Mill and skirting the Harris St Reserve. Item 10 links into this existing well used pathway, which is a fundamental part of the outer dog route. Also the path should skirt the North East boundary and link up to the existing South East pathway along Pertobe Road. The remainder of the link is created by the new path on the South West corner past the Mini Golf, tennis court, and through to the cricket ground Other than that there should be no or minimal internal paths added as these will replace grassed areas and totally spoil the amenity of the area. Items 19 to 25: will only detract from the natural atmosphere and provide little advantage for a huge cost. They should be removed from the proposal Item 26: The cost far outweighs the advantage, and the area should be left grassed. Item 38: Formal overflow parking right along Price St: These areas are used as overflow parking now for only a few days in the year, and have a well grassed surface. To spend a huge amount of money on them to turn them into an eyesore carpark which would be empty for most of the year is a backward step and a waste of money. Item N, O P: Major Commercial events have no place whatsoever within the Lake Pertobe Precinct. One off ad hoc events improve the amenity â€“Night and Day Markets, fun runs, open theatre, car shows, etc. However the currently running Jurassic World takes up a huge amount of very valuable Public Space, including the vast area used to accommodate their staff in caravans and trucks. It totally spoils the amenity of that end of the park and by the tone of Item P it may well provide no financial	- believe that the dog path is incorrectly sighted and should not go near the markets - Issues with several points listed within the plan	The dog path has been incorporated into lake pertobe as listed in previous consultations. Many of the points raised are differences of opinion to the majority of information that has been used to create the Lake Pertobe Masterplan.

advantage to the WCC and its ratepayers. This event and any similar contemplated, if they are truly â€œWorld Classâ€ as claimed by the WCC, should be housed at the Showgrounds, or a similar area, not on our valuable public parkland. It will take the park a significant time to recover from the damage it is doing to the grass, and added pressure to surrounding grassed areas. Other Items: The WCC is responsible for removing feral animals from the Precinct, and is failing dismally as witnessed by the large rabbit population, in particular in the North area Item 39: The WCC has installed a vehicular barrier on the North East end of the cricket ground, stopping traffic from travelling to the north of the ground. This barrier should have been in the South East area, stopping hooning on the grassed East boundary of the ground, which has obviously sustained substantial damage and provides and unstable walking surface. Why the WCC chose the NE end for a barrier is totally beyond my understanding.		
As ratepayers we cannot afford this plan. A recent example of WCC is the toilet project at the botanical gardens, budgeted for $550,0000 now over $700,000. So what would the new toilet block at McGennans Car park cost? Perhaps $1,000,000 ? And that is just one item on the draft plan. The plan needs reworking, budgeting and more accurate timelines. The ratepayers cannot afford more projects that go over budget.	Raised that they believed the plan is unaffordable.	The plan is required to appropriately cost the required improvements.
Submission removed due to offensive language		
I wouldn't say its perfect but i am excited to see Play Area 2 be developed into the future.	Mostly agree but looking forward to the play area 2	no response required

5.9. CITY CENTRE CAR PARKING UPDATE

Cr. Cassidy declared an interest and left the meeting at 7.38pm.
Cr. Neoh declared an interest in this Item and the following item and left the meeting at 7.38pm

PURPOSE:

To provide Council with data on car parking demands and strategy so that it can consider its response to a petition for free 90-minute parking in Ozone and Parkers Off Street Car Parks.

EXECUTIVE SUMMARY

- At its February 2019 Council Meeting, Council received a petition with 2,833 signatures asking for a review of parking arrangements in the Ozone and Parkers Car Parks. The petition specifically sought the introduction of permanent free 90-minute parking in Parkers and Ozone Off Street Car Parks.
- At its meeting of 5 February 2018 Council resolved 'that officers bring a further report regarding free parking in the Ozone Off-Street Car Park for the 2019 year, later in 2018 as part of the Koroit Street redevelopment proposal.'
- Over the 13 months from January 2018 to January 2019 the average daily number of parking sessions (excluding public holidays and weekends) in the CBD was 5,104. This figure excludes free parking sessions that occurred in the 188 off street spaces provided as part of the City Centre Business Support Package.
- A City Centre Business Support Package adopted by Council in May 2016 provided support for city centre businesses and visitors before, during and after the City Centre Renewal construction periods with the provision of free parking in the Parkers, Ozone, and later the Cramond and Dickson Off-Street Car Parks at an estimated cost of over $490,000.
- The Ozone Off-Street Car Park had 146 of its short-term car parking spaces designated as free 90-minute car parking spaces between the hours of 9:00am and 5:30pm as part of the City Centre Renewal Business Support Package. This arrangement commenced on 1 November 2017 and concluded on 31 December 2018.
- 42 free 90-minute parking spaces were provided in the Cramond and Dickson Car Park from early 2018 to 31 December 2018.
- Parkers Off-Street Car Park had car parking spaces designated as free 90-minute spaces from 1 November 2016 until 31 December 2017.
- Calculation of the City Centre Renewal free parking package calculated post works show the cost of the free parking support at $519,000.

MOVED: Cr. Robert Anderson
SECONDED: Cr. David Owen

That Council:

I. Acknowledge the request to provide free 90-minute car parking in Parkers and Ozone Off Street Car Parking areas.

II. Note that on average more than 5,104 paid parking sessions occur every day in the City Centre.

III. Acknowledge the need to review and update the City Centre Parking Strategy with consideration of economic factors and parking demands in residential streets surrounding the CBD.

CARRIED - 4:1

For : Cr. David Owen, Cr. Kylie Gaston, Cr. Robert Anderson, Cr. Tony Herbert
Against : Cr. Peter Hulin

BACKGROUND

At its February 2019 Council Meeting a petition was received with 2833 signatures which sought a review into parking arrangements in the Ozone and Parkers Off Street Car Parks. In accordance with local law provisions Council resolved that the petition be received and referred to the Chief Executive for a future report to Council.

The petition specifically sought the introduction of permanent free 90-minute car parking in the Parkers and Ozone Off Street Car Parks.

A City Centre Business Support Package was adopted by Council in May 2016 (Refer **Attachment 1**) with the purpose of providing support for city centre businesses and visitors before, during and after the City Centre Renewal construction periods through the provision of free parking in the Parkers and Ozone Off Street Car Parking Areas. The City Centre Business Support Package free parking offsets were adopted and included an estimated $490,000 of free parking.

In February 2018 Council extended the free parking support package to include 42 spaces in the Cramond and Dickson Off-Street Car Park. At this time Council also resolved 'that officers bring a further report regarding free parking in the Ozone Off-Street Car Park for the 2019 year, later in 2018 as part of the Koroit Street redevelopment proposal.'

Council's approach to car parking management is based on its September 2015 City Centre Parking Strategy (Refer **Attachment 2**) which details parking demand profiles and the temporal parking profile.

ISSUES

Council's smarter parking meters which were and operational by December 2018 have allowed it to accurately track the number of parking sessions created each day, the duration of stay and a range of other metrics.

Data extracted over the period January 2018 to and inclusive of January 2019 shows that in excess of 5,104 parking sessions occur in the Central Activities Area each day (Refer **Attachment 3**).

Of the 5,104 park sessions created each day 4,684 are short term parking sessions and 420 are all day parking sessions.

These figures do not include any allowance for the 188 free 90-minute car parking spaces that existed in the Ozone and Cramond and Dickson Off Street Car Parks during this period. Based on observed occupancy, there could conservatively have been an additional 400-500 parking sessions per day across these locations.

Car parking payment data also shows that cash sessions remain popular with over 946,404 coin, 302,312 app, and 134,493 credit card sessions purchased in the 13 month period. However, most significantly app payments peaked in November 2018 at 32.2% by value. The trend data does show a higher use of the app during the cooler winter and early spring months.

Attachments 3 to 9 contain data sets relating to car parking with a focus on the Off Street Car Parking Areas for which the petition related.

The data provided outlines a number of trends that are worthy of noting, particularly that at the conclusion of the Ozone OSCP free parking period, short term parking sessions started in the following month (January 2019) totaled 3,300. The average duration of stay in the 2P section of the Parkers OSCP is less than 1 hour indicating it is used predominately used for short duration parking sessions consistent with the aim of providing parking turnover.

Council's 2015 City Centre Car Parking Strategy identified the need to create additional car parking capacity within the Central Activities Area and this was achieved in late 2018 with the addition of 179 long term car spaces created at the Warrnambool Railway Station. Originally this $1M plus project was to have been funded through Council's car parking fund, however through negotiation with the state government it has been funded by the state government and will be managed by Council as a free car park.

One of the fundamental propositions around metered parking is the need to ensure that turnover exists in retail precincts ensuring that customers are provided parking opportunities near their desired destination.

Parking regimes do exist where parking turnover is controlled through parking restrictions alone, however these are managed through a heavy compliance and infrastructure regime. Many modern parking systems now also include parking sensors in individual bays to monitor duration of stay and as the basis for compliance activities, however these were avoided in Warrnambool due to the capital and ongoing licensing costs.

The Warrnambool parking system is designed to return revenue generated through parking meters to fund Local Laws operations and renewal of City Centre infrastructure through the car parking reserve. Over the next 10 years a significant number of Central Activities Area footpaths are scheduled for renewal and without this revenue these replacements will be delayed.

A 2016 study by O'Brien Traffic and SGS Economics into Geelong's parking (Geelong City Council Agenda 28 March 2017) found in relation to the Economics of On-Street Parking Pricing and Management that:

> *On-street parking in large commercial centres is a scarce resource. To the extent that demand exceeds supply price is used to encourage efficient use of the resource. In the Geelong CAA Council has sought to balance supply and demand using a combination of paid on-street parking, maximum time limits, selected areas with 'all day' paid parking, and resident parking permit areas. Paid parking in particular encourages more frequent turn-over of well-located parking spaces and provides revenue to Council to operate and maintain the parking facilities. Revenues might also be used by Council to fund other traffic and transport demand management programs.*
>
> *A significant literate has emerged in recent decades addressing the issues and challenges associated with the provision of free parking in cities. Free parking is never truly free: there are costs associated with the operation and maintenance of parking spaces that fall to the general community (via rates and taxes); and, more significantly, there is an opportunity costs associated with the use of urban land for parking.*

The conclusions drawn in the Geelong example highlight some of the complexities around parking management and the need for careful consideration of parking controls. Council's City Centre Renewal Free Parking Strategy was developed with a sound understanding of parking habits which were assessed as part of the 2015 City Centre Parking Strategy.

Since these studies were completed several significant changes have occurred, including the introduction of the railway car park, expanded meter parking areas, and completion of the City Centre Renewal. These changes and associated length of time since the strategy was commissioned provide a good basis on which to trigger a review of the document.

In February 2018 Council resolved as part of the City Centre Renewal Project to extend the project over 3 stages to reduce the risks of time delays for the Liebig Street section between Koroit Street and Timor Street.

This report stated: 'Given that works as part of the City Centre renewal are now scheduled to extend into 2019 it is appropriate that the free parking proposal be reconsidered when the Koroit Street works program is established'. Given that the works program has been established and involves works on two roundabouts on Kepler Street at Timor Street and Koroit Street it is appropriate for Council to consider this proposition.

Whilst there was an option to complete the Koroit Street / Kepler Street roundabout in 2018 this option as not exercised, and the remaining stage is now occurring in 2019. Throughout the renewal project Council has continued to offer a business support package and it is considered reasonable that consideration of this occur in regard to the upcoming works areas which is in Kepler Street between Koroit Street and Timor Street.

If Council were to provide parking in Ozone Off Street Car Park associated with the City Centre Renewal Zone 3 program, there are 148 short term car parking spaces in the Ozone Off Street Car Park and an indicative cost to provide free parking during the 2019 works program would be in the order of $135,517.

FINANCIAL IMPACT

Car Parking revenue generated through parking meters is used to fund Local Laws operations and renewal of the City Centre upgrades through the car parking reserve. Approximately 20% or $275,000 of revenue from Parking Meters is allocated to the parking reserve and a rate levy generates a further $155,000.

The following table details the estimated costs of providing free parking in the Ozone and Parkers Off Street Car Parking Areas. The table has assumed an 85% occupancy factor which is consistent with that observed during recent free parking trials and only assesses the occupancy over a temporal profile period of 4.5 hours out of the total 8.5 hours that parking is available. The table assumes absorption from surrounding on-street locations.

Location	Spaces	Occupancy Factor	Temporal Profile Allowance (hrs)	Cost	Annual Free Parking Cost
Ozone	146	0.85	4.5	$1.40	$203,275
Parkers	103	0.85	4.5	$1.40	$143,406

Based on this assessment free parking proposal for the Ozone Off Street Car Park during the Zone 3 City Centre Renewal Works which would occur between May 2019 and 31 December 2019 would conservatively reduce the Parking Management Program by $135,517.

Any free car parking impact of this would need to be managed through Council's budget. This could potentially impact Council's proposal to relocate the Central Bus Interchange, the upgrade of accessible parking bays, renewal of CBD footpaths or any other service.

While a review of Council's City Centre Car Parking Strategy could largely be completed 'in house' there is a need to have aspects peer reviewed by external industry experts. It is also likely that an external economic assessment would need to be procured in relation to aspects of the study and particularly the economics related to meter parking. It is believed that these costs would be in the order of $30,000.

LEGISLATION/POLICY/COUNCIL PLAN CONTEXT

3 Maintain and improve the physical fabric of the City
3.2 Create a more vibrant City through activating high quality public places.
3.4 Enhance movement in and around the City.
3.5 Maintain and enhance existing Council Infrastructure.

TIMING

Council should assess any financial consideration on parking as part of the 2019/2020 budget process.

A review of the City Centre Car Parking Strategy could form a Council Plan Action and Initiative for the 2019/2020 financial year.

COMMUNITY IMPACT/CONSULTATION

Council received a petition with 2,833 signatures requesting consideration of free parking proposals in the Ozone and Parkers Off Street Car Parking areas. This report assesses the broader community impacts in terms of parking outcomes and service impacts that could result from reduced investment in the renewal of City Centre infrastructure.

LEGAL RISK/IMPACT

The replacement and renewal of City Centre infrastructure such as footpaths and accessible parking bays is prefaced on incomes into the parking fund. Any reduction in income to this fund would delay the replacement of assets and could place at risk Council's ability to meet its Road Management Plan commitments.

OFFICERS' DECLARATION OF INTEREST

No officer involved in the preparation of this report has declared a conflict of interest.

CONCLUSION

Council having considered the 2015 City Centre Parking Strategy, City Centre Renewal Free Parking Strategy, and paid parking data (provided over a 13-month period) can now consider the petition that requested free parking in the Ozone and Parkers Off Street Parking areas.

ATTACHMENTS

1. Attachment 1 Draft City Centre Revitalisation- Free Parking Strategy **[5.9.1]**
2. Attachment 2 City Centre Parking Strategy September 2015 **[5.9.2]**
3. Attachment 3 Transactions All Machines **[5.9.3]**
4. Attachment 4 Off Street Parking Sessions **[5.9.4]**
5. Attachment 5 Mid Month Parking Sessions Started by Hour **[5.9.5]**

WARRNAMBOOL
CITY COUNCIL

CITY CENTRE RENEWAL

FREE PARKING STRATEGY

April 2016

1. INTRODUCTION

Warrnambool City Council (Council) has committed to the revitalisation of Warrnambool's City Centre.

In July 2012 the Warrnambool City Centre Revitalisation – Structure Plan (The Structure Plan) was adopted. The Structure Plan states:

> *"The vision for Warrnambool City Centre in 2030 is as a place that is 'Alive, Thriving and Culturally Rich: Our City Heart.'"*

A major initiative to evolve from the Structure Plan is The Warrnambool City Centre Renewal project.

The $15 million Warrnambool City Centre Renewal project will involve a two staged redevelopment of Liebig Street from Timor Street to Raglan Parade and Koroit Street from Liebig Street to Kepler Street.

The City Centre Renewal – Free Parking Strategy delivers a framework to provide more free parking to allow short-term motorists to continue to park and come and visit the City Centre in preparation for and during the redevelopment/construction period.

2. BACKGROUND

Council staff have been collecting routine information over several years to identify trends in parking habits of motorists.

In early 2015 Council conducted 237 face-to-face surveys of City Centre visitors and 37 businesses on parking. This included feedback on free parking. Council has also been in consultation with other Councils across Australia to discuss and learn how best to approach free parking initiatives.

Based on survey parking data and survey findings, a free 1 hour parking trial was conducted in Parkers car park from the 20 April to 4 December 2015 and 1 February to 18 March 2016.

A separate free parking trial was conducted in summer from 7 December 2015 to 28 January 2016 in the following off-street car parks:

- Cramond and Dickson
- Off-Fairy Street
- Ozone
- Off-Koroit Street
- Parkers
- Art Gallery
- Off-Kepler Street

Paid parking remained in the Coles Younger, Target and Grace Avenue off-street car parks.

Council also has the advantage of utilising data from ticket machines and EasyPark to provide valuable information on motorists parking habits.

This information is valuable to informing the direction of the Free Parking Strategy.

3. CONSIDERATIONS AND INFORMATION

Council's City Centre Parking Strategy (The Strategy) was adopted by Council in September 2015. The Strategy's vision is to:

> *"Manage parking to provide information and choices for various transport and parking alternatives to promote City Centre vibrancy, economic prosperity and efficient supply and use of parking facilities."*

Other relevant information from the Strategy includes:

- The majority of visitors spend 1 hour or less parking
- The majority of visiting motorists park within one block of their destination
- The majority of business respondents appear willing to walk up to 1- 3 blocks for free or $2 all-day parking but not 4 blocks

Parking alternatives need to be considered for the periods of construction associated with the City Centre Renewal works.

Table 1: Timing of the City Centre Renewal works

Stage	Streets	Between Streets	Time (inclusive)
One	Liebig Street	Raglan to Koroit	Feb–Oct 2017
Two	Liebig Street Koroit Street	Koroit to Timor Liebig to Kepler	Feb-Oct 2018 Feb-Oct 2018

On-street parking will be reduced in the areas undergoing works. The number of car parks affected in each stage will vary as parking on one side of the street will be possible during some stages of the construction works.

4. FREE PARKING TRIAL RESULTS

The free parking trials were assessed by reviewing ticket machine and survey data collected by Council staff. The data showed the following:

- All-day parkers/workers mostly filled off-street car parks to take advantage of free parking during summer
- Workers demonstrated a willingness to pay $2 a day – evidence provided by Grace Avenue usage
- The scale of the free parking over summer was too large and requires regular monitoring and enforcement to keep all-day parkers/workers out which is counterproductive to the initiative
- Different time controls in the same car park invites abuse by workers
- More time was required to plan and implement: signage, promotion and develop partnerships with traders
- The summer free parking trial was in contradiction to the City Centre Parking Strategy, going against the 'Park and Walk' philosophy and free parking at no recurrent budget loss.
- The summer free parking trial had an $88,000 financial impact ($78,000 income foregone + $10,000 expenses) for a minor 5.5% increase in off-street parking when compared to the previous year. This figure is actually less than the parking increase from 2013/14 to 2014/15 which showed an 8% increase with no free parking initiatives.

With any trial, there are outcomes and learnings to consider. Council has good data, survey results and results from the free parking trials to determine the best model for free parking into the future.

5. GOALS OF THE FREE PARKING STRATEGY

- Provide more free parking alternatives for short term visitors to the City Centre in preparation for and during the City Centre Renewal construction periods
- Provide opportunity for traders to promote free parking through partnerships and improved communications
- Improve awareness of the free parking locations
- Reduce the potential for all-day motorists to abuse free short-term parking initiatives
- Provide free parking in close proximity to where parking has been displaced

6. RECOMMENDATIONS

Findings from the City Centre Parking Strategy, results from free parking trials, recent parking data and advice from other Councils has been considered for future free parking initiatives. In order to achieve the goals above, the following recommendations have been provided:

- Free parking is provided in Parkers for the lead up and during Stage One of the City Centre Renewal
- Free parking is provided in Ozone for the lead up and during Stage Two of the City Centre Renewal
- Free parking is limited to 1 hour and 30 minutes in Parkers and Ozone to promote turnover and availability for short-term motorists to park and visit the City Centre
- Improved communications, signage and promotions are conducted to promote awareness of free parking locations

Table 2 shows the number of additional free parking bays provided in off-street areas. Note free parking will also be provided in the areas of the staged works as the contractors will restrict works on one side of the street when possible.

Table 2: Free parking recommendations

Stage	Location	Time (Inclusive)	Number of car parks affected by construction	Number of additional free car parks proposed in off-street areas
1	Parkers	1 November 2016 to 31 October 2017	Up to 108	144
2	Ozone	1 November 2017 to 31 December 2018	Up to 133	Between 200 - 249

Refer to Figure 1 and 2 of the Appendices for more details

7. FINANCE IMPACT

Table 3: Income foregone by free parking initiatives and construction

Free Off-street Car Parks Income foregone	**Stage One Free Parking** 1 Nov 2016 - 31 Oct 2017	**Stage Two Free Parking** 1 Nov 2017 - 31 Dec 2018	**Stage One Renewal** 1 Feb 2017 - 31 Oct 2017	**Stage Two Renewal** 1 Feb 2018 - 31 Oct 2018
Parkers	$60,900			
Ozone		$214,000		
On-street - income forgone				
Liebig St (Koroit to Raglan)			$76,877	
Liebig St (Timor to Koroit) Koroit St (Liebig to Kepler)				$102,152
TOTAL	**$60,900**	**$214,000**	**$76,877**	**$102,152**

Table 4: Communications and promotions budget

Year	**Budget**
2016/17	$10,000
2017/18	$10,000
2018/19	$10,000
TOTAL	**$30,000**

Table 5: Total financial impact by financial years

Year	**Income foregone by Free Parking in Parkers & Ozone**	**On-street income foregone**	**Comms & promotions**	**TOTAL**
2016/17	$41,250	$42,710	$10,000	$93,960
2017/18	$142,750	$90,919	$10,000	$243,669
2018/19	$90,900	$45,401	$10,000	$146,301
TOTAL	**$274,900**	**$179,029**	**$30,000**	**$463,929**

8. CONSULTATION

The free parking proposal is to include improved communications, signage and promotions to promote awareness of free parking. This is to include:

- Parking pack for traders to promote
- Media releases
- Advertisements in the Warrnambool Standard, C2C, City Centre Newsletter, ACE Radio and other media
- Use of the web, including Youtube and Facebook
- On-street signage to help motorists identify off-street carparks with free parking

Prior to the proposed changes for time controls in Parkers and Ozone, Council will consult with businesses, residents and motorists in the area.

9. APPENDICES

Figure 1: Stage One free parking proposal Parkers car park

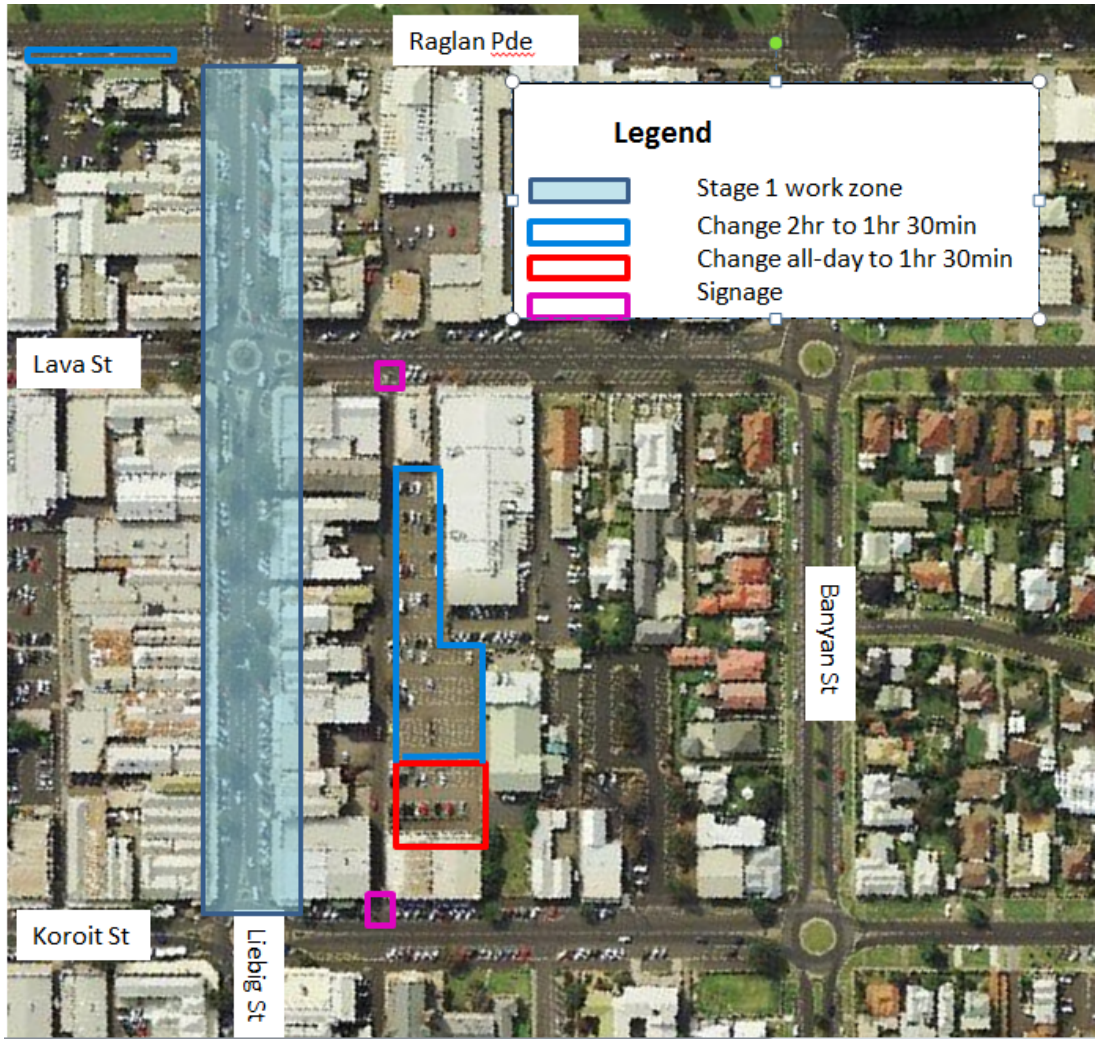
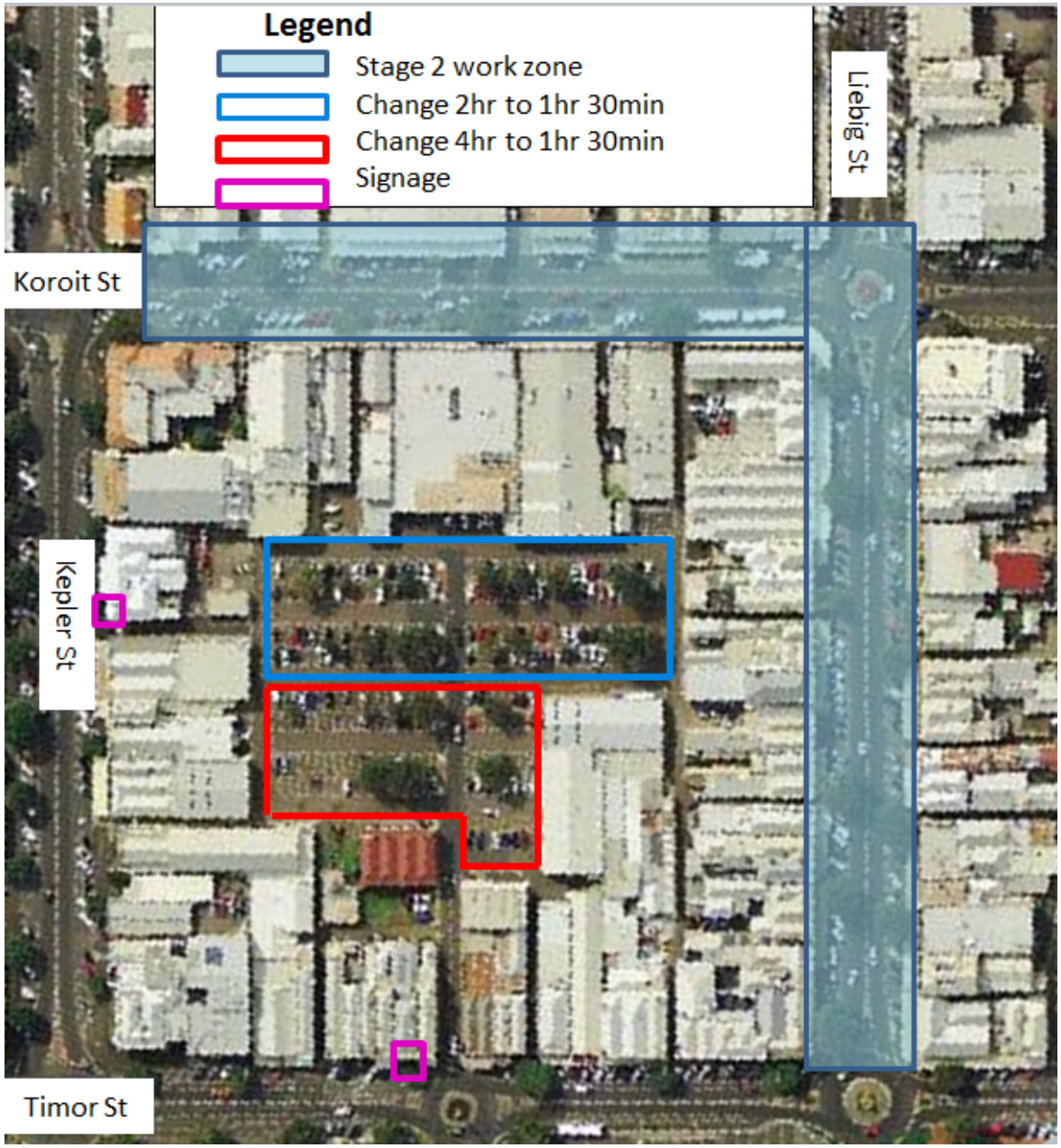


Figure 2: Stage Two free parking proposal Ozone car park



WARRNAMBOOL
CITY COUNCIL

CITY CENTRE PARKING STRATEGY

SEPTEMBER 2015

Glossary

A glossary has been provided below to assist with understanding of parking terminology

Word	Description
Short term parking	2 hours or less, often used by visitors to the City Centre, this may include shoppers, customers and clients, courier drivers, taxis and others.
Long term parking	3 or more hours, often used by employers, employees, customers and clients of businesses and residents living in the City Centre.
On-street parking	Includes 45 degree angle, parallel or centre of road parking.
Off-street parking	Includes mostly 90 degree parking located in the centre of a grid or city block, often at the rear of on-street buildings
Parking demand	The amount of parking that would be used at a particular time, place and price.
Parking supply	Provision of parking spaces.
Parking turnover	Refers to how often a parking space is used by different motorists.

Table of Contents

1. Introduction 4
2. Methodology 6
3. Parking Review 7
Key Findings 7
4. Policy Framework 14
Vision 15
Goals 15
Principles 16
Management Strategies 17
5. Park Smart Program 19

1. Introduction

The Warrnambool City Council (Council) has developed this City Centre Parking Strategy to provide direction and the strategic framework for the future supply and improved management of on and off street parking in Warrnambool's City Centre.

Council considers parking an important function of its services it provides. The 2013 – 2017 Council Plan (Amended 2015) states as a priority for Council to:

> *'Adopt a car parking strategy as an adjunct to the City Centre Revitalisation Plan.'*

The development of this Parking Strategy will achieve this objective.

In 2012, Council developed the City Centre Revitalisation Structure Plan (the Structure Plan) to guide future developments and improvements to the city. The Structure Plan is the overarching policy for the City Centre. It lists parking as one of five themes under its objectives and strategies in the Structure Plan, stating as one of its objectives to:

> *'Support a program of improvements to the amenity, quality of the public realm, public transport and car parking access and safety and security,'*

Warrnambool's community also consider parking a priority. As part of Council's recent City Centre Renewal consultation, improvements to car parking featured prominently in community feedback.

The scope of the Parking Strategy encompasses the area of Raglan Parade, Banyan Street, Merri Street, Henna Street and to the Hospital on Ryot Street.

Figure 1 – Warrnambool City Centre

There are various forms of at-grade level car parking in the city. These include short term and long term parking and off-street and on-street parking as described in the glossary.

Parking provides an important function for the City Centre, its visitors, residents and a diverse range of businesses. It provides motorists with a facility to park their vehicle when visiting the City Centre. Public surveys conducted in February 2015 showed the majority of short term visitors come to the City Centre for shopping, followed by professional services, eating and entertainment. Long term parkers also make up a considerable portion of parkers, with over 1000 long term car parks provided for mostly City Centre employees.

Council has increased its supply of parking in the City Centre, from an estimated 3500 public car parks in 2009 to 3800 today. The majority of these car parks are owned and managed by Council.

As the road manager, and in interest of traffic flow, Council has a duty to cater for the diverse range of short term and long term parking in accordance with State regulations and legislation, and Council Local Laws and policies.

Council must also take into consideration the City's projected growth and plan for parking demand into the future. Warrnambool's economy is dominated by service based industries such as health care, social assistance, financial services, education and training. These sectors account for over two thirds of Warrnambool's employees. According to the Warrnambool Economic Profile – Industry and Employment (RDV 2013), Warrnambool is likely to benefit from further expected growth in health care, social assistance and professional services until at least 2031. This will have repercussions for the City Centre.

Council must also take into consideration population growth for the City and the region. The Warrnambool City population is estimated to be 33,501 (as at June 2014) and is forecast to grow to 43,807 by 2031 (id.forecast). Warrnambool has a regional catchment area in the order of 120,000 people and our City is expected to attract the vast majority of the region's population growth over the next 15 years.

The Parking Strategy provides the framework to improve parking management for the visitors of today and plan for the projected parking demand for the City Centre in the future.

2. Methodology

The Parking Strategy has been developed by Council officers following an analysis and review of the current parking situation. The process involved the following:

- 4 workshops with Councillors to identify current parking issues and future opportunities.
- Consultation with the general public and the business community, which included:
    - Surveys of 237 City Centre visitors to identify parking behaviours and perceptions and test potential parking initiatives.
    - Surveys of 37 City Centre businesses to identify issues, opportunities, parking behaviours of staff, customers and clients.
    - Establishment of a working group to oversee the process to develop the Parking Strategy, particularly consultation.
    - Focus group meeting with local businesses to test potential initiatives, marketing programs and joint promotions.
- Engagement of an independent traffic engineer to undertake a traffic and parking analysis. Titled '*Warrnambool Traffic & Parking Analysis Study 2015'* (Ratio 2015) the investigations included traffic and parking analysis on Thursday 30 April and Saturday 1 May 2015. Council also reviewed the *'Warrnambool Traffic and Parking Analysis: Findings and Recommendations Report: For City of Warrnambool'* (Ratio 2010).
- Engagement of an independent consultant to conduct a peer review of the Parking Strategy.
- Year to year parking trends provided by financial reports and yearly occupancy surveys.
- Reviewed other Council policies and the Warrnambool Planning Scheme.
- Investigated other cities parking management.
- Consultation with Council officers.
- And usage of data provided by new ticket machines in centre block off-street car parks.

Further consultation was undertaken as part of the exhibition of this Parking Strategy for public comment from the 3-28 August 2015.

3. Parking Review

Council Officers, along with independent Traffic and Planning consultants, undertook a process to analyse and review the current parking situation to inform the development of this Parking Strategy. Part of that process included consultation with Councillors, Council Officers, the general public and businesses on parking in the City Centre.

Key Findings

Below are the key findings of the parking supply and demand review:

- Short term areas highlighted in pink and red in Figure 3 & 5 show high to very high parking demand. Meter feeding may be compounding the problem. Nearby short term off-street car parks are generally underutilised. Coles/Younger and Ozone generally have higher occupancy throughout the year.
- Figure 3 shows free parking in on-street parking areas which includes 2P (2 hour), 3P (3 hour) and P (all-day) has very high occupancy, with poor turnover of vehicles in 2P and 3P areas.
- The Railway Precinct is experiencing very high parking occupancy. Council Officers observations indicate many of these are rail commuters, South West TAFE employees and students, and other City Centre employees utilising free parking in the area on weekdays and weekends. Refer to Figures 3 & 5.
- Weekday long term parking management is in high demand in mid-west to south sections of the City Centre. Increasing parking supply in the area will assist.
- Liebig Street, from Raglan Parade to Timor Street; Koroit Street, from Kepler to Banyan streets; and Lava Street, from Liebig to Kepler streets are experiencing very high occupancy on weekdays and weekends. Consider strategies to improve turnover and promote use of off-street car parks.
- There appear to be spill over parking issues in Henna Street, from Koroit to Timor streets.

Figure 3 - Parking demand 1.00pm Thursday 30 April 2015

Figure 4 - Parking demand 6.00pm Thursday 30 April

Figure 5 - Parking demand 1.00pm Saturday 1 May 2015

Figure 6 - Parking demand 6.00pm Saturday 1 May 2015

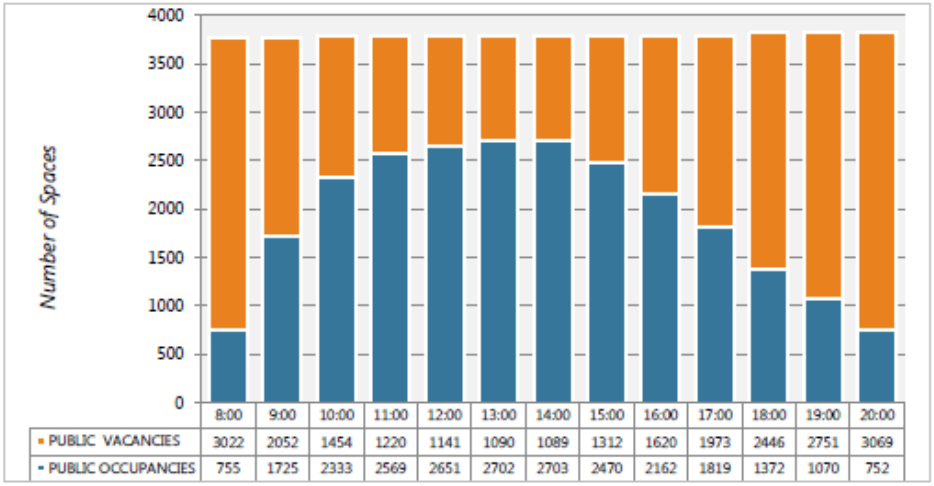
Key findings continued:

- While Figure 6 shows there is high occupancy in Koroit Street and Kepler Street on weekends (as shown in pink), there is good parking availability in many locations. Further monitoring of vehicle occupancy in Liebig Street between Timor and Koroit Street is required, which is anecdotally an area of usually very high use on nights of weekends and weekdays.
- Short term off-street occupancy, with the exception of Coles Younger/Target, experienced low or very low occupancy on weekdays and weekends. Note free parking was available in all off-street car parks on weekends and on-street after 12.00pm on Saturdays. There is an opportunity to further promote availability of off-street parking on weekdays and free weekend off-street parking to reduce on-street demand.

A trial of free 1 hour parking in Parkers was underway during the development of the Parking Strategy. The trial showed some positive signs with increased visitation during week 1, 2 and 9 of the trial, while week 3 to 8 appeared to show no increased visitation. It is recommended that the free parking trial in Parkers is extended until March 2016 to further determine operational impacts, abuse of the system, effect on on-street demand and benefits of the choice of a free parking option over time. This should be provisional that the trial extension is provided at no impact to the 2015/2016 parking income budget and a project budget is allocated for the costs of the extended trial.

The typical weekday (Thursday) peak parking demand for the Study Area was recorded between 1.00pm and 2.00pm, at which time a maximum of 2703 of the 3792 publicly available car parking spaces were recorded occupied. This represents a peak parking occupancy rate of 71% as shown in Figure 7.

Figure 7 - Temporal Profile of Parking Demand: Thursday 30 April 2015



	8:00	9:00	10:00	11:00	12:00	13:00	14:00	15:00	16:00	17:00	18:00	19:00	20:00
PUBLIC VACANCIES	3022	2052	1454	1220	1141	1090	1089	1312	1620	1973	2446	2751	3069
PUBLIC OCCUPANCIES	755	1725	2333	2569	2651	2702	2703	2470	2162	1819	1372	1070	752

When comparing parking demand with the temporal profile, car parking pricing and time limits, particularly in very high to high occupancy areas, appear consistent to promote turnover and availability to motorists.

Car parking demand slightly increased between 2009 and 2015. The supply of additional car parks has resulted in reduced occupancy, therefore improving availability for motorists - a positive outcome for the City Centre. This is reflected in Table 1.

Table 1 - Peak hour parking supply and demand comparison

	Thursday 30 April, 2009	Thursday 30 April, 2015
Study Area Car Parking Supply (spaces)	3491	3792
Study Area Peak Car Parking Demand 1.00-2.00pm (spaces)	2642	2703
% Occupancy	76%	71%

Council conducted parking surveys with the public and businesses in February and June 2015 to inform the Parking Strategy. Below are the key findings of the public consultation surveys:

- Majority of visitors spend 1 hour or less parking.
- Shopping is the predominant reason for visiting the City Centre.
- There is a high car dependency for users visiting the City Centre.
- Majority of parkers spend less than 2 minutes searching for a park.
- Majority of motorist's park within one block of their destination.
- Majority of respondents are very familiar with parking locations, general availability and payment methods.
- Good awareness of free parking areas on weekends.
- Fair awareness of 1000 free car parks and willingness to use.
- Good public support for $2 all day parking.
- Good public support for free parking initiatives.
- Poor public support for boom gates in off street car parks.
- Location and availability of space is more important than price.
- Poor satisfaction for areas with higher on-street and off-street parking prices

The key findings of the business surveys were:

- There is a strong car dependency for people commuting to work with 92% of respondents driving.
- The majority of respondents appear willing to walk up to 1- 3 blocks for free or $2 all-day parking but not 4 blocks.
- When asked why they chose to drive to the City Centre when compared to other forms of transport such as walking, cycling and catching the bus, 60% of respondents indicated they like to do other tasks.
- Payment by coin at parking meters is the predominant method of paying for parking.
- Location of car park, price of parking and availability of space are the most important factors to motorists when choosing a park (in order of importance).
- 54% are satisfied with the availability of parking in on-street areas.
- 54% have not experienced difficulty parking in off-street areas.
- 71% believe the price of parking discourages their customers/clients to visit the City Centre.
- Continuation of free 1 hour parking trial in Parkers, reduction in car parking fees and fines, and regular turnover of vehicles in on-street areas to improve availability were considered most likely to result in customers/clients visiting the City Centre more often (in order of importance).
- Majority strongly support promotion of alternative parking and education of businesses and staff on meter feeding.

Consultation highlights the variety of motorists parking behaviours and desires, with the majority of motorist prepared to pay for parking close to their destination. There does appear a willingness to walk 1-3 blocks for free or $2 all-day parking but not 4 blocks. This is consistent with walkability maps shown in Figure 8 and 9 showing the close proximity of free and $2 all-day parking to much of the City Centre.

Parking data provided also indicates there is an adequate supply of parking but motorists are not taking advantage of available short term off-street parking close to many destinations. Not surprisingly, occupancy data shows parking demand is highest in the main blocks of Liebig and Koroit on-street parking areas. Short term parking in these streets and other areas of high to very high demand, presents one of the biggest challenges for parking management.

Figure 8 - Free Parking and walking distances

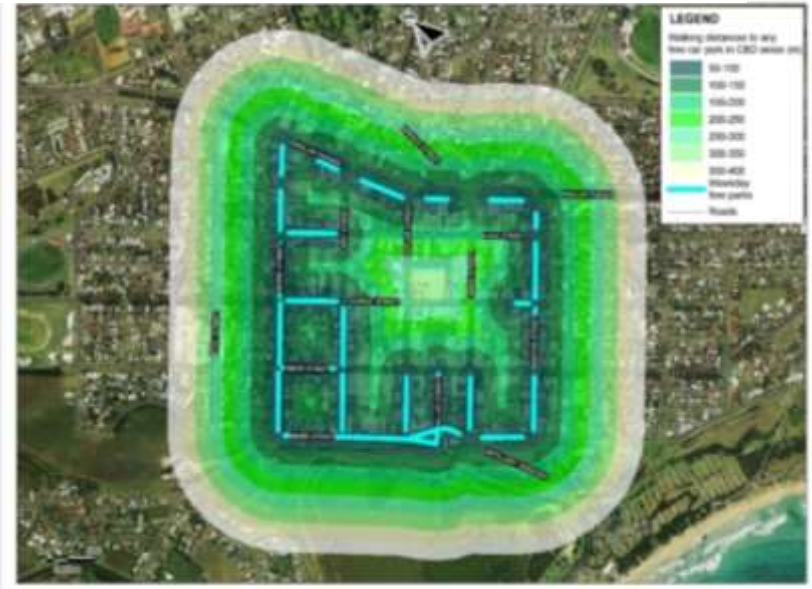
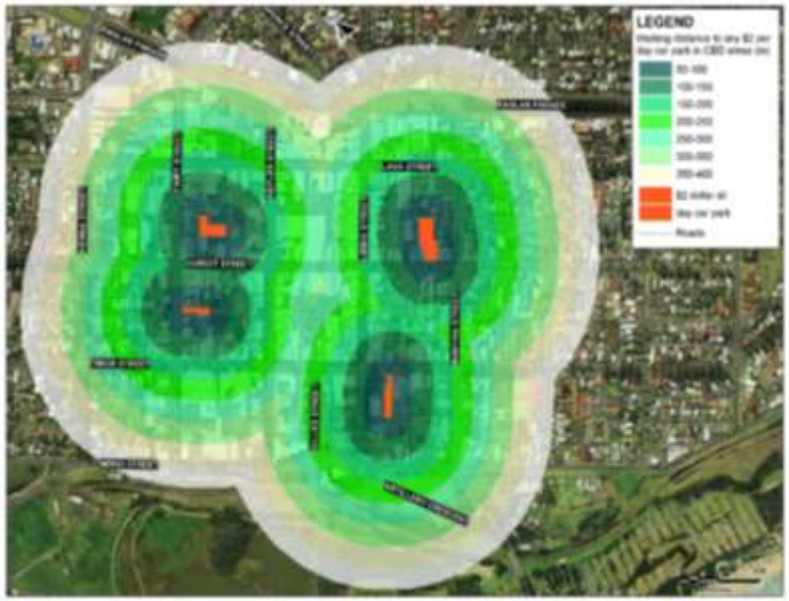


Figure 9 - $2 all-day parking and walking distances



Council currently utilises a variety of parking management strategies to manage supply and demand in on-street and off-street areas. A review of these strategies was also undertaken. Please see Table 2

Table 2 - Key findings of current parking management strategies

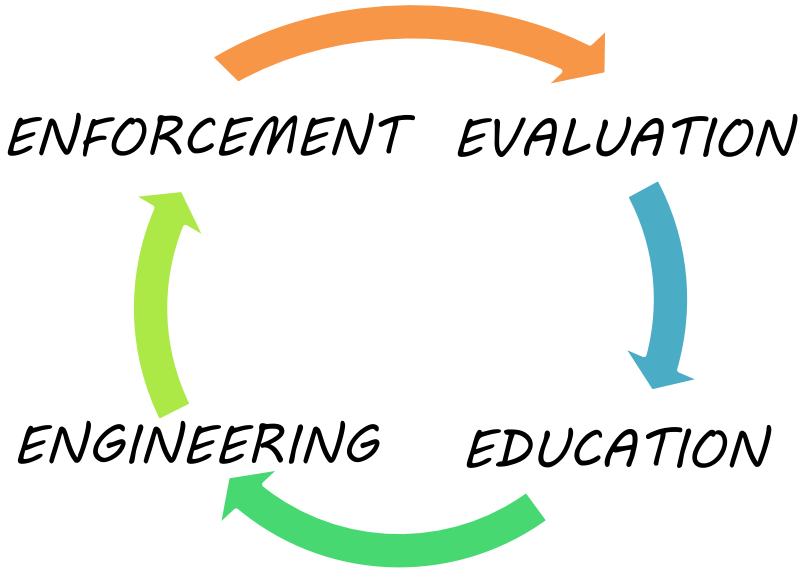
Parking strategies	Key Findings
Parking Pricing	The current sliding scale of where parking is most expensive in popular central streets then decreases as you near the less popular perimeter is consistent and efficient in turnover and promotes availability, while providing good choice of paid or free parking alternatives for motorists. The current system promotes user pays principles in priority areas and efficient use of Council's assets. In 2010 Council created the Parking Fund. The Fund reinvests parking fees into parking and infrastructure projects for the benefits of motorists and visitors to the City Centre. Awareness of the Fund is poor. At the current price of parking and parking supply and demand forecasts, Council must be efficient in its investment of the Parking Fund. Reduction of long term parking from $4.20 to $2 a day in over 200 car parks is popular with the public, but presents issues of cost recovery and presents challenges for promotion of alternative transport when parking is cheaper than the $4.40 all-day return bus trip.
Time management	Occupancy results suggest current short term time limits are appropriate in most areas and promote turn over. Continue to monitor. 23 all-day parking spaces in Liebig Street between Merri and Timor streets are inconsistent with uses in the area such as public access to the Civic Centre, Library, Art Gallery and Light House Theatre. Issues of low occupancy in the 4P area in Ozone. Anecdotal comments imply the area is functioning as an all-day car park through meter feeding.
Parking supply and demand	There is an adequate supply of short term parking and long term parking. Council has met forecast demand projections for long term parking with the recent Fairy Street and Grace Avenue car park construction. The installation of new ticket machines in off-street car parks has provided Council with transactional data. This has improved Councils understanding of parking demand and trends in these car parks. While recent construction of the Grace Avenue car park assisted with supply to meet forecast demand, at the current price of $2 a day, the payback period for construction of the car park is an estimated 27 years.
Parking enforcement	Promotes compliance with the Vic Road rules, turnover of vehicles and improved availability for motorists in popular parking areas. Council has used strategies to educate motorists on the Victorian Road Rules resulting in reduced enforcement required in areas where new parking management strategies have been introduced.
Parking information	Improves motorists' awareness of parking choices and relevant road rules. Has included signage, maps, flyers and letters where parking changes have occurred or when looking to promote available off-street car parks.
Parking infrastructure	New ticket machines with credit card facilities and promotion of pay-by-phone has improved choice for consumers to pay and monitor their parking sessions in off-street location. This promotes improved occupancy in off-street areas and promotes reducing demand in on-street areas.
Parking Initiatives	Recent initiatives such as the installation of new ticket machines in off-street car parks. These machines offer credit card payments, weekly tickets and the ability to pay by phone which encourages motorists to change behaviour and park in off-street areas.

4. Policy Framework

The City Centre is a site of constant change. New commercial developments, new businesses, population growth, the economy, even the weather influence motorists' parking behaviours, creating a dynamic parking environment.

It is important Council is appropriately equipped to manage change and strive for continual improvement in parking. Below is a framework provided to assist Council in managing change:

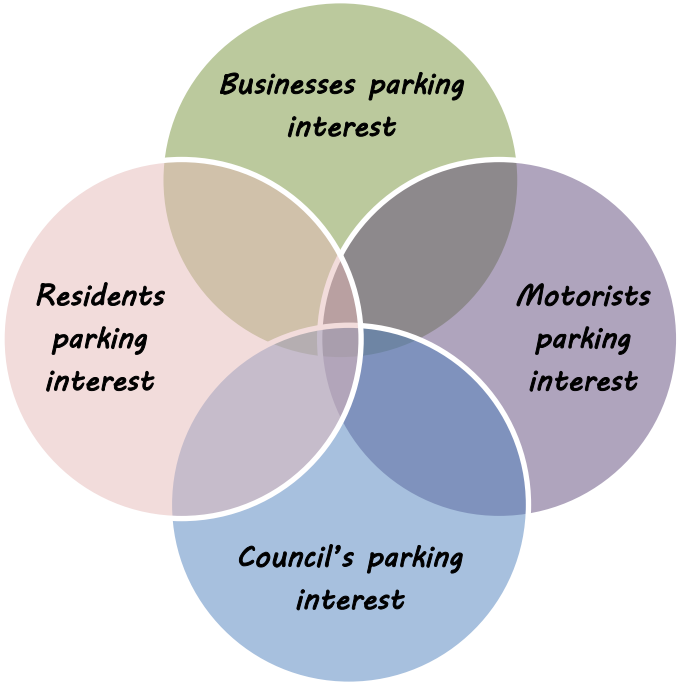
Figure 10 - The 4 E's Framework



The 4 E's Framework is particularly useful for Council when evaluating parking issues and proposing to change parking behaviours.

Amongst the mix of businesses in the City Centre are residential housing and accommodation facilities. These include a small number of detached dwellings, units and apartments including residential living above some commercial premises. Figure 11 demonstrates the variety of stakeholder that must be considered in parking management.

Figure 11 - City Centre Parking Stakeholders



Vision

Council has utilised findings from its parking review and consultation, including 4 workshops with Councillors, to develop a vision and goals for parking in the City Centre. Council's vision for parking in the City Centre is to:

> ***Manage parking to provide information and choices for various transport and parking alternatives to promote City Centre vibrancy, economic prosperity and efficient supply and use of parking facilities.***

Goals

The goals of the City Centre Parking Strategy are to:

a) ***Improve parking convenience, availability and accessibility for short term parkers to visit and enjoy the City Centre, by providing a variety of parking alternatives including location, price and payment options.***

b) ***Reduce traffic congestion and parking demand by improving pedestrian connections to increase park and walk behaviours and encouraging sustainable transport alternatives such as buses, walking and cycling, particularly for long term parkers.***

c) ***Improve awareness of the Victorian Road Rules and parking management to encourage change in parking behaviours, improve compliance and vehicle turnover.***

d) ***To efficiently manage Council's parking assets and Parking Fund to provide adequate parking which will meet short term and long term parking demand while not detracting from the City Centre vibrancy and amenity.***

Principles

Council will be guided by the following principles in the management of City Centre parking:

1. Provide convenient and accessible parking opportunities for motorists with various price & payment options.

2. Reduce parking demand by increasing park and walk behaviours and sustainable transport outcomes such as public transport, cycling and walking.

3. Manage parking supply and demand to improve availability and enhance the vitality and amenity of streetscapes in the City Centre through the efficient use of car parks as public assets.

4. Efficiently invest parking income from the Parking Fund to improve City Centre infrastructure and timely finance initiatives to meet the forecast parking demand.

5. Ensure the price of parking and the investment of the Parking Fund is promoted, clear, transparent and easy to understand.

6. Parking management is consistent, equitable and appropriately applied to promote vehicle turnover and availability.

7. Business and motorist parking initiatives are conducted in accordance with other principles & are conducted at no recurrent budget impact.

8. Enhance accessibility and safety for all, including those with disabilities, pedestrians and cyclists.

9. Follow the 4 E's principles of Evaluation, Education, Engineering and Enforcement when introducing parking changes.

10. Continue to renew infrastructure and introduce new parking technology and management methods. This will increase efficiencies and knowledge on the parking situation thus improve informed decision making.

Management Strategies

It is important Council has a variety of parking management strategies to proactively manage the parking supply and demand. The Parking Strategy proposes Council introduces additional parking management strategies to strive for continual parking improvement and reduce reliance on regulations and enforcement. Table 3 below provides a list of relevant parking management strategies used by other cities to reduce parking demand. Described as 'Typical Demand Reduction,' the estimates of reducing parking demand are dependent upon resources provided for implementation.

Table 3 - Parking management strategies

Proposed management strategies	*Description*	*Typical Demand Reduction*
Parking supply & demand	Regular monitoring & evaluation of parking to determine current supply & demand. Also requires the supply of parking to meet forecast demand in some cases.	10 - 30%
Time management	The use of timed parking in high priority areas is required to promote vehicle turnover & availability to motorists.	10 - 30%
Parking pricing	Means that motorists pay directly for using parking facilities. The costs of supplying, maintaining and monitoring parking comes at considerable cost to Council. Further promote user pay principle for use of Council assets.	10 - 30%
Parking enforcement	Consistent and regular monitoring and enforcement of parking in accordance with the Victorian Road Rules and Council's Local Laws.	10 - 30%
Parking information	Information for motorists on parking location, availability, price, regulations or other travel information. May be in the form of signs, maps, brochures, websites, & other electronic information.	5 - 15%
Parking infrastructure	Facilities that assist in parking management. Includes car park spaces, parking meters, signage, curbing etc.	Varies
Parking initiatives	Actions undertaken to encourage changes in parking behaviours.	Varies
Efficiency based standards	Promote optimal utilisation of car parks, which means off-street car parks such as all-day areas are allowed to fill provided overflow parking is available nearby.	Varies
Contingency-based planning	Solutions are identified and deployed in the future if needed. This relates to parking initiatives/incentives aimed at changing motorist's behaviour or reserving land for additional parking supply to coincide with future development.	Varies

Shared parking	**When multiple destinations that have different peak usage at various times, share parking. This may assist with the supply of parking in the short term & provide options for events.**	**10 - 30%**
Mobility management	Encourage more efficient travel patterns, including changes in mode, timing, destination & vehicle trip frequency.	10 - 30%
Pedestrian & cycling improvements	Improve walking & cycling conditions to expand the range of destinations serviced by a parking facility. Encourage public transport use, since most transit trips involve walking links.	5 - 15%
Increase capacity of existing parking facilities	Increase parking supply by using otherwise wasted space, infill development & efficient design.	5 - 15%
Improve pricing & payment methods	Improve pricing & payment options for more cost effective outcomes and increased ease and convenience for motorists.	Varies
Overflow parking plans	Establish plans for occasional peak demand. Important for special events, peak shopping periods or temporary reductions in supply.	Varies
Improve parking facility, design & operation	Create better pedestrian connections, shade, shelter, lighting, or just generally improve the quality of service experienced by motorists.	Varies
Address Spillover Problems	Use evaluation, education, engineering, enforcement & pricing to address spillover problems.	Varies
Least cost planning	Considers demand management solutions equally with strategies to increase capacity. A thorough process is undertaken to develop evaluation alternatives compared to conventional parking demand assessments, which tend to overestimate supply with social, environmental & economic consequences	Varies
Improved monitoring, evaluation & reporting	Includes a consistent methodology to gather routine information for the purpose of decision making.	Varies

- Current parking management strategies targeted for improvement - Proposed parking management strategies

Through implementation of the proposed parking management strategies, Council will encourage motorists to choose preferred parking behaviours in an effort to facilitate a pleasurable experience when visiting the City Centre. The additional strategies will further promote efficient management in the supply and demand of parking and ensure adequate parking is provided for a growing and vibrant City Centre.

5. Park Smart Program

Council will develop an annual Park Smart Program. This is to be presented to Councillors in February of each year in preparation for the following financial year budget and implementation from 1 July. The Park Smart Program is to be developed in accordance with the vision, goals and principles of the City Centre Parking Strategy. This approach presents the following benefits:

- Provides a forum to present the latest information on parking trends and motorists behaviours provided by ongoing monitoring and evaluation.
- Promotes clarity and transparency in decision making to improve parking management.
- Provides flexibility to be proactive in the implementation of various parking management strategies to address constant changes in parking behaviours.
- Promotes opportunities to collaborate and deliver joint initiatives with stakeholders, potentially resulting in mutual benefits.

The Park Smart Program will highlight the investment of low, medium and high resources to achieve the vision and goals of the City Centre Parking Strategy. Adequate resources must be provided to implement the Park Smart Program in order to promote its success and improvement to parking in the City Centre.

TRANSACTIONS ALL MACHINES

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	Jan-19	TOTAL
ON STREET COIN	70153	59480	57906	52303	57625	52812	54172	54125	45586	59710	60437	54494	61901	**740704**
ON STREET CARD	7268	6417	6174	5521	6307	5846	6422	6577	5492	7529	7427	6997	7624	**85601**
OFF STREET COIN	20637	15179	15427	16054	15751	13859	15021	15005	11828	14613	15748	17133	19445	**205700**
OFF STREET CARD	3819	3446	3557	3337	3669	3347	3839	3920	3098	3890	4087	4236	4647	**48892**
TOTAL STREET	**101877**	**84522**	**83064**	**77215**	**83352**	**75864**	**79454**	**79627**	**66004**	**85742**	**87699**	**82860**	**93617**	**1080897**
APP ON STREET	7695	10250	11863	12161	15968	15859	17631	19983	17491	22728	24885	22617	22720	**221851**
APP OFF STREET	3131	3774	4374	4545	5876	5658	6649	7771	6038	7838	8467	8243	8099	**80463**
TOTAL APP	**10826**	**14024**	**16237**	**16706**	**21844**	**21517**	**24280**	**27754**	**23529**	**30566**	**33352**	**30860**	**30819**	**302314**
TOTAL TRANSACTIONS	**112703**	**98546**	**99301**	**93921**	**105196**	**97381**	**103734**	**107381**	**89533**	**116308**	**121051**	**113720**	**124436**	**1383211**
DAYS OPERATION	21	20	20	19	22	20	22	23	20	23	21	19	21	**271**
MONTH AVERAGE	**5367**	**4927**	**4965**	**4943**	**4782**	**4869**	**4715**	**4669**	**4477**	**5057**	**5764**	**5985**	**5926**	**5104**
ALL DAY SESSIONS														
OFF STREET	2680	3449	3484	3047	3541	3134	3215	3248	2500	3170	3059	2438	2505	39470
ON STREET	1925	2179	1905	1366	1868	1669	1594	1913	1460	1726	1615	1036	873	21129
APP	1963	2694	2974	3100	4286	4204	4628	5505	4427	5494	5447	4266	4476	53464
TOTAL A / DAY SESSIONS	**6568**	**8322**	**8363**	**7513**	**9695**	**9007**	**9437**	**10666**	**8387**	**10390**	**10121**	**7740**	**7854**	**114063**
% A / DAY SESSIONS	**6%**	**8%**	**8%**	**8%**	**9%**	**9%**	**9%**	**10%**	**9%**	**9%**	**8%**	**7%**	**6%**	**8%**
TAKE INTO ACCOUNT														
FREE PARKING														
OFF & ON STREET														

	OFF STREET CAR PARKING SESSIONS BY MONTH													
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	13 MONTHS
OZONE (Excludes 146 Free Spaces Jan-Dec)														
TOTAL CASH / CARD TRANSACTIONS	3659	3083	2883	2992	2887	2497	3236	2685	2070	2770	3467	3301	6669	TOTAL CASH / CARDTRANSACTIONS = 42199
TOTAL APP TRANSACTIONS	410	569	724	755	979	858	1058	1156	820	1047	1372	1238	1507	TOTAL APP TRANSACTIONS = 12493
PARK TOTAL TRANSACTIONS	4069	3652	3607	3747	3866	3355	4294	3841	2890	3817	4839	4539	8176	TOTAL PARK TRANSACTIONS = 54692
TOTAL DAYS OPERATION	21	20	20	19	22	20	22	23	20	23	21	19	21	TOTAL DAYS OPERATION = 271
AVERAGE TRANSACTIONS PER DAY	194	183	180	197	176	168	195	167	145	166	230	239	389	AVERAGE TRANSACTIONS = 202
PARKERS														
TOTAL CASH / CARD TRANSACTIONS	4891	3977	3850	4451	3600	3482	3451	3351	2926	3435	3415	3773	3875	TOTAL CASH / CARDTRANSACTIONS = 48477
TOTAL APP TRANSACTIONS	357	399	467	595	685	635	688	800	677	865	940	1060	1066	TOTAL APP TRANSACTIONS = 9234
PARK TOTAL TRANSACTIONS	5248	4376	4317	5046	4285	4117	4139	4151	3603	4300	4355	4833	4941	TOTAL PARK TRANSACTIONS = 57711
TOTAL DAYS OPERATION	21	20	20	19	22	20	22	23	20	23	21	19	21	TOTAL DAYS OPERATION = 271
AVERAGE TRANSACTIONS PER DAY	250	219	216	266	195	206	188	180	180	187	207	254	235	AVERAGE TRANSACTIONS = 214
ART GALLERY														
TOTAL CASH / CARD TRANSACTIONS	472	512	596	616	687	591	798	690	546	686	620	462	469	TOTAL CASH / CARDTRANSACTIONS = 7745
TOTAL APP TRANSACTIONS	129	170	198	211	281	294	438	512	326	418	430	339	321	TOTAL APP TRANSACTIONS = 4067
PARK TOTAL TRANSACTIONS	601	682	794	827	968	885	1236	1202	872	1104	1050	801	790	TOTAL PARK TRANSACTIONS = 11812
TOTAL DAYS OPERATION	21	20	20	19	22	20	22	23	20	23	21	19	21	TOTAL DAYS OPERATION = 271
AVERAGE TRANSACTIONS PER DAY	29	34	40	44	44	44	56	52	44	48	50	42	38	AVERAGE TRANSACTIONS = 44
CRAMMOND & DICKSON (excludes 46 Spaces Feb-Dec)														
TOTAL CASH / CARD TRANSACTIONS	1841	696	918	808	880	792	853	910	657	821	847	733	1052	TOTAL CASH / CARDTRANSACTIONS = 11808
TOTAL APP TRANSACTIONS	296	324	270	236	346	336	380	414	332	496	456	386	533	TOTAL APP TRANSACTIONS = 4805
PARK TOTAL TRANSACTIONS	2137	1020	1188	1044	1226	1128	1233	1324	989	1317	1303	1119	1585	TOTAL PARK TRANSACTIONS = 16613
TOTAL DAYS OPERATION	21	20	20	19	22	20	22	23	20	23	21	19	21	TOTAL DAYS OPERATION = 271
AVERAGE TRANSACTIONS PER DAY	102	51	59	55	56	56	56	58	49	57	62	59	75	AVERAGE TRANSACTIONS = 61

OZONE OSCP 4P MID MONTH PARKING SESSIONS STARTED BY HOUR (NOT OCCUPANCY)

Coin & Card	7AM	8AM	9AM	10AM	11AM	12PM	1PM	2PM	3PM	4PM	5PM	6PM	TOTAL TRANSACTIONS	DOLLAR VALUE	HOURS PURCHASED	AVERAGE STAY
15/01/2018	0	2	15	32	19	19	21	15	7	2	0	0	132	$349.23	249	1.89
15/02/2018	0	14	22	14	23	21	16	11	6	3	0	0	130	$349.83	250	1.92
15/03/2018	0	23	22	32	27	26	14	5	8	3	1	0	161	$473.64	338	2.1
16/04/2018	0	7	12	8	15	18	8	6	5	4	0	0	83	$239.07	171	2.05
16/05/2018	0	13	13	26	16	35	15	21	6	3	0	0	148	$450.52	322	2.17
15/06/2018	1	5	6	29	34	23	9	14	7	0	0	0	128	$360.47	257	2.01
16/07/2018	1	9	68	4	47	38	25	38	8	4	0	0	242	$804.15	574	2.37
16/08/2018	0	17	13	20	23	32	23	17	11	1	0	0	157	$454.06	324	2.06
14/09/2018	0	5	20	28	21	20	20	13	8	1	0	0	136	$403.33	288	2.12
16/10/2018	0	10	13	20	12	25	9	12	9	3	0	0	113	$371.13	265	2.35
15/11/2018	0	4	14	24	35	46	14	19	12	3	0	0	171	$496.84	355	2.08
14/12/2018	0	4	31	35	19	33	36	18	20	5	0	0	201	$533.21	381	1.89
15/01/2019	0	7	35	47	61	59	54	33	27	14	1	0	338	$764.64	546	1.62
TOTAL	**2**	**120**	**284**	**319**	**352**	**395**	**264**	**222**	**134**	**46**	**2**	**0**	**2140**	**$6,050.12**	**4,322**	**2.02 hours**
APP	**7AM**	**8AM**	**9AM**	**10AM**	**11AM**	**12PM**	**1PM**	**2PM**	**3PM**	**4PM**	**5PM**	**6PM**	**TOTAL**			
15/01/2018	0	0	0	3	2	1	1	6	3	1	1	0	18	$52.85	38	2.09
15/02/2018	0	0	0	6	4	5	5	1	4	4	0	0	29	$105.03	75	2.6
15/03/2018	0	0	5	5	5	5	6	8	6	1	0	0	41	$147.60	105	2.6
16/04/2018	1	0	4	7	5	4	9	4	6	4	2	0	46	$159.52	114	2.5
16/05/2018	0	0	4	7	9	8	7	14	5	4	1	1	60	$232.50	166	2.7
15/06/2018	0	0	2	3	2	13	7	8	6	3	0	0	44	$147.03	105	2.4
16/07/2018	0	0	4	32	3	12	5	12	13	4	1	0	86	$302.92	216	2.5
16/08/2018	0	0	7	10	5	10	8	18	9	5	4	0	76	$257.06	184	2.4
14/09/2018	0	1	4	10	11	8	14	7	2	3	1	0	61	$207.48	148	2.4
16/10/2018	0	0	1	7	6	7	9	6	3	0	0	1	40	$141.74	101	2.5
15/11/2018	0	0	0	8	6	8	15	5	8	4	2	0	56	$174.28	124	2.2
14/12/2018	0	1	3	15	13	11	21	12	13	8	6	0	103	$275.20	197	1.9
15/01/2019	0	0	5	6	9	5	7	12	11	3	0	0	58	$212.59	152	2.6
TOTAL	**1**	**2**	**39**	**119**	**80**	**97**	**114**	**113**	**89**	**44**	**18**	**2**	**718**	**$2,415.80**	**1,726**	**2.4 hours**
TOTAL COIN, CARD & APP	**3**	**123**	**323**	**438**	**432**	**492**	**378**	**335**	**223**	**90**	**20**	**2**	**2858**	**$8,465.92**	**6,047**	**2.11 hours**

PARKERS OSCP 2P MID MONTH PARKING SESSIONS STARTED BY HOUR (NOT OCCUPANCY)

Coin & Card	7AM	8AM	9AM	10AM	11AM	12PM	1PM	2PM	3PM	4PM	5PM	6PM	TOTAL TRANSACTIONS	TOTAL 2hr TRANSACTIONS	DOLLAR VALUE	HOURS PURCHASED	AVERAGE STAY
15/01/2018	2	13	17	39	40	32	33	23	28	6	0	0	233	107	$148.91	106	0.99
15/02/2018	6	24	26	42	25	36	21	26	16	7	0	0	229	106	$142.06	101	0.95
15/03/2018	3	19	24	20	30	26	27	28	22	8	0	0	207	92	$125.82	90	0.97
16/04/2018	2	23	22	39	32	28	19	29	17	5	0	0	216	100	$139.23	99	0.99
16/05/2018	2	23	19	33	33	23	30	15	12	6	0	0	196	106	$148.41	106	1
15/06/2018	2	30	26	18	17	23	23	19	11	1	0	0	170	81	$104.38	75	0.92
16/07/2018	3	32	10	17	31	24	20	14	5	1	0	0	157	79	$116.54	83	1.05
16/08/2018	0	24	19	15	21	19	18	15	11	4	0	0	146	77	$125.08	89	1.16
14/09/2018	6	18	24	21	25	19	20	20	16	4	0	0	173	73	$109.02	78	1.06
16/10/2018	3	22	22	21	22	8	17	11	10	2	0	0	138	63	$81.42	58	0.92
15/11/2018	3	19	17	27	17	16	19	14	14	5	0	0	151	85	$81.02	58	0.68
14/12/2018	1	23	22	24	20	35	25	15	21	18	1	0	205	102	$128.20	92	0.89
15/01/2019	3	17	13	30	29	19	14	9	8	5	0	0	147	66	$93.69	67	1.01
TOTAL	**36**	**287**	**261**	**346**	**342**	**308**	**286**	**238**	**191**	**72**	**1**	**0**	**2368**	**1137**	**$1,543.78**	**1,103**	**.96 hour**
APP	**7AM**	**8AM**	**9AM**	**10AM**	**11AM**	**12PM**	**1PM**	**2PM**	**3PM**	**4PM**	**5PM**	**6PM**	**TOTAL**				
15/01/2018	0	0	1	3	4	1	5	4	5	2	0	0	25	16	$16.68	12	0.74
15/02/2018	0	0	2	3	5	3	6	4	2	2	0	0	27	13	$12.68	9	0.69
15/03/2018	0	0	3	3	6	1	8	0	2	2	0	0	25	10	$12.30	9	0.87
16/04/2018	0	0	4	2	4	7	2	6	2	3	2	0	32	21	$28.41	20	0.96
16/05/2018	1	1	7	4	3	2	6	2	2	1	1	0	30	14	$19.32	14	0.98
15/06/2018	1	0	8	3	5	2	3	2	6	4	0	0	34	16	$29.02	21	1.29
16/07/2018	0	1	5	2	2	1	2	2	3	1	0	0	19	9	$11.25	8	0.89
16/08/2018	0	1	12	3	6	4	4	0	3	3	0	0	36	16	$16.23	12	0.72
14/09/2018	0	0	7	6	1	6	4	3	4	3	1	1	36	17	$25.10	18	1.05
16/10/2018	1	0	10	6	5	3	5	1	7	1	3	0	42	21	$32.00	23	1.08
15/11/2018	0	2	15	6	3	4	7	3	3	3	0	0	46	15	$22.00	16	1.04
14/12/2018	1	2	12	7	5	9	7	14	6	4	2	0	69	37	$52.83	38	1.01
15/01/2019	0	3	10	8	4	6	5	3	7	3	0	0	49	23	$24.00	17	0.74
TOTAL	**4**	**10**	**96**	**56**	**53**	**49**	**64**	**44**	**52**	**32**	**9**	**1**	**470**	**228**	**$301.82**	**216**	**.94 hour**
TOTAL COIN, CARD & APP	**40**	**297**	**357**	**402**	**395**	**357**	**350**	**282**	**243**	**104**	**10**	**1**	**2838**	**1365**	**$1,845.60**	**1,318**	**.96 hour**

ART GALLERY OSCP 2P MID MONTH PARKING SESSIONS STARTED BY HOUR (NOT OCCUPANCY)

Coin & Card	7AM	8AM	9AM	10AM	11AM	12PM	1PM	2PM	3PM	4PM	5PM	6PM	TOTAL TRANSACTIONS	TOTAL 2hr TRANSACTIONS	DOLLAR VALUE	HOURS PURCHASED	AVERAGE STAY
15/01/2018	0	6	2	2	1	2	6	1	0	0	0	0	20	11	$28.91	21	1.87
15/02/2018	1	9	7	2	2	3	2	2	2	2	0	0	32	15	$25.02	18	1.19
15/03/2018	1	8	9	3	4	1	1	1	0	0	0	0	28	6	$12.98	9	1.54
16/04/2018	0	13	8	1	1	2	1	1	0	0	0	0	27	4	$8.63	6	1.54
16/05/2018	0	7	9	3	6	2	3	0	1	0	0	0	31	8	$16.17	12	1.44
15/06/2018	0	12	2	3	4	3	4	2	0	1	0	0	31	8	$16.85	12	1.5
16/07/2018	0	7	15	2	4	11	2	11	0	1	0	0	53	28	$74.33	53	1.89
16/08/2018	1	17	5	9	1	2	3	1	1	0	0	0	40	10	$14.78	11	1.05
14/09/2018	0	3	3	6	7	1	1	1	0	0	0	0	22	6	$16.00	11	1.9
16/10/2018	0	11	9	4	3	0	0	1	1	1	0	0	30	5	$12.18	9	1.74
15/11/2018	2	4	6	5	3	4	3	0	2	1	0	0	30	11	$20.24	14	1.31
14/12/2018	1	3	2	5	5	5	3	0	0	0	0	0	24	9	$17.32	12	1.37
15/01/2019	0	10	8	1	1	3	0	1	2	0	0	0	26	5	$8.20	6	1.17
TOTAL	**6**	**110**	**85**	**46**	**42**	**39**	**29**	**22**	**9**	**6**	**0**	**0**	**394**	**126**	**$271.61**	**194**	**1.53 hours**
APP	**7AM**	**8AM**	**9AM**	**10AM**	**11AM**	**12PM**	**1PM**	**2PM**	**3PM**	**4PM**	**5PM**	**6PM**	**TOTAL**				
15/01/2018	0	0	3	0	0	0	1	0	0	0	0	0	4	0	$0	0	0
15/02/2018	0	0	7	2	0	1	4	0	1	0	0	0	15	0	$0	0	0
15/03/2018	0	0	2	2	1	2	0	1	0	1	0	0	9	2	$4.30	3	1.53
16/04/2018	0	0	4	2	0	1	1	0	2	0	0	0	10	1	$2.57	2	1.83
16/05/2018	0	0	7	3	1	0	0	2	0	1	0	0	14	1	$2.68	2	1.91
15/06/2018	0	0	6	2	0	3	3	0	0	2	0	0	16	6	$12.30	9	1.46
16/07/2018	0	0	8	8	1	4	4	2	2	3	1	0	33	14	$29.97	21	1.52
16/08/2018	0	0	10	7	3	1	3	1	0	1	0	0	26	5	$10.05	7	1.43
14/09/2018	1	0	11	2	2	5	1	1	0	0	0	0	23	2	$2.87	2	1.02
16/10/2018	0	0	13	5	1	0	3	0	0	0	1	0	23	2	$5.06	4	1.8
15/11/2018	0	1	5	4	3	0	3	0	0	1	0	0	17	4	$7.07	5	1.26
14/12/2018	0	0	11	1	2	1	6	1	0	0	0	0	22	4	$4.69	3	0.83
15/01/2019	0	0	7	3	1	1	2	0	0	0	0	0	14	1	$2.80	2	2
TOTAL	**1**	**1**	**94**	**41**	**15**	**19**	**31**	**8**	**5**	**9**	**2**	**0**	**226**	**42**	**$84**	**60**	**1.43 hours**
TOTAL COIN, CARD & APP	**7**	**111**	**179**	**87**	**57**	**58**	**60**	**30**	**14**	**15**	**2**	**0**	**620**	**168**	**$355.61**	**254**	**1.51 hours**

CRAMMOND & DICKSON OSCP ALL DAY MID MONTH PARKING SESSIONS STARTED BY HOUR (NOT OCCUPANCY)

Coin & Card	7AM	8AM	9AM	10AM	11AM	12PM	1PM	2PM	3PM	4PM	5PM	6PM	TOTAL TRANSACTIONS	DOLLAR VALUE	Sessions
15/01/2018	0	0	6	10	16	19	15	13	11	1	0	0	91	$105.44	35
15/02/2018	3	21	16	4	2	3	2	0	1	0	0	0	52	$153.34	51
15/03/2018	1	20	8	0	3	3	2	0	1	0	0	0	38	$110.84	37
16/04/2018	3	16	10	6	0	1	3	1	1	0	0	0	41	$123.10	41
16/05/2018	2	15	12	4	2	2	1	0	0	0	0	0	38	$112.50	38
15/06/2018	5	11	11	5	4	2	3	1	1	0	0	0	43	$120.40	40
16/07/2018	2	14	10	2	1	1	1	0	0	0	0	0	31	$98.94	33
16/08/2018	1	25	13	1	2	5	0	2	2	1	0	0	52	$147.31	49
14/09/2018	1	13	12	1	2	5	2	0	0	1	0	0	37	$105.48	35
16/10/2018	1	14	11	4	3	3	1	1	0	0	0	0	38	$113.84	38
15/11/2018	4	15	10	0	3	4	2	0	0	0	0	0	38	$111.28	37
14/12/2018	4	14	16	4	3	3	2	0	0	0	0	0	46	$142.58	48
15/01/2019	5	11	16	5	5	2	4	0	0	0	0	0	48	$140.70	47
TOTAL	**32**	**189**	**151**	**46**	**46**	**53**	**38**	**18**	**17**	**3**	**0**	**0**	**593**	**$1,585.75**	**529**

APP	7AM	8AM	9AM	10AM	11AM	12PM	1PM	2PM	3PM	4PM	5PM	6PM	TOTAL		
15/01/2018	0	1	4	2	0	0	2	0	0	0	0	0	9	$24.91	8
15/02/2018	0	0	7	5	2	2	2	0	0	0	0	0	18	$54.00	18
15/03/2018	0	2	6	2	0	1	2	1	1	0	0	0	15	$45.00	15
16/04/2018	0	0	6	3	1	1	2	0	1	1	0	0	15	$35.17	12
16/05/2018	0	1	6	7	0	1	1	1	1	1	0	0	19	$51.44	17
15/06/2018	0	1	6	3	1	0	1	0	2	1	0	0	15	$43.28	14
16/07/2018	0	1	8	4	0	3	1	1	0	0	0	0	19	$50.47	17
16/08/2018	0	0	8	3	2	2	2	1	0	0	0	0	18	$47.25	16
14/09/2018	0	0	9	4	2	2	2	0	0	0	0	0	19	$52.73	18
16/10/2018	1	1	13	5	1	2	0	1	0	0	0	0	24	$71.17	24
15/11/2018	0	3	15	4	1	0	0	1	0	0	0	0	24	$69.00	23
14/12/2018	0	3	9	5	3	2	0	0	0	0	0	0	22	$64.56	22
15/01/2019	0	2	12	8	1	3	2	0	0	1	1	0	30	$82.26	27
TOTAL	**1**	**15**	**109**	**55**	**14**	**19**	**17**	**6**	**5**	**4**	**1**	**0**	**247**	**$691.24**	**230.4133333**
TOTAL COIN, CARD & APP	**33**	**204**	**260**	**101**	**60**	**72**	**55**	**24**	**22**	**7**	**1**	**0**	**840**	**$2,276.99**	**1626.33**

Cr. Cassidy returned to the meeting at 7.56pm.

5.10. COMMUNITY RESPONSES TO BANYAN STREET SURVEY

Cr. Neoh remained out of the meeting for this item.

PURPOSE:

The purpose of this report is to summarise the community engagement regarding the various streetscape improvement options effecting Banyan Street

EXECUTIVE SUMMARY

- In April 2018 Council received a petition from 19 residents which asked Council to consider median strip planting in Banyan Street between Timor Street and Merri Street.
- In response to the petition and in recognition of the significant connection that Banyan Street provides between the Princes Highway and foreshore area a series of proposals were identified and advertised for community comment.
- The consultation focussed on 4 key items being street tree selection for Banyan Street, roundabout beautification works, two fig tree removals and the use of a donated surf boat as part of an interpretative directional signage installation.
- The consultation process was advertised in the Standard through an article on 11 November 2018 and via the 'yoursay' website, and through a direct mail out to Banyan Street residents (Raglan Parade to Merri Street). The consultation period commenced on 8 November 2018 and concluded on 7 December 2018.
- In total more than 370 responses were received throughout the consultation process and this included submissions through the 'yoursay' web site, correspondence including a petition from 17 Banyan Street residents, and several emails.
- The responses have been summarised both as an entire data set and as a residential data set so that any differing views between residents and the broader community can be understood.

MOVED: CR. DAVID OWEN
SECONDED: CR. KYLIE GASTON

That this matter be deferred.

CARRIED - 6:0

BACKGROUND

At its April 2018 Ordinary Meeting of Council a petition was received which contained 19 signatures that sought to have the median strip in Banyan Street between Timor Street and Merri Street planted with street trees.

On 8 November Council commenced a community consultation process on a range of proposals aimed at enhancing the linkage that Banyan Street provides between the Princes Highway and the foreshore area.

ISSUES

The survey received 371 responses during the consultation period, however it was clear from the number of questions skipped that respondents often had specific interest in certain issues.

This is evidenced by the fact that 349 answers were received to the question relating to Banyan Street having one or more street tree themes, but only 113 answers to the question of the preferred street tree theme.

In total 10% or 37 respondents identified themselves as being Banyan Street residents.

In response to the question 'Should Banyan Street have one street tree theme or is it OK to have two or more themes' the responses slightly favoured the 'Two or more themes OK' at 53% compared with 47% selecting 'One theme preferred'.

For residents this percentage was 34% stating two or more as ok and 66% preferring a single theme.

Given the close nature of the responses there is no clear conclusion to this question other than to suggest that multiple themes could be acceptable.

In response to the question relating to the selection of a tree species several conclusions can be drawn depending on the interpretation of preferences.

As responses were ranked as preference 1-4 the score can be analysed in different ways, taking only first preferences Norfolk Island pines was the clear preference with 43% of first preferences compared to the next highest which was Banksia at 31% of first preference votes.

If you take into account the preference distribution then the Banksia could be considered as most popular as it received high second and third preferences scores.

For residents their first preference choice appeared to favour Brushbox or Banksia, with the Norfolk pine last, however as only 12 residents completed this question this result may be considered as indicative only.

This question was further expanded with respondents asked to detail their 'preferred themes for each block', with each of the four blocks between Raglan Parade and Merri Street available for comment.

Each of the blocks were similar, Banksia Intergrifolia scored the most votes (29-35%) followed closely by the Norfolk Island pine (25-29%), except for the Timor to Merri block where the score was equal for Norfolk Island Pine and the Banksia.

A proposal was also put forward in relation to the removal of two Morton Bay fig trees to keep them clear of powerlines. These removals were proposed on the basis that their canopy had been heavily pruned and to mitigate damage caused to surrounding infrastructure.

Responses to this question were 72% in favour of retaining the two trees and 28% in favour of removing them.

However, the result is reversed if you look at responses from just those people identifying themselves as Banyan Street residents (58% for removal vs 42% against removal).

The final question related to a proposal to utilise a donated lifesaving boat as an interpretative wayfinding sign.

This response was a comment field which allowed lengthy responses. 198 responses were received to this question, many indicated a need for more information and a very mixed response with similar numbers of positive and negative submissions.

Other correspondence was also received to the survey that was generally in alignment with the majority views represented above, however there was one response that desired only grass in the centre median on Banyan Street, and another that called for more native plantings within the median strip in place of the wide asphalt.

In addition to the survey and other correspondence a petition was also received from 17 Banyan Street residents who desired the removal of the Norfolk pines and replacement with a low growing species that is clean and requires little maintenance.

FINANCIAL IMPACT

All options considered for the Banyan Street landscape have financial impact on Council.

Council has some funding allocated for Banyan Street streetscape improvement works this financial year as part of existing capital and operational programs.

LEGISLATION/POLICY/COUNCIL PLAN CONTEXT

1 Sustain and enhance the natural environment
1.1 Protect and enhance our waterways, coast and land

3 Maintain and improve the physical fabric of the City
3.1 Build better connections for cyclists and pedestrians
3.2 Create a more vibrant City through activating high quality public places.
3.3 Build Infrastructure that best meets current and future community needs.

3.4 Enhance movement in and around the City.
3.5 Maintain and enhance existing Council Infrastructure.

4 Develop a modern economy with diverse and sustainable employment
4.3 Enhance the visitor experience.

5 Practice good governance through openness and accountability
5.5 Reporting to the Community.
5.6 Provision of opportunities for the community to actively participate in Councils decision-making through effective promotion, communication and engagement.

TIMING

Timing of project implementation will be determined once Council has considered the outcomes of the consultation process.

COMMUNITY IMPACT/CONSULTATION

The survey provided opportunity for the community to provide feedback on a range of improvement options and confirmed that there is a diverse range of views in relation to the best way forward for the Banyan Street streetscape. While the response to some issues were not materially different, the survey does provide Council with a basis on which to make its decisions.

LEGAL RISK/IMPACT

Discussions are underway with VicRoads in relation to the best way to manage the risks presented by the damaged infrastructure such as the footpath, under the Morton Bay figs.

OFFICERS' DECLARATION OF INTEREST

No interests to declare in relation to this report

CONCLUSION

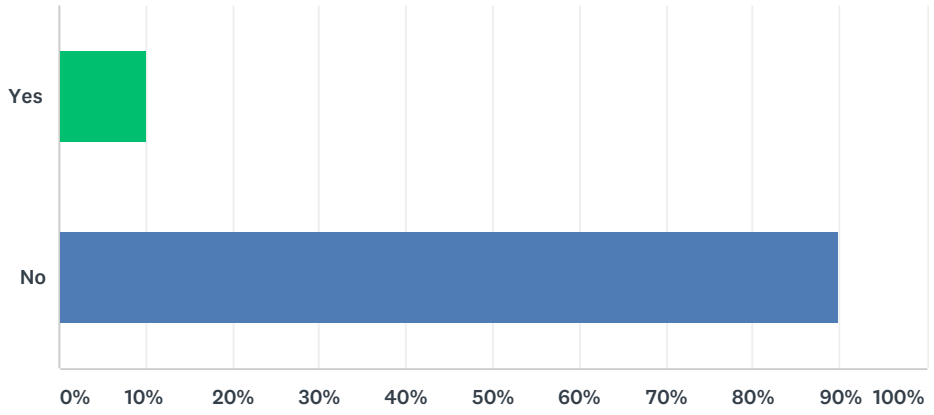
Council can now make an informed decision regarding Banyan Street streetscape works.

ATTACHMENTS

1. Banyan Survey - Summary **[5.10.1]**
2. Banyan Survey - Q 8 Responses **[5.10.2]**

Q1 Are you a Banyan Street resident

Answered: 371 Skipped: 0



ANSWER CHOICES	RESPONSES	
Yes	9.97%	37
No	90.03%	334
TOTAL		371

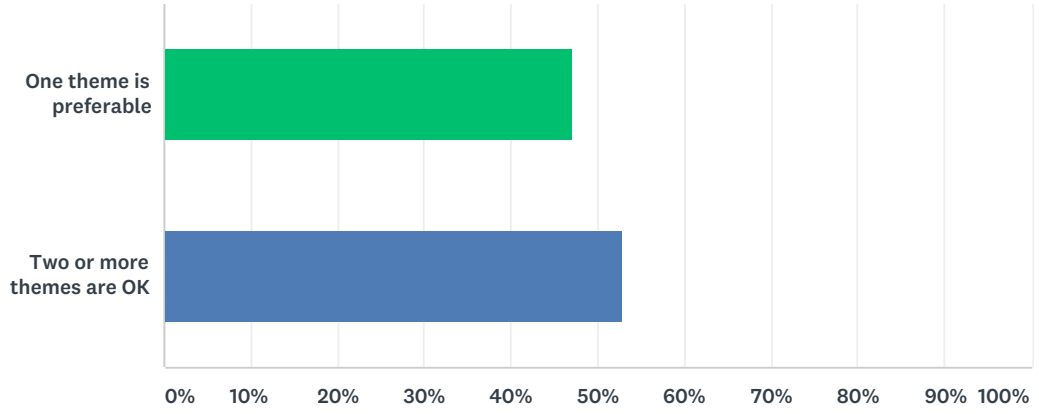
Q2 Please provide us with your contact details

Answered: 26 Skipped: 345

ANSWER CHOICES	RESPONSES	
Address	100.00%	26
Address 2	0.00%	0
City/Town	0.00%	0
Company	0.00%	0
Country	0.00%	0
Email Address	69.23%	18
Name	100.00%	26
Phone Number	84.62%	22
State/Province	0.00%	0
ZIP/Postal Code	0.00%	0

Q3 Should Banyan Street have one street tree theme or is it OK to have two or more themes?

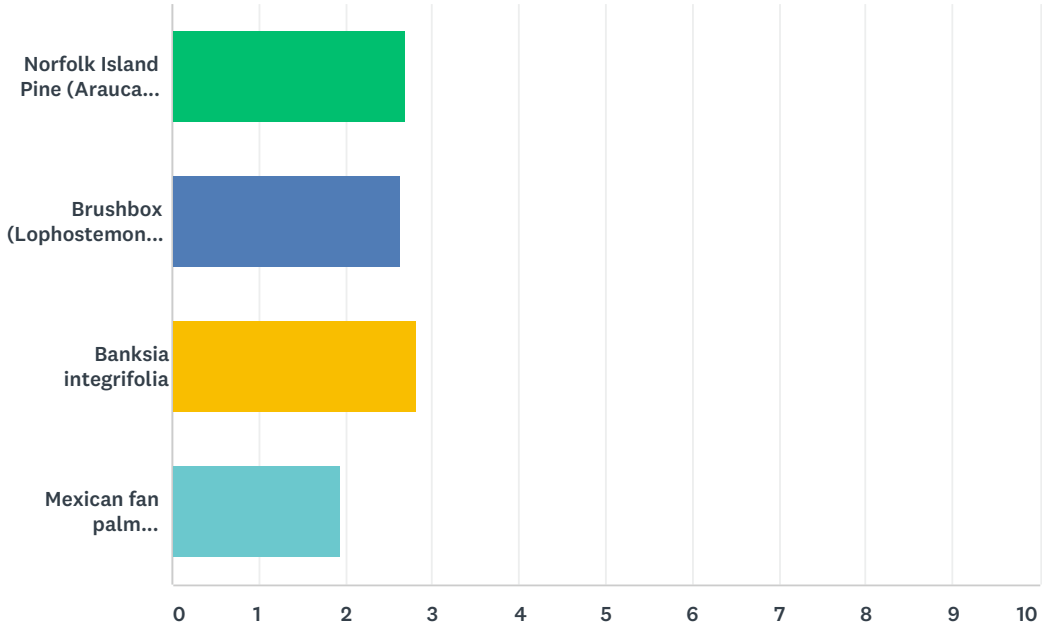
Answered: 349 Skipped: 22



ANSWER CHOICES	RESPONSES	
One theme is preferable	46.99%	164
Two or more themes are OK	53.01%	185
TOTAL		349

Q4 Rank your choice of street tree from most to least preferred with one being most preferred and four being least preferred.

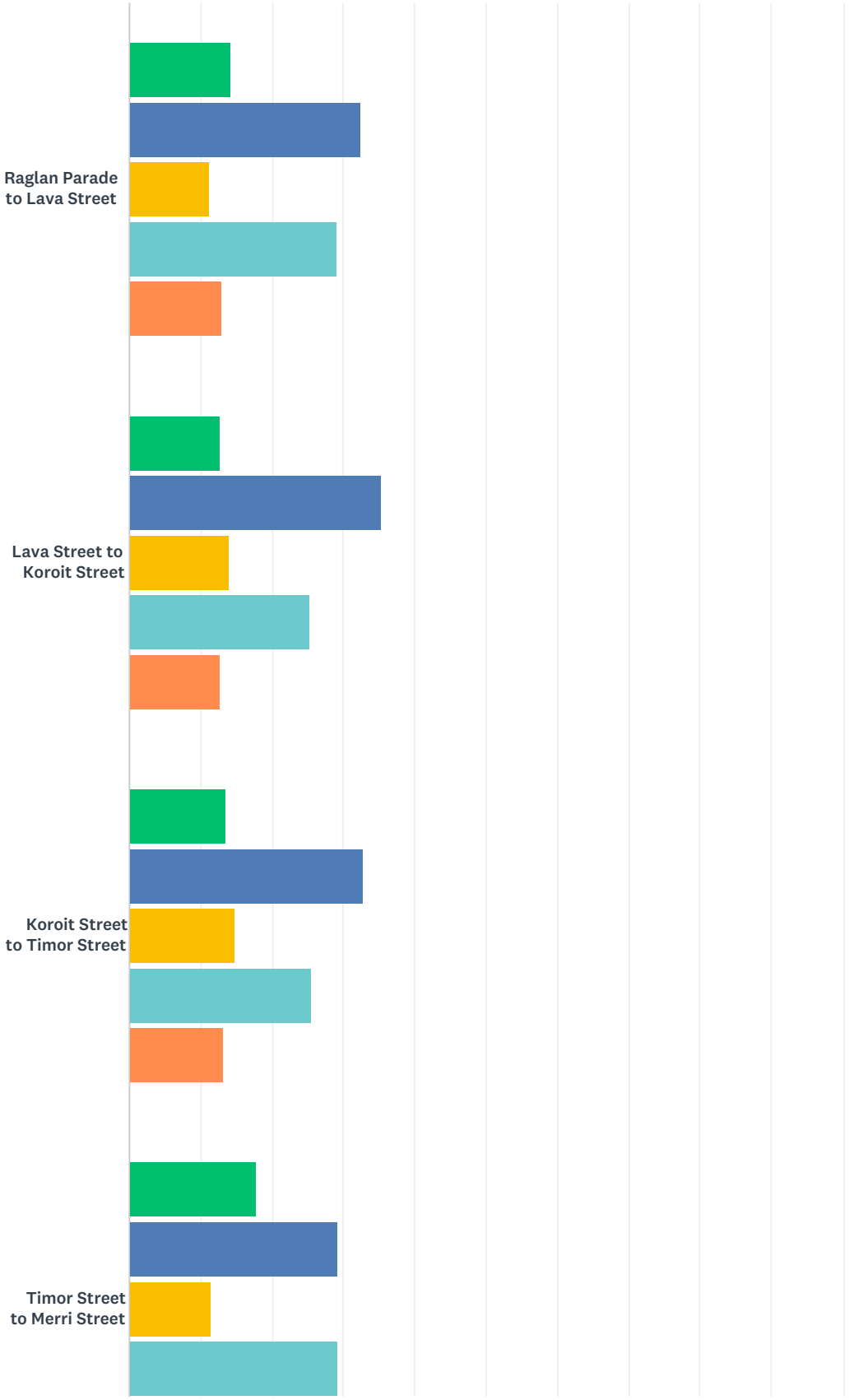
Answered: 113 Skipped: 258

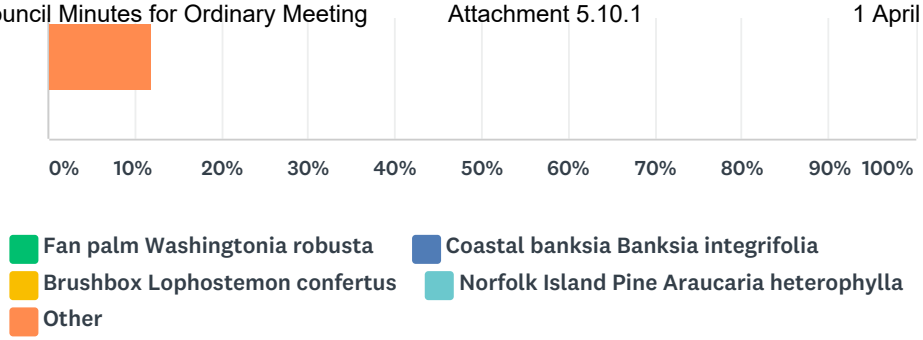


	1	2	3	4	TOTAL	SCORE
Norfolk Island Pine (Araucaria heterophylla)	43.52% 47	12.04% 13	15.74% 17	28.70% 31	108	2.70
Brushbox (Lophostemon confertus)	16.67% 18	41.67% 45	30.56% 33	11.11% 12	108	2.64
Banksia integrifolia	30.84% 33	29.91% 32	29.91% 32	9.35% 10	107	2.82
Mexican fan palm (Washingtonia robusta)	13.89% 15	14.81% 16	22.22% 24	49.07% 53	108	1.94

Q5 Can you tell us your preferred themes for each block?

Answered: 232 Skipped: 139

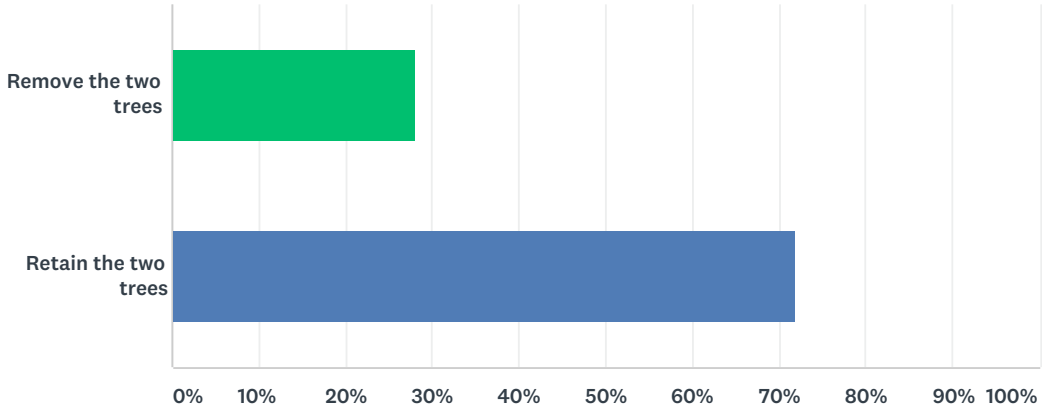




	FAN PALM WASHINGTONIA ROBUSTA	COASTAL BANKSIA BANKSIA INTEGRIFOLIA	BRUSHBOX LOPHOSTEMON CONFERTUS	NORFOLK ISLAND PINE ARAUCARIA HETEROPHYLLA	OTHER	TOTAL
Raglan Parade to Lava Street	14.29% 33	32.47% 75	11.26% 26	29.00% 67	12.99% 30	231
Lava Street to Koroit Street	12.66% 29	35.37% 81	13.97% 32	25.33% 58	12.66% 29	229
Koroit Street to Timor Street	13.60% 31	32.89% 75	14.91% 34	25.44% 58	13.16% 30	228
Timor Street to Merri Street	17.78% 40	29.33% 66	11.56% 26	29.33% 66	12.00% 27	225

Q6 Council is required by law to prune two Morton Bay fig trees to keep them clear of powerlines. If the trees are removed the adjacent trees will have more room for their canopy growth and Council will be able to mend a footpath. Should Council retain these trees or remove them?

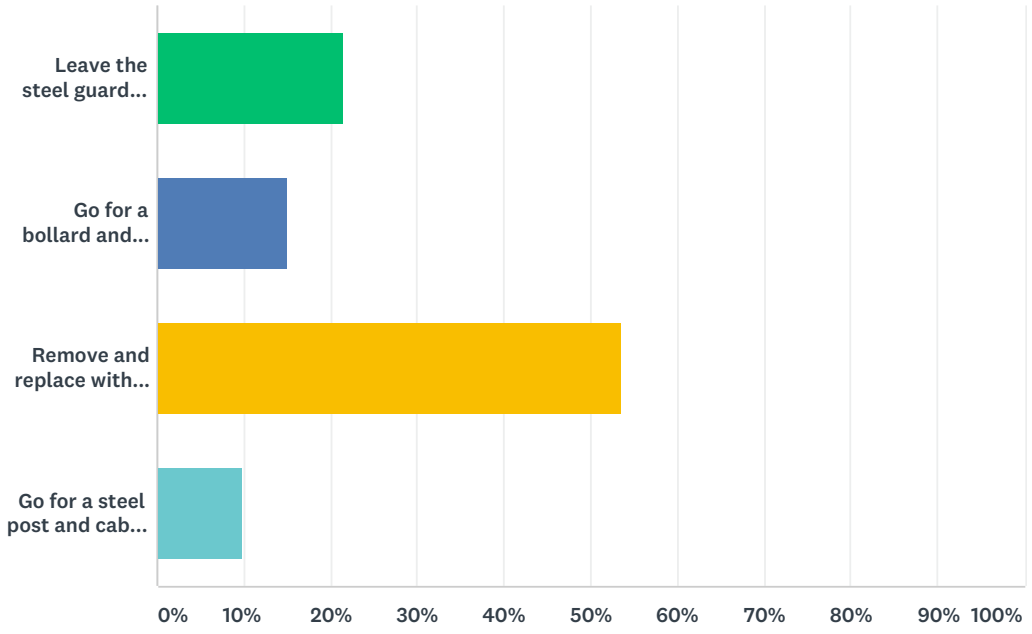
Answered: 250 Skipped: 121



ANSWER CHOICES	RESPONSES	
Remove the two trees	28.00%	70
Retain the two trees	72.00%	180
TOTAL		250

Q7 What is the best pedestrian treatment for Banyan Street intersections

Answered: 246 Skipped: 125



ANSWER CHOICES	RESPONSES	
Leave the steel guard rails that are already there	21.54%	53
Go for a bollard and rope or chain barrier	15.04%	37
Remove and replace with a low garden bed where possible	53.66%	132
Go for a steel post and cable barrier	9.76%	24
TOTAL		246

Q8 Please tell us what you think of using a surf lifesaving boat as a wayfinding device.

Answered: 198 Skipped: 173

Please tell us what you think of using a surf lifesaving boat as a wayfinding device.
Open-Ended Response
Not on highway. Lake Pertobe better option.
I think it is a stupid idea another thing for the vandals to wreck or burn. Just a sign will be enough. Our rates are being wasted so much on rubbish.
I think it is a great idea. A lot of people pass through Warrnambool without knowing we are situated on the ocean. The boat gives the beach/marine and sporting theme of Warrnambool and the SLSC has been and will be a very important part of Warrnambool.
Don't object to the idea.
The surf lifesaving boat sounds very positive and sends all the right messages about the beach, safety and location. Great idea!
Good idea
OK
If the trees have to be removed, yes a good idea.
Don't object to the idea
I think the boat as a wayfinding device is a great idea.
Set it up at Lake Pertobe, not on highway.
A waste of money and not required.
Not at Banyan and Raglan Parade Intersection, way too busy and a dangerous intersection, perhaps carpark area of Flagstaff Hill.
If done well I think it could look great
Potentially distracting, as the Moreton Bay Figs were apparently. A better rendering is required as the current picture looks quite garish.
Excellent idea.
Yes, it will be a point of difference and celebrate surf lifesaving and our coastal lifestyle.
As long as maintenance free
Ok
Ok,
not appropriate for highway site , better suited to Lake Pertobe
I have no opinion.
Boat would be better suited as a play space for the children at lake Pertobe.
I like the design
Not in favour improve signage of beach and camping grounds make sure trees aren’t planted under power lines as is the case now
?
Unnecessary. Last time I checked, people could still read simple signs...
Not good
It's not a bad idea. I approve.
I would prefer just a stainless steel sculpture which will require less maintenance. I would also prefer to see interesting indigenous inspired sculptures rather than cliched beach images.
ok as long as the directions are clear and legible
Not a bad idea - we need something to direct visitors to the beach
OK
it is a great idea
Rubbish
I am not in favour of this suggestion.
Great idea used interstate work well. Side note speed bumps required to slow the speeding traffic through the central roundabouts

Please tell us what you think of using a surf lifesaving boat as a wayfinding device.
Open-Ended Response
Recent maintenance standards for Raglan parade Medians has not been up to past standards. Will such an installation be maintained appropriately/adequately or will it be another piece of street furniture left to deteriorate and become an eyesore?
i think this would be a unique installation
Sounds ok as long as it is well done
Bit over the top everyone can tell which way is South...
I think it would be a nice aesthetic touch to the city.
Why not a horse because you have sold out our main beach to Darren Wier and Racing Vic ☹
Typical equipment which will be easy recognised as the way to the ocean
No.
Don't like. Just a plain sigh
The design should tie in with the proposed city entrance sign.
It's ok.....not great...but not bad either.
Yes, it's the road to the foreshore
Fine
I like the idea
No
Tacky
Innovative and eye catching
No
WTF?
Too big and consequently a distraction to drivers. It is a piece of junk and an eyesore prone to rapid
Great if done right. Needs to be vandal proof and look modern and fresh, not old and tired.
Why a surf libesaving boat? Surely we can come up with something unique. Why not a mini breakwater, or a middle island. Something that is ours and not common to every beach. If we are marketing our city correctly, tourists already know these things are here, and if they don't, we are failing with our marketing.
I think that is a very nice feature... People will notice it, it "spells" water and activity and with the right colour it will be really appropriate as a waypost.
Perfect
cliched
I love it.
Perhaps if profession tree trimmers were used they wouldn't look so bad - people need to look, motorists need to obey the road laws - ITS THAT SIMPLE These trees are 100's of years old, the town was built around them - find another way!
dont know but would like to comment on the Figs on Raglan pde, do not remove them move the footpath, put it between the first and second row of trees or raise it up like a wooden bridge, removing them is a never uneducated decision
?
I think it is a suitable option.
Good idea, too many people pass through town without realising we have a beach and surf!
There must be a better option
Lame.
Great nautical idea, very suited for Warrnambool
Nice idea.
GREAT IDEA
Good idea
This is a silly option. How about a sign that says "Beach Access" with an arrow. No need for fancy arse beach representation!

Please tell us what you think of using a surf lifesaving boat as a wayfinding device.
Open-Ended Response
excellent idea - appropriate way to direct tourists to the Information Centre.
Great idea
Looks good
I think it's a good idea
Not relevant to location
different; ok
I like the idea
Do not support as will require regular maintenance - otherwise will become an eyesore on major route
Good idea, as long as it is maintained and well-lit, and can be placed appropriately to be visible from both
A distraction to an already hazardous intersection, due to driver inattention
UNUSUAL
I think whatever is suggested for the safety of the community is what we should do.
Sounds good as long as no trees will be removed to make room for it
N/A
?
Depends on the size and the model used. Wbools surf lifesaving is proud of its history and tradition, and due respect must be paramount. If it turns out like that pie-eating monstrosity on Liebig/Koroit I'll be extremely
Maybe
Silly, just put more signage along highway
Say what
Pffft, ...really, people are too stupid to make the connection. Leave the bloody trees there where they were originally planted.
Great
Better off putting it down at the breakwater. It will be too distracting for drivers.
I think it could be a good idea, but it needs to be on the opposite side to the Moreton bay fig trees.
Sounds good
Placing it on one of the roundabouts
How much is the maintenance of this? Surely some more signage would last longer and require less
Tacky
No put in wayfinding like every other town
Fine. As long as it actually says BEACH! Visitors don't know lake pertobe or flagstaff.
Great idea.
Good idea
Brilliant
Sounds stupid
Stupid
I feel it a bitout of taste.
Yes
Bloody ridiculous
Stupid
Sounds like an interesting, and appropriate idea, but would need some protection against vandalism.
No. It's an obscure connection not immediately obvious to visitors to our city.
Ok
I like it
Sounds like a tacky idea and there has got to be a more modern way to show the way
Nice signage serves just as well
Yes Appropriate for our seaside community.
Not good if it involves the removal of trees.

Please tell us what you think of using a surf lifesaving boat as a wayfinding device.
Open-Ended Response
Fine. Make sure the signage is good though. Also you need a proper survey, eg https://www.surveygizmo.com/s3/1607076/Street-Trees-Feedback-Form
awesome idea, please get it done
Ok
Could be ok if displayed properly and safely.
No way
It's extremely boring
Try a sign??
Proper signage would do the job.
Don't care either way
That will just cause as much problem as Troy think the trees do. People will he distracted by the boat when
looks great and topical for area and Australian
Not sure, not enough information
Nice idea but needs to be placed where it does not detract from clear view for motorists. There needs to be more signage that is large enough to stand out.
nope
Ridiculous. Costly to upkeep.. Signage would be better
Like it
Would be OK - Re the Moreton bay figs - long term plan should be to put powerlines underground.
This is a good idea. However, Banyan Street will continue to be both thoroughfare as well as residential street. A stricter speed limit, and pedestrian crossings at the intersections may assist people wishing to cross this busy road. I have witnessed many near accidents near the Timor Street intersection because of
The sign doesn't really say 'Foreshore this way' or 'Beach'. Lake Pertobe is not widely known outside of the local context. The maritime village is unlikely to exist into the future and what about other establishments? It just looks like a free kick.
It's a great idea & is easily recognised by both Australian & International tourists.
Nil opinion on this,
It's a good idea
Yes I think it may work
Definetly
I think it would look taky. How about using a concrete bollard like the one on Liebig street, keep signage the same throughout the cbd. It would compliment the new Leibig street and look neat & tidy. I think it's important to keep the two trees also, they are iconic to Warrnambool and over 100 years old. Do many pedestrians use that crossing? Otherwise work around them. Thanks.
Great idea
Would be useful
Looks good
Not at all necessary
Looks great
It's nice it may help
I don't think it assists with wayfinding, just as a statement of warrnambool as a breach town. The signage should state 'beach'.
not a good idea.....a sign is good enough
Good idea but would be a bit of a distraction on the highway
Neither here nor there. Keep the trees.
o.k. any other designs to compare?
This has nothing to do with the fig trees - save the trees?!!
Whatever the experts in this field believe is the best.

Please tell us what you think of using a surf lifesaving boat as a wayfinding device.
Open-Ended Response
Good idea
A wooden boat will decay in the weather and need to be maintained and eventually replaced. A steel replica would be more appropriate in my view.
Probably not necessary
Target for vandalism
No
I don’t know enough to comment
If the cost is negligible, then why not.
Its a good idea, but again leave it to a professional landscap/urban designer who knows and understands what they are doing
Prefer to keep the trees
Ridiculous. This should be placed somewhere down on the foreshore.
Good idea.
nup
That would be great
Can't picture this. No idea what this would look like
interesting
Evellent idea
???
Why not. Sounds alright.
Don’t destroy any more of my city
Great idea.
Good idea.
Stupid! Unattractive.
not sure what you mean
Ugly!
Good idea as long as it's not tacky looking.
Will look ridiculous.
Not bad
Its good, however needs to incorporate local colours, and include lighting via uplighting from lights in the
A way finding sculpture is a good idea however more creative ideas could be explored. The boat idea sounds financially achievable however a more inspiring presence would be nice.
All wayfinding is encouraged where there is currently none. Looks great.
silly
Love it
Brilliant idea!
Interesting. If done well it should look good. If it's to help with wayfinding it might be seen to late for people to get into the left lane approaching from the east. I would prefer not to have it as it may block visibility at the intersection and that was raised as a concern by council.
Excellent
nope, its not art it way finding, this is less clear than what's already there, seriously!
great idea
Fabulous and a great visual clue/ connection to the coast theme

Cr. Neoh returned to the meeting at 8.07pm.

5.11. ADVISORY COMMITTEE REPORTS

PURPOSE

This report contains the record of one Advisory Committee meetings

REPORT

1. Economic Development Advisory Committee – 5 March 2019 – refer **Attachment 1.**

ATTACHMENTS

1. March 5 th - EDAC Minutes **[5.11.1]**

MOVED: CR. KYLIE GASTON
SECONDED: CR. DAVID OWEN

That the record of the Economic Development Advisory Committee meeting held on 5 March 2019, be received.

CARRIED - 7:0

WARRNAMBOOL CITY COUNCIL

Meeting Minutes

Economic Development Advisory Committee- Minutes

Date	Tuesday March 5th, 2019	Time	12pm – 1.30pm	Location	Committee Room 1 – Civic Centre
Committee Members	Martin Ellul , Dr Helen Scarborough , James Tait, Doreen Power, Dean Luciani, Rob Lane, Cr. Tony Herbert (Chair), Alistair McCosh, Michael Phillips (attending on behalf of Lionel Sexton)				
Council Officer Invitees	Andrew Paton, Shaun Miller and Eddie Ivermee				

No	What	Who
1.	**Apologies:** Andrew Paton, Dr. Helen Scarborough	Chair
2.	**Peak Bodies Discussion** Chair declares meeting open at 12.10pm Rob Lane moves a motion to declare minutes from last meeting were true and correct. Dean Luciani seconds the motion. Committee speaks about challenges within Warrnambool without an active peak body. In light of this issue Sean Salmon from Bastion group will be visiting the region to discuss how Warrnambool can better position itself in this space with the EDAC group to play a key role in this space moving forward. Other points raised about this issue by the committee were – *Success Ballarat has had in this space, featuring large business bodies and how effective that can be petitioning state and federal government.	Shaun Miller

	*Clarifying EDAC's role in the future of Council recommendations and how we as a committee move forward with petitioning Council and aligning goals of the various strategies that are currently active. *Ensuring that we bring together other groups that are already active in the Warrnambool region and ensure they are being collaborated with. *Mapping of various Council strategies and documents and ensuring that they have a clear correlation moving forward.	
3.	**Visit Mark Holsworth (Chair of EDA)** Committee was notified that chair of Economic Development Australia Mark Holsworth will be visiting Warrnambool and meeting with the group on a TBC date as part of the next committee meeting. Mark will deliver a presentation to the group and discuss broad Economic Development issues and relative information with the time proposed to allow Warrnambool to consider broader Economic outcomes and deliveries.	Shaun Miller
4.	**Warrnambool – Renewable Energy Project** The Committee was made aware of Council's proposed Renewable Energies project that will focus on both solar power and hydrogen supplies. At present in the proposal stages, the exciting project has been developed in light of a hydrogen and solar project in Mariestad Sweden that has a similar population to Warrnambool. The proposed project falls in line heavily with Council's Green Futures commitment and the Warrnambool 2040 project that is looking to turn Warrnambool into a far more proficient and energy conservative regional city. The committee agreed that that project in worthwhile and falls in line with other Council objectives. Other feedback around this topic was:	Shaun Miller

	*Feedback from State Government has so far been very positive, with the alliance with a European city and relationship building considered a great first step. *ANZ bank has recently conducted energy research projects with potential data and findings to be shared with the project team. *The committee stated that public consultation will be extremely valuable in this process to ensure Warrnambool citizens support the project and land use that would be required to house the hard infrastructure associated with it.	
5.	**City for Living Population Attraction Project** A new population attraction campaign was shared with the committee. Targeting those aged 55+, the campaign looks to better understand why new citizens chose Warrnambool as a place to live with data to inform a more commercial campaign to attract new citizens to Warrnambool. Committees thoughts around this project included: *Ensuring there is hardcopy information available and produced as well as social media and online focuses. *Discussion with Real Estate agents could be of benefit to uncover the large portion of those moving to the region from Melbourne, Ballarat and Geelong. *Inclusion of a new residents group that supports incoming citizens, proposed initially as part of a Pick My Project submission. *Deakin have produced a recently developed International Students guidebook, that may include information that would be beneficial to new Warrnambool citizens.	Eddie Ivermee
6.	**General Business** General items of business tabled by the committee included – *Potential for group to meet more regularly, moving forward from every 3 months to every 2 months. *Suggestions that Quantas are looking for a second pilot training facility following on from a 2018 submission process, there are hopes that Warrnambool can apply as a venue for this as per previous attempts.	All

	*Economics Futures Project work being conducted in partnership with Deakin University. *Council is in the process of developing a CBD document titled Amplify Warrnambool that will eventually be tabled to Council for consideration. The document aims to support the CBD traders moving forward to conduct out of the ordinary events that would previously encounter red tape issues. *Lyndoch Living are continuing to work with Asialink Business following a 2016 delegation to Changchun. The partnership is developing rapidly with hopes Lyndoch CEO will be able to visit the China region in May this year to move forward with numerous project initiatives. *Discussions took place around the Great South Coast Group and where they currently stand as a conglomerate. After the re-joining of Glenelg and Southern Grampians the group is progressing on a number of projects and is still highly active in the region. **Chair declares meeting closed at 1.35pm** - Next meeting: TBC	

5.12. ASSEMBLY OF COUNCILLORS REPORTS

PURPOSE

The purpose of this report is to provide the record of any assembly of Councillors, which has been held since the last Council Meeting, so that it can be recorded in the Minutes of the formal Council Meeting.

BACKGROUND INFORMATION

The Local Government Act provides a definition of an assembly of Councillors where conflicts of interest must be disclosed.

A meeting will be an assembly of Councillors if it considers matters that are likely to be the subject of a Council decision, or, the exercise of a Council delegation and the meeting is:

1. A planned or scheduled meeting that includes at least half the Councillors (5) and a member of Council staff; or
2. An advisory committee of the Council where one or more Councillors are present.

The requirement for reporting provides increased transparency, particularly the declarations of conflict of interest.

REPORT

Section 80A(2) of the Local Government Act 1989 requires the record of an Assembly of Councillors be reported to the next practicable Ordinary Meeting of Council.

The record of the following Assembly of Councillors is enclosed:-

- Monday 4 March 2019 – refer **Attachment 1**.
- Monday 18 March 2019 – refer **Attachment 2**.
- Friday 22 March 2019 – refer **Attachment 3**.
- Monday 25 March 2019 – refer **Attachment 4.**

ATTACHMENTS

1. Briefing 4 March 2019 **[5.11.1]**
2. Briefing 18 March 2019 **[5.11.2]**
3. Briefing 25 March 2019 **[5.11.3]**
4. Briefing 22 March 2019 **[5.11.4]**

MOVED: CR. ROBERT ANDERSON
SECONDED: CR. SUE CASSIDY

That the record of the Assembly of Councillors held on 4, 18, 22 and 25 March 2019 be received with an amendment to be made to the Assembly of Councillors Record of 4 March 2019 to reflect Cr Hulin's apology.

CARRIED - 7:0

Assembly of Councillors Record

Written record in accordance with Section 80A(l) Local Government Act 1989

IMPORTANT — see notes overleaf

Name of Committee or Group (if applicable):	Councillor Briefing	
Date of Meeting:	4 March 2019	
Time Meeting Commenced:	4.00pm	
Councillors in Attendance:	Cr. T. Herbert - Chairperson Cr. R. Anderson Cr S Cassidy Cr. K. Gaston Cr P. Hulin Cr. M Neoh Cr. D. Owen	
Council Officers in Attendance:	Peter Schneider, Chief Executive Officer Peter Utri, Director Corporate Strategies	
Other persons present:		
Matters Considered:	Rate Cap Variation Community Consultation	
Councillor Conflicts of interest Disclosures: Nil.		
Councillor's Name	**Type of Interest**	**Councillor Left Assembly while matter being discussed (Yes/No)**
Meeting close time:	5.35pm	
Record Completed by:	Peter Utri	**Date:28/03/2019**

Assembly of Councillors Record

Written record in accordance with Section 80A(I) Local Government Act 1989

Name of Committee or Group (if applicable):	Councillor Briefing
Date of Meeting:	18 March 2019
Time Meeting Commenced:	4.00pm
Councillors in Attendance:	Cr. T. Herbert - Chairperson Cr. R. Anderson Cr S Cassidy Cr. K. Gaston Cr P. Hulin Acting Chair 6:00pm to 6:10pm Cr. M Neoh
Council Officers in Attendance:	Peter Schneider, Chief Executive Officer Peter Utri, Director Corporate Strategies Scott Cavanagh, Director City Infrastructure Andrew Paton, Director City Growth Vikki King, Director Community Development
Other persons present:	Jodie McNamara Manager City Strategy and Development
Matters Considered:	▪ Shared Services Proposal ▪ Community Responses to Banyan Street Survey ▪ Eastern Activity Structure Plan - Amendment Authorisation Request - ▪ Municipal Road Management Plan: Biannual Compliance Report ▪ Lookout Planning Application ▪ Event Partnership - May Race Carnival 2019 ▪ Inbound Delegation from Mariestad, Sweden

Councillor Conflicts of interest Disclosures:

Write "nil" if no conflicts of *interest declared. If conflict of interest is declared record name of person and briefly describe the conflict of interest (Local Govt. Act requires that a person with a conflict of interest must leave the room for that item.)*

Councillor's Name	**Type of Interest**	**Councillor Left Assembly while matter being discussed (Yes/No)**
Cr Tony Herbert	Business interests	Yes
Cr Michael Neoh	Adjoining property	Yes
Cr Sue Cassidy	Membership	Yes
Meeting close time:	7.15pm	
Record Completed by:	Peter Utri	**Date:28/03/2019**

Assembly of Councillors Record

Written record in accordance with Section 80A(I) Local Government Act 1989

Name of Committee or Group (if applicable):	Councillor Briefing
Date of Meeting:	25 March 2019
Time Meeting Commenced:	12:30pm
Councillors in Attendance:	Cr. T. Herbert - Chairperson Cr. R. Anderson Cr S Cassidy Cr. K. Gaston Acting chair 1:25pm -1:37pm & 3:10pm to 3:28pm Cr P. Hulin Acting chair 3:40pm – 3:45pm Cr. M Neoh Cr D. Owen
Council Officers in Attendance:	Peter Schneider, Chief Executive Officer Peter Utri, Director Corporate Strategies Scott Cavanagh, Director City Infrastructure Andrew Paton, Director City Growth Vikki King, Director Community Development David Harrington Manager Finance Jodie McNamara Manager City Strategy and Planning Luke Coughlan Manager Infrastructure John Finnerty Coordinator Strategic Asset Management Shaun Miller Manager Economic Development Helen Sheedy Coordinator Economic development and Business Support
Other persons present:	N/A
Matters Considered:	• Warrnambool Planning Scheme Review 2018 • Planning Application - 43 Atkinsons Lane, Dennington - Lookout Drug and Rehabilitation Centre • Hopkins Heights Development Plan • City Renewal Business Support Plan Evaluation Report • Lake Pertobe Master Plan Adoption • City Centre Car Parking Update • Recycling Options (confidential) • Play Space Strategy Discussion • Verbal Report - Proposed Sale of 7-9 Swan Street, Warnambool • Items for Information • Monthly Financial Report - February 2019 • Shared Services - South West Victoria ICT Alliance • 2019/2020 Budget Discussions

Councillor Conflicts of interest Disclosures:		
Councillor's Name	**Type of Interest**	**Councillor Left Assembly while matter being discussed (Yes/No)**
Cr Sue Cassidy	Property ownership	Yes
Cr Tony Herbert	Business interests	Yes
Cr Michael Neoh	Property ownership	Yes
Meeting close time:	5:35pm	
Record Completed by:	Peter Utri	**Date:28/03/2019**

Assembly of Councillors Record

Written record in accordance with Section 80A(I) Local Government Act 1989

Name of Committee or Group (if applicable):	Councillor Briefing
Date of Meeting:	22 March 2019
Time Meeting Commenced:	5.00pm
Councillors in Attendance:	Cr. T. Herbert - Chairperson Cr. R. Anderson Cr S Cassidy Cr. K. Gaston Cr P. Hulin Cr. M Neoh Cr D. Owen
Council Officers in Attendance:	Peter Schneider, Chief Executive Officer Peter Utri, Director Corporate Strategies Scott Cavanagh, Director City Infrastructure Andrew Paton, Director City Growth Vikki King, Director Community Development David Harrington Manager Finance
Other persons present:	
Matters Considered:	▪ Rate Capping application and Budget considerations

Councillor Conflicts of interest Disclosures:

Write "nil" if no conflicts of *interest declared. If conflict of interest is declared record name of person and briefly describe the conflict of interest (Local Govt. Act requires that a person with a conflict of interest must leave the room for that item.)*

Councillor's Name	**Type of Interest**	**Councillor Left Assembly while matter being discussed (Yes/No)**
Meeting close time:	7:10pm	
Record Completed by:	Peter Utri	**Date:28/03/2019**

5.13. MAYORAL & CHIEF EXECUTIVE OFFICER COUNCIL ACTIVITIES - SUMMARY REPORT

PURPOSE

This report summarises Mayoral and Chief Executive Officer Council activities since the last Ordinary Meeting which particularly relate to key social, economic and environmental issues of direct relevance to the Warrnambool community.

REPORT

Date	Location	Function
28 February 2019	Warrnambool	Mayor – Attended the Deakin University Graduation Ceremony and gave a congratulatory address to graduands of the Faculty of Arts & Education, Business & Law, Health, Science, Engineering & Built Environment.
2 March 2019	Warrnambool	Mayor – Presented awards to the winners of the Skiffs Racing at the South West Regatta.
3 March 2019	Warrnambool	Mayor - Presented awards to the winners of the Whaleboat Racing at the South West Regatta.
6 March 2019	Warrnambool	Mayor & Mayoress – Attended the Emmanuel College Opening Mass 2019 and a celebration of Ash Wednesday.
8 March 2019	Warrnambool	Mayor – Attended the Crime Stoppers Victoria "Dob In a Dealer" Campaign launch.
10 March 2019	Warrnambool	Mayor - Attended the 2019 Victorian Lifesaving Championships VIP Breakfast.
11 March 2019	Warrnambool	Mayor – Attended the 2019 Warrnambool Lawn Tennis Ladies Final and Mens Finals.
	Warrnambool	Mayor - Attended AFL Bulldogs Community Camp and officially welcomed the Bulldogs to Warrnambool.
	Allansford	Mayor – Attended the AFL Bulldogs Community Camp Dinner held at Allansford Recreation Reserve.
14 March 2019	Warrnambool	Mayor – Hosted a morning tea for 16 students from Shibuya, Tokyo Japan who were being hosted by Kings College.
	Hamilton	Chief Executive Officer – Attended a meeting of the Great South Coast Regional Partnership.
	Warrnambool	Mayor & Chief Executive Officer Officer– Attended the South West TAFE 2018 Graduation and Awards Ceremony.
15 March 2019	Warrnambool	Mayor & Chief Executive Officer – Attended the South West Branch of the Embroiderers' Guild exhibition opening.
	Warrnambool	Mayor & Mayoress – Attended the Emmanuel College Year 11 Presentation Ball.
18 March 2019	Warrnambool	Mayor & Chief Executive Officer – Met with Member for Wannon Dan Tehan and Deputy Prime Minister Michael McCormack along with Great South Coast municipal representatives regarding Princes Highway West.

	Warrnambool	Mayor & Chief Executive Officer – Attended the Building Better Regions Funding Announcement of $1.45 million for the Lake Pertobe Project by Member for Wannon, Dan Tehan and Deputy Prime Minister Michael McCormack.
20 March 2019	Warrnambool	Mayor & Chief Executive Officer – Attended the China Host Program closing ceremony.
21 March 2019	Melbourne	Mayor – Attended the Regional Cities Victoria Mayors Networking meeting.
	Melbourne	Chief Executive Officer – Attended the Regional Cities Victoria CEO's meeting.
	Warrnambool	Mayor – Officially opened the new Neighbourhood House in West Warrnambool.
	Warrnambool	Mayor – Attended the MacKillop Family Services Networking Event.
24 March 2019	Warrnambool	Mayor – Officially welcomed home the Let's Talk Foundation bike riders following their 3,280km bike ride from Perth to Warrnambool to raise funds for the Let's Talk Foundation.

MOVED: CR. SUE CASSIDY
SECONDED: CR. DAVID OWEN

That Mayoral & Chief Executive Officer Council Activities – Summary Report be received.

CARRIED - 7:0

7. PUBLIC QUESTION TIME

7.1 QUESTION FROM BEN BLAIN, 21 TAITS ROAD, WARRNAMBOOL

"Cr. Hulin stated on March 25th at a special council meeting that content of the draft budget papers was cut and pasted from 2017/2018, despite this 5 councillors voted in favour to send an application off to the Esssential Services Commission seeking to break the rate cap.

How could the councillors make an informed vote without the correct information? Is there a legal requirement on behalf of the Warrnambool City Council to have current up to date data so they can make an informed decision."

The Chief Executive Officer responded that the information is historical information so it wasn't updated to account for anything that had taken place since the last meeting, it was really to show the Councillors what sorts of services that we offer and are involved in each Directorate and each business unit but having said that I have agreed that that information will be updated for future meetings.

7.2 QUESTION FROM WES ALLEN, FRANK STREET, ALLANSFORD

"Would WCC consider alteration to speed zones along Ziegler Parade to prevent/reduce speeding traffic to reduce the risk of possible student injury."

The Director City Infrastructure responded that currently assessments were underway for Ziegler Parade and Council is having discussions with VicRoads what might be the appropriate speed zone for the road. Vicroads have responsibility for approving any speed zone amendment so we have to apply to them and we have to work in consultation with Vicroads. The request is actually underway at the moment.

7.3 QUESTION FROM DAVID THOMPSON, 831 KOROIT-WOOLSTHORPE ROAD, WOOLSTHORPE

"As a farmer who has been selling cattle through the Warrnambool Saleyards for over thirty years and as of late been paying $2.00 per head levy on cattle sold through these yards for the specific purpose of roofing the Warrnambool Saleyards, I would like to know why the Warrnambool saleyards have still not been roofed despite there being I believe in excess of $500,000 in this fund. I would also like to know where this money is. Do you not agree that the Warrnambool saleyards needs this roof to retain their position as the number one saleyards in the Western District and I might add generates at substantial profit for the Warrnambool City Council. I also request my answer in writing as well as verbally."

The Chief Executive Officer advised that the matter in relation to the Saleyards will be considered by Council as part of its budget deliberations and we will take the questions on notice and will provide a more fuller explanation to Mr Thompson.

7.4 QUESTION FROM WILLY BENTER, 46-48 ZIEGLER PARADE, ALLANSFORD

"Questions regarding the Library - Currently the library costs ratepayers $870,000 dollars per year to run, in the report at the special meeting held on 25 March it is stated that the library will require an extra $500,000 dollars per year to run when upgraded, this will make the total running cost of the library to be $1.367 million per year to run, is this correct? Also being a joint venture with TAFE, how much is TAFE contributing to the running costs?"

The Director Community Development responded that more detailed report could be provided but what we have is a joint library that has been developed, so the municipal library combines with TAFE's current library, so there is resourcing coming in from TAFE and then there is ours and it is also a bigger library so what we would be doing is going to the ESC for the uplift in terms of budget and that's been factored into the forward financial plan so I can't remember if it is an exact number because I don't have it in front of me but it would be pretty close.

7.5 QUESTION FROM CHRISTINE THOMPSON, 831 KOROIT-WOOLSTHORPE ROAD, WOOLSTHORPE

In Item 4.2 of last months special meeting held by WCC on 25 March 2019 under the heading Background a paragraph was included stating "There are always very vocal minorities in the community that would strip away the amenity and services that have been built up over a long time". I would like to ask Council why this was put in the background explanation and to whom it was referring, I would have thought the only authority which could strip away amenities and services would be the WCC itself. I found this paragraph to be derogatory to the ratepayers of this community and reuest that it be retracted or removed. I would also like my answer in writing and verbally.

The Chief Executive Officer took the question on notice and undertook to provide an appropriate response.

7.6 QUESTION FROM ANGIE PASPALIARIS, 62 KEPLER STREET, WARRNAMBOOL

"Last week, a pamphlet arrived both at my home and workplace offering the "Council-backed" solar bulk buy campaign. It spruiked the services of "Positive Charge" – an organization at the helm of the council's solar bulk buy program. The flyer was signed by Mayor Herbert.

A lady at my workplace emailed Positive Charge about a quote for solar, after which she was contacted by an "energy efficiency consultant" from EKO Energy Company (Mulgrave, Melbourne) which forms art of ECHO Group – a larger Melbourne corporation (also based in Mulgrave, Melbourne).

The EKO consultant corresponded with her over email where she was asked to upload a copy of her energy bill and then book a phone consultation with EKO Energy. Before doing so, she called the consultant directly to ask if any component of her solar would be dealt with locally – she was told "all quoting could be done either over the phone of via email, and only the installer would be local". She declined going ahead with the solar quote.

Non-local retailers such as EKO Energy sell the solar systems (often without personally inspecting roof spaces, or any face-to-face consultations with customers), then contract a local electrician (at as low a rate as they can squeeze them) to install the system. Essentially, this council-backed program is simply a Melbourne retailer acting as the middle man, taking the large majority of profits. This is the issue many customers (and electricians) have already had with solar salespeople that have come door-knocking in recent times.

My first question to council is: Who was responsible in signing up to such a campaign/program which is based in Melbourne as opposed to a local electrical business who can do everything from start to finish – inspections, quotes, installation, rebates and solar maintenance?

A previous bulk-buy program run by Council in 2011 engaged the services of Western District Electrical in Bushfield. Why was a local, competent business or group of local businesses who can work together not considered this time?

Was there no Council consultations with local electricians to formulate a LOCAL "solar bulk buy campaign"? These local electricians do copious amounts of solar consultations and installations, and equally their "backing by Council" in a local a campaign would ensure ALL funds remained within the local community?

In addition to my question I am calling for Council to retract their participation in this partnership scheme with Positive Charge, and instead, encourage the use of local electrical companies who specialise in solar (ie. Leahy's Solar, Western District Electrical, etc).

Council is constantly encouraging the community to "SHOP LOCAL", and yet where it is so obvious and simple to do so- such as in this case – Council are again not leading by example.

I would like an answer to my questions both verbally and in writing, thank you.

The Director City Growth undertook to provide a written response detailing the arrangement with Positive Charge which are an independent not for profit who give independent energy advice. There are components there around the supply of panels versus the installation components. We don't have a local operator who constructs the panels themselves, but we do have local who install that's why they have been involved in this process through the Expression of Interest process.

8. CLOSE OF MEETING

The meeting closed at 8.24 pm.

CHAIRMAN

I certify that these minutes were confirmed at a subsequent meeting of Council

……
CR. TONY HERBERT
MAYOR