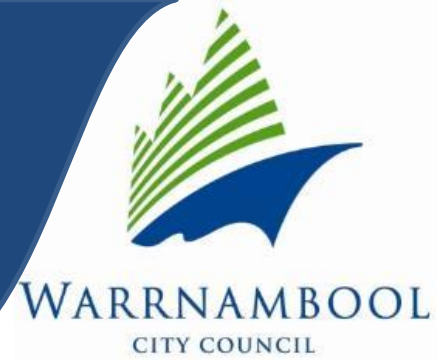


# MINUTES

**ORDINARY MEETING  
WARRNAMBOOL CITY COUNCIL  
5.45PM - MONDAY 6 MARCH 2017**



---

**VENUE:**

**Reception Room  
25 Liebig Street  
Warrnambool**

---

**COUNCILLORS**

Cr. Kylie Gaston (Mayor)  
Cr. Robert Anderson  
Cr. Sue Cassidy  
Cr. Tony Herbert  
Cr. Peter Hulin  
Cr. Michael Neoh  
Cr. David Owen

Copies of the Warrnambool City Council's Agendas & Minutes  
can be obtained online at [www.warrnambool.vic.gov.au](http://www.warrnambool.vic.gov.au)

**Bruce Anson  
CHIEF EXECUTIVE**

## **AUDIO RECORDING OF COUNCIL MEETINGS**

All Open and Special Council Meetings will be audio recorded, with the exception of matters identified as confidential items in the agenda. This includes public participation sections of the meeting. Audio recordings of meetings will be made available for download on the internet via the Council's website by noon the day following the meeting and will be retained and publicly available on the website for 12 months following the meeting date. The recordings will be retained for the term of the current Council, after which time the recordings will be archived and destroyed in accordance with applicable public record standards. By participating in Open and Special Council meetings, individuals consent to the use and disclosure of the information that they share at the meeting (including any personal/sensitive information), for the purposes of Council carrying out its functions.



**ORDER OF BUSINESS**

	<b>Page No.</b>
<b>1. OPENING PRAYER &amp; ORIGINAL CUSTODIANS STATEMENT .....</b>	<b>3</b>
<b>2. APOLOGIES.....</b>	<b>3</b>
<b>3. CONFIRMATION OF MINUTES.....</b>	<b>3</b>
<b>4. DECLARATION BY COUNCILLORS &amp; OFFICERS OF ANY CONFLICT OF INTEREST IN ANY ITEM ON THE AGENDA .....</b>	<b>3</b>
<b>5. REPORTS</b>	
<b>5.1 ACTIVITIES &amp; INITIATIVES 2016/17 – DECEMBER QUARTER.....</b>	<b>4</b>
<b>5.2 COUNCIL ADVISORY COMMITTEES – REVIEW OF OPERATIONS .....</b>	<b>33</b>
<b>5.3 PLANNING PERMIT APPLICATION PP2016-0062 – 4 KOROIT ST, WARRNAMBOOL... </b>	<b>37</b>
<b>5.4 PLANNING PERMIT PP2016-0201 – 94 MERRI STREET, WARRNAMBOOL.....</b>	<b>140</b>
<b>5.5 DENNINGTON NEIGHBOURHOOD ACTIVITY CENTRE DEVELOPMENT PLAN – 1332     RAGLAN PARADE .....</b>	<b>179</b>
<b>5.6 PARKING STRATEGY IMPLEMENTATION .....</b>	<b>241</b>
<b>5.7 RESPONSE TO JOINT LETTER FROM CBD BUSINESSES REGARDING PARKING IN     THE CBD.....</b>	<b>266</b>
<b>5.8 PRINCES HIGHWAY WEST PROJECT – ‘TIME FOR A PLAN’ .....</b>	<b>301</b>
<b>5.9 PETITION - FOR COUNCIL TO IMPROVE THE AMENITY OF E.J.KING RESERVE.....</b>	<b>311</b>
<b>5.10 PETITION - FOR COUNCIL TO INCREASE THE OPENING HOURS OF THE     WARRNAMBOOL LIBRARY .....</b>	<b>314</b>
<b>5.11 ADVISORY COMMITTEE REPORT.....</b>	<b>354</b>
<b>5.12 ASSEMBLY OF COUNCILLORS RECORDS.....</b>	<b>360</b>
<b>5.13 MAYORAL &amp; CHIEF EXECUTIVE COUNCIL ACTIVITIES – SUMMARY REPORT.....</b>	<b>364</b>
<b>6. PUBLIC QUESTION TIME .....</b>	<b>365</b>
<b>7. CLOSE OF MEETING. ....</b>	<b>365</b>

**MINUTES OF THE ORDINARY MEETING OF THE WARRNAMBOOL CITY COUNCIL HELD IN THE RECEPTION ROOM, WARRNAMBOOL CIVIC CENTRE, 25 LIEBIG STREET, WARRNAMBOOL ON MONDAY 6 MARCH 2017 COMMENCING AT 5.45PM**

**PRESENT:** Cr. Kylie Gaston, Mayor/Chairman  
Cr. Robert Anderson  
Cr. Sue Cassidy  
Cr. Tony Herbert  
Cr. Peter Hulin  
Cr. Michael Neoh  
Cr. David Owen

**IN ATTENDANCE:** Mr Bruce Anson, Chief Executive  
Mr Peter Utri, Director Corporate Strategies  
Mr Andrew Paton, Director City Growth  
Mr Scott Cavanagh, Director City Infrastructure  
Ms. Vikki King, Director Community Development  
Ms. Wendy Clark, Executive Assistant

**1. OPENING PRAYER**

Almighty God  
Grant to this Council  
Wisdom, understanding and Sincerity of purpose  
For the Good Governance of this City  
Amen.

**ORIGINAL CUSTODIANS STATEMENT**

I wish to acknowledge the traditional owners of the land on which we stand and pay my respects to their Elders past and present.

**2. APOLOGIES**

Nil.

**3. CONFIRMATION OF MINUTES**

---

**MOVED: CR. HULIN**  
**SECONDED: CR. ANDERSON**

**That the Minutes of the Ordinary Meeting of Council held on 6 February 2017 and the Minutes of the Special Meeting of Council held on 20 February 2017, be received.**

**CARRIED – 7:0**

---

**4. DECLARATION BY COUNCILLORS & OFFICERS OF ANY CONFLICT OF INTEREST IN ANY ITEM ON THE AGENDA**

Pursuant to Sections 77, 78 and 79 of the Local Government Act 1989 (as amended) direct and indirect conflict of interest must be declared prior to debate on specific items within the agenda; or in writing to the Chief Executive Officer before the meeting. Declaration of indirect interests must also include the classification of the interest (in circumstances where a Councillor has made a Declaration in writing, the classification of the interest must still be declared at the meeting), i.e.

- (a) direct financial interest
- (b) indirect interest by close association
- (c) indirect interest that is an indirect financial interest
- (d) indirect interest because of conflicting duties
- (e) indirect interest because of receipt of an applicable gift
- (f) indirect interest as a consequence of becoming an interested party
- (g) indirect interest as a result of impact on residential amenity
- (h) conflicting personal interest

A Councillor who has declared a conflict of interest, must leave the meeting and remain outside the room while the matter is being considered, or any vote is taken.  
Councillors are also encouraged to declare circumstances where there may be a perceived conflict of interest.

<b>Cr. Neoh</b>	<b>Item 5.7 - Response to Joint Letter From BD Businesses Regarding Parking in the CBD</b>
<b>Nature of Disclosure</b>	Direct Interest
<b>Nature of Interest</b>	Owner of nearby property in CBD.

## **5. REPORTS**

### **5.1 ACTIVITIES & INITIATIVES 2016/17 – DECEMBER QUARTER**

#### **PURPOSE**

***This report provides information on progress in achieving the Activities and Initiatives set down for 2016/17 as part of the Budget process.***

#### **EXECUTIVE SUMMARY**

In order to achieve the objectives established in the Council Plan, a set of Activities and Initiatives are developed for each year of the four-year plan.

Funding allocations to deliver the Activities and Initiatives are outlined in Council's annual Budget and in 2016-2017 there were 158 Activities and Initiatives identified. These actions and initiatives are representative the broad range of the work that is undertaken by Council on behalf of the community.

Council is now reporting to the Community at the Action and Initiative level to provide more information as to the sorts of activity occurring in Warrnambool on behalf of our community

The introduction of this report, along with changes to our financial reports is a small representation of Councils commitment to improving its transparency to the community.

This attached report provides a series of summaries of actions and initiatives. The report details where activities are up to and details milestones and significant events in the progress to completion across a range of actions and initiatives.

Good progress in our actions continues across all of Councils Key Objective areas

So far, 18.4% of the Program has been fully completed, of the residual actions with 79.7% are on schedule, 1.3% behind schedule and 0.6% being withdrawn due to changes in circumstance or funding.

**MOVED: CR. HERBERT**  
**SECONDED: CR. HULIN**

**That this report be received.**

**CARRIED – 7:0**

#### **BACKGROUND**

The 2013-2017 Council Plan is the principle planning and directional document of the Council and details the Council strategic objectives and strategies over a 4 year period.

As part of the Annual Budget process Council is required to set down the Activities and Initiatives (A&I's) that are to be funded and demonstrate how these A&I's will contribute to achieving the strategic objectives specified in the Council Plan.

This report details the implementation status of the Activities and Initiatives ('A&I's'). Each action has a quick indicator of the current status.

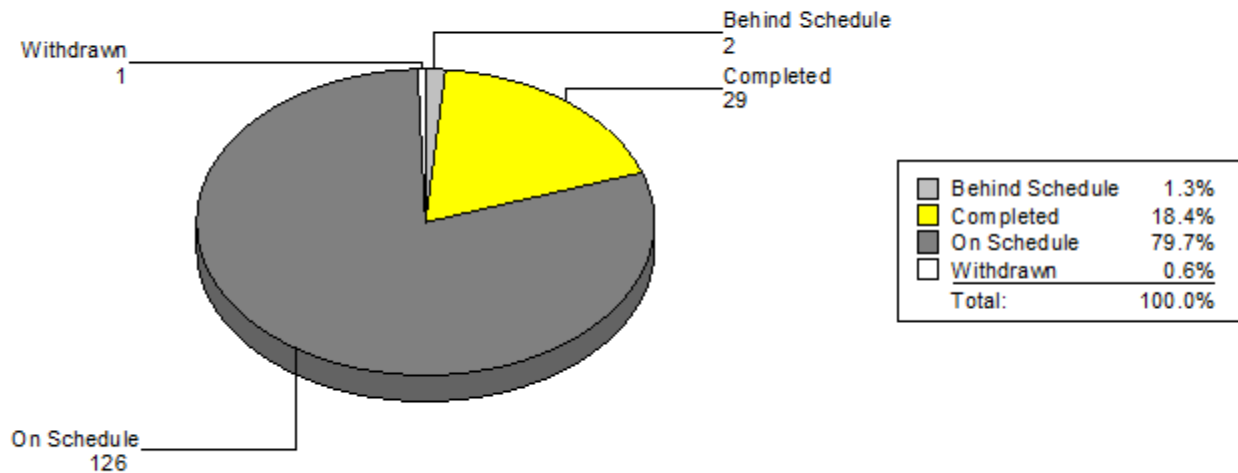
With the development on the New Council plan 2017 -2021 and its proposed adoption (scheduled for Councils adoption in June 2017) Council will further refine how it reports to the community on a quarterly basis into the new financial year.

→ On Schedule      ↓ Behind Schedule      ✓ Completed      ⊘ Withdrawn

### 2016/17 ACTIVITIES AND INITIATIVES OVERVIEW

The report provides summary comments as to the progress of the 2016/17 A&I's. A copy of the 158 A&I's and indicators, as at 31 December 2016, is attached as **Appendix A** to this report.

As the graph below indicates 79.7% are on schedule, 18.4% have been completed, 1.3% of the A&I's are behind schedule and 0.6% have been withdrawn.



## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



#### Activities & Initiatives 2016 - 2017 -

##### 1 A LEADING REGIONAL CITY

**1.01** Strategy: Govern as a well-planned, researched, accountable, strategic and sustainable Council.

**1.01.01** Strategic Indicator: Ensure statutory compliance with the Local Government Act by delivering all actions in Council's compliance checklist.

✓ 100% **1.01.01.01** Ensure Councils statutory compliance requirements are met and reported in the Local Governance Performance Reporting Framework.

**Reporting Officer:** Peter Utri

**Completion Date:** 30/06/2017

**Report:** Reporting Submitted to Local Government Victoria For LGPRF.

✓ 100% **1.01.01.02** Ensure Councils Annual Report is completed and lodged to meet statutory compliance.

**Reporting Officer:** Peter Utri

**Completion Date:** 30/06/2017

**Report:** The Annual report has been completed, Audited and submitted to the Minister for Local Government. The Annual report has been prepared for Council ratification and distribution to the Public

✓ 100% **1.01.01.03** Facilitate the conduct of the 2016 general elections of Council.

**Reporting Officer:** Anne-Maree Neal

**Completion Date:** 30/06/2017

**Report:** Council's Caretaker Policy was updated and adopted in line with the legislative timeline and LG Act requirements. Administrative caretaker procedures activated and operational across Council during the caretaker period for 2016 elections. VEC contract actioned in line with the agreed service plan. Council elections were successfully undertaken.

**1.01.02** Strategic Indicator: Deliver strategic outcomes as outlined in Council Plan.

➔ 50% **1.01.02.01** Report quarterly on Council Plan achievements.

**Reporting Officer:** Peter Utri

**Completion Date:** 30/06/2017

**Report:** Council Plan actions are continually being reviewed a number of actions are reported to the Council and the community through the Quarterly reporting process. Planning is underway and workshops have commenced for the development of the New Council Plan that will go out to the community for review later this year.

**1.01.03** Strategic Indicator: Achieve a "low risk" financial sustainability rating by the Victorian Auditor General.

➔ 75% **1.01.03.01** Ensure the annual budget is structured and finances are managed to achieve low risk financial sustainability.

**Reporting Officer:** David Harrington

**Completion Date:** 30/06/2017

**Report:** Various LTFP scenarios have been built and presented to the new Council as part of the strategic long term financial planning to ensure financial sustainability.

**1.02** Strategy: Advocate for the city and the Great South Coast region.

**1.02.01** Strategic Indicator: Recognise the Great South Coast Regional Plan and its cross-over with the Council Plan and focus on advocacy efforts accordingly.

➔ 65% **1.02.01.01** Advocate for Councils priority projects for the city and to maximise funding opportunities in accordance with the Advocacy Plan.



## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- Reporting Officer:** Nick Higgins  
**Completion Date:** 30/06/2017  
**Report:** A new series of advocacy documents is being produced which align with the priorities Council has identified. Recent addition of a fourth return rail service for Warrnambool was an issue Council has campaigned for over some years.
- 1.02.02** Strategic Indicator: Develop and implement an Advocacy Plan for Warrnambool.
- ✓ 100% **1.02.02.01** Review and update Councils Advocacy Plan.  
**Reporting Officer:** Nick Higgins  
**Completion Date:** 30/06/2017  
**Report:** Plan updated.
- 1.03** Strategy: Enhance community engagement and transparency in Council activities.
- 1.03.01** Strategic Indicator: Ensure community engagement and communication initiatives provide a range of options for community involvement.
- 65% **1.03.01.01** Continue the range of community engagement initiatives particularly in relation into Councils major projects.  
**Reporting Officer:** Nick Higgins  
**Completion Date:** 30/06/2017  
**Report:** Efforts continue to centre around the CBD renewal. The CBD website has been rebuilt and a weekly newsletter pitched at traders will be produced to provide updates on the work ahead. Promotions to stimulate business activity - Red Carpet Traders and the \$1 million prize draw - are also being supported by the Communications Branch. Radio advertisements will run advising motorists of changed conditions in the city centre.
- 1.04** Strategy: Deliver efficient and effective Council services.
- 1.04.01** Strategic Indicator: Provide excellent customer service and implement the Customer Service Strategy and Charter.
- 30% **1.04.01.01** Expand the range of e-business services available for Councils customers.  
**Reporting Officer:** Glendon Dickinson  
**Completion Date:** 30/06/2017  
**Report:** Project control group identified services and items available for inclusion with priorities established. Smart Form program identified as possible initial target area. Cross Council forms being collated for simplification and automation.
- 20% **1.04.01.02** Complete review of Council's Customer Service Strategy.  
**Reporting Officer:** Glendon Dickinson  
**Completion Date:** 30/06/2017  
**Report:** Final review of the current strategy to identify outstanding issues scheduled to be completed by end February 2017. This review will inform development of new 2017- 2021 Strategy Document development.
- 5% **1.04.01.03** Expand payment facilities at various Council sites.  
**Reporting Officer:** Glendon Dickinson  
**Completion Date:** 30/06/2017  
**Report:** Further discussions held with finance and IT and Community Services re roleout of Corporate Receipting to Archie Graham at the commencement of 2nd quarter 2017.
- 1.04.02** Strategic Indicator: Support staff to be innovative and efficient in the delivery of services and consider collaborative and resource sharing opportunities.

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- 55% **1.04.02.01** Embed the Innovation and Efficiency Program across Council.  
**Reporting Officer:** Nick Higgins  
**Completion Date:** 30/06/2017  
**Report:** Council staff are encouraged through the innovation program to think about better ways to deliver services to the community. Program initiatives are collated and added to the Budget review process.
- 1.04.03** Strategic Indicator: Implement the annual Service Review program and Continuous Improvement principles.
- 70% **1.04.03.01** Progress to the next stages of the service planning project.  
**Reporting Officer:** Darren Barber  
**Completion Date:** 30/06/2017  
**Report:** The Business Improvement Group is currently researching Corporate Performance Reporting systems for implementation across council. This will utilise service planning data through improved organisational business planning and KPI measurement.
- 1.04.04** Strategic Indicator: Consistent review of strategic risk in Council decision making.
- ✓ 100% **1.04.01.02** Commence Stage 1 of the Tree Asset Audit for all council trees.  
**Reporting Officer:** Glenn Reddick  
**Completion Date:** 30/06/2017  
**Report:** Stage one of a 3 stage program has commenced. Completed December 2016.
- ✓ 100% **1.04.04.01** Report annually to Council on the Risk Management Framework and review of Council's strategic risks.  
**Reporting Officer:** Anne-Maree Neal  
**Completion Date:** 30/06/2017  
**Report:** Annual report on Risk Management Framework and strategic risks presented to Council September 2016
- ✓ 100% **1.04.04.03** Ensure Warrnambool Regional Airport is maintained and operated in accordance within the applicable Manual of Standards including obstacle control.  
**Reporting Officer:** Glenn Reddick  
**Completion Date:** 30/06/2017  
**Report:** Airport reporting is operating 100% within the Manual of Standards. Although this action is completed it is an ongoing requirement for the airport to be operated in accordance with the Manual of Standards
- 1.04.05** Strategic Indicator: Utilise technological advances to improve service delivery and recognise staff innovations and input into new ideas and change processes.
- 20% **1.04.05.01** Implement the upgraded electronic data records management system.  
**Reporting Officer:** Peter Newell  
**Completion Date:** 30/06/2017  
**Report:** Project kick off has occurred.  
Project Initiation Document (PID) agreed.  
Full extract of "current" BluePoint data extracted for testing.  
Issue tracking system in place.  
Project champions identified.
- 85% **1.04.05.02** Directly connect "remote" offices to Council's network including childcare centres and kindergartens.  
**Reporting Officer:** Peter Newell  
**Completion Date:** 30/06/2017

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- Report:** Pilot being conducted at South Kindergarten. Pilot program will be evaluated and rolled out to the remaining kinders and childcare centres.
- 25% **1.04.05.03** Complete a review and upgrade of Children and Family Services software.  
**Reporting Officer:** Tina McLeod  
**Completion Date:** 30/06/2017  
**Report:** Review of Roster program complete, Compatibility issues with Tech 1 all identified and being worked through now
- 1.04.06** Strategic Indicator: Implement and promote environmentally sustainable practices.
- 50% **1.04.06.01** Work in partnership with organisations and community for Ride to Work and Walk to Work events.  
**Reporting Officer:** Paul Cugley  
**Completion Date:** 30/06/2017  
**Report:** Ride to work day undertaken in October 2016. Other events currently been planned for 2017
- 25% **1.04.06.02** Identify and cost infrastructure options to implement sustainable transport links between Deakin University and the City Centre.  
**Reporting Officer:** Paul Cugley  
**Completion Date:** 30/06/2017  
**Report:** Audit of existing route has been undertaken and interim and long term improvements have been identified. Need to discuss further with Deakin Uni and seek funding.
- 1.05** Strategy: Manage our resources responsibly.
- 1.05.01** Strategic Indicator: Implement an accountable, sustainable budget and financial strategy.
- 50% **1.05.01.01** Coordinate, prepare and have adopted Council's Annual Budget and Strategic Resource Plan and update Council's Long Term Financial Plan.  
**Reporting Officer:** David Harrington  
**Completion Date:** 30/06/2017  
**Report:** Work commenced on building a 10 year financial model. Strategic financial presentation being developed for Councillor Induction. Budget ready for manager/supervisors input with a deadline of 24th Feb.
- ✓ 100% **1.05.01.02** Prepare Council's Annual Financial Statements and lodge with the Minister by 30 September.  
**Reporting Officer:** David Harrington  
**Completion Date:** 30/06/2017  
**Report:** Annual Report completed and submitted to the Minister for Local Government before the 30 September 2016 deadline.
- 1.05.02** Strategic Indicator: Implement processes to ensure Council's research, partnerships and advocacy activities maximise grant funding opportunities to achieve maximum outcomes for the Warrnambool community.
- 50% **1.05.02.01** Seek grant funding opportunities to maximise outcomes for the Warrnambool community.  
**Reporting Officer:** Shaun Miller  
**Completion Date:** 30/06/2017  
**Report:** Grant funding program information circulated across the organisation through EasyGrants Newsletters. Regular engagement with State and Federal departments regarding funding opportunities.
- 1.05.03** Strategic Indicator: Implement strategies that ensure Council can attract and retain suitable qualified and experienced staff.



## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- 90% **1.05.03.01** Implement a Council-wide corporate training calendar.  
**Reporting Officer:** Darren Barber  
**Completion Date:** 30/06/2017  
**Report:** The Council wide corporate training calendar was launched in September 2016. Updated content for 2017 and marketing of the program across the organisation has commenced for this calendar year.
- 80% **1.05.03.02** Promote participation in Councils Learning and Development Plans.  
**Reporting Officer:** Darren Barber  
**Completion Date:** 30/06/2017  
**Report:** A communication strategy has been developed to promote learning and development opportunities across council for 2017. The Talent Management module will enhance this process through the identification of employee development objectives. The new Talent Management system has a direct connection to our learning and development calendar.
- 1.05.04** Strategic Indicator: Promote an open and inclusive workplace culture where individuals are supported to reach their potential.
- ✓ 100% **1.05.04.01** Develop an environment where staff have access to internal professional development opportunities that supports career progression (eg. acting roles, secondments, internal leadership programs, managers forum and internal mentors).  
**Reporting Officer:** Darren Barber  
**Completion Date:** 30/06/2017  
**Report:** The corporate training calendar incorporates professional development for the next 12 months including leadership opportunities - Management Challenge, XLP, Emerging Leaders and Leadership GSC. Numerous opportunities arise over the year for secondment and acting roles at all levels of the organisation.
- 75% **1.05.04.02** Implement a staff performance assessment process utilising an IT platform.  
**Reporting Officer:** Darren Barber  
**Completion Date:** 30/06/2017  
**Report:** The new staff performance assessment process (Talent Management) finished the test phase and went live in December 2016. The pilot program commenced in late December and is due for completion end Feb 2017. Full implementation will commence in March.
- 1.05.05** Strategic Indicator: Comply with the requirements of Council's Asset Management Plan.
- 20% **1.05.05.01** Develop, review and update Asset Management Plan/s as guided by the Asset Management Improvement Plan including an audit of assets.  
**Reporting Officer:** John Finnerty  
**Completion Date:** 30/06/2017  
**Report:** Review of Asset Management Plans is underway and on schedule. Existing plans are at a variety of different stages and the aim is to have three completed this year.
- 1.06** Strategy: Foster regional collaboration and coordination to improve social, economic and health outcomes for residents living across the Great South Coast.
- 1.06.01** Strategic Indicator: Strengthen Council's contribution to Great South Coast initiatives and projects.
- ✓ 100% **1.06.01.01** Contribute to the major review of the Great South Coast Group.  
**Reporting Officer:** Peter Utri  
**Completion Date:** 30/06/2017

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- Report:** The review of the Great South Coast Group has been undertaken and a series of recommendations on the structure of the pillars and the group have been put forward for implementation.
- 25% **1.06.01.02** Advocate for Council's priority projects within the Great South Coast Group.
- Reporting Officer:** Peter Utri  
**Completion Date:** 30/06/2017
- Report:** A review of the form and function of the Great South Coast group is underway. Council is participating in the review.
- 1.06.02** Strategic Indicator: Support, advocate and contribute to the Great South Coast Regional Plan.
- 50% **1.06.02.01** Ensure Council's priority projects are included in the Great South Coast Regional Advocacy Plan.
- Reporting Officer:** Andrew Paton  
**Completion Date:** 30/06/2017
- Report:** Council is represented on the GSC Board and Pillar Groups to advocate its priority projects.
- 1.06.03** Strategic Indicator: Improve service co-ordination across the region.
- 75% **1.06.03.01** Explore shared services opportunities with neighbouring municipalities.
- Reporting Officer:** Peter Utri  
**Completion Date:** 30/06/2017
- Report:** Additional work being completed around shared banking tender to gain greater economy of scale and reduce resource impost. Funding being sought from the State government around a regional resource for the determination of next steps for shared services.
- memorandum of understanding between the 5 Great South Coast Councils has been signed agreeing on the way forward for the exploration of shared services.

## 2 A SUSTAINABLE CITY

- 2.01** Strategy: Aim to be a leading recycler and environmentally sustainable organisation.
- 2.01.01** Strategic Indicator: Implement purchasing programs and retrofitting buildings for sustainable energy as outlined in Council's Climate Change Action Plan.
- 30% **2.01.01.01** Implement priority actions from the Civic Precinct Smart Buildings project.
- Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017
- Report:** The Smart Buildings program is underway and progressing. The Smart Buildings Working Group is currently assessing projects to be completed in 2017 as well as undertaking strategic planning work for implementation over the next 5 years.
- ✓ 100% **2.01.01.02** Incorporate demonstrable sustainability measures into Council's Building maintenance program.
- Reporting Officer:** Paul Wickson  
**Completion Date:** 30/06/2017
- Report:** A number of energy saving measures have been introduced including solar panels on various buildings, solar lighting, water tanks and energy saving measures such as low energy lighting and appliances. Although this action is completed, efforts are ongoing.
- ⊖ 0 **2.01.01.03** Increase utility efficiency through the implementation of trend monitoring software at the Lighthouse Theatre.

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



		<b>Reporting Officer:</b>	Michael Frawley
		<b>Completion Date:</b>	30/06/2017
<b>2.01.02</b>		Strategic Indicator: Continue to improve staff knowledge and awareness of sustainability initiatives that reduce Council's carbon footprint through Council's Green Environment Team.	
→	50%	<b>2.01.02.01</b>	Adopt guidelines on alternative design considerations and materials that will deliver more sustainable infrastructure.
		<b>Reporting Officer:</b>	Paul Cugley
		<b>Completion Date:</b>	30/06/2017
		<b>Report:</b>	IDM Guideline completed and shared with Green Environment Team. Currently investigating foam bitumen treatments for industrial roads. LED Lights are being specified for new developments and Council lighting.
→	20%	<b>2.01.02.02</b>	Allocate funding to facilitate sustainability projects and initiatives relevant to Council operations through Council's Green Environment Team.
		<b>Reporting Officer:</b>	Lauren Schneider
		<b>Completion Date:</b>	30/06/2017
		<b>Report:</b>	GET Grants are made available on an ongoing basis with sufficient budget allocated.
→	60%	<b>2.01.02.03</b>	Implement staff education and development in sustainability initiatives and practices through Council's Green Environment Team.
		<b>Reporting Officer:</b>	Lauren Schneider
		<b>Completion Date:</b>	30/06/2017
		<b>Report:</b>	Ongoing. The GET Team has successfully implemented educational tools for staff and has assisted in procurement of the sustainable steam weed exterminator which is operated on the foreshore, and solar panels to Council buildings.
<b>2.01.03</b>		Strategic Indicator: Implement works that protect our natural environment and biodiversity.	
→	20%	<b>2.01.03.01</b>	Implement a staged beach access renewal and risk mitigation program.
		<b>Reporting Officer:</b>	Rohan Mckinnon
		<b>Completion Date:</b>	30/06/2017
		<b>Report:</b>	Worm Bay Road beach access is scheduled for full replacement. Concepts have been developed and working group established to guide implementation.
→	60%	<b>2.01.03.02</b>	Undertake and promote biodiversity enhancements in accordance with the Revegetation Policy and Guidelines 2016.
		<b>Reporting Officer:</b>	Lauren Schneider
		<b>Completion Date:</b>	30/06/2017
		<b>Report:</b>	Council is continuing to implement the Revegetation Policy and Guidelines as overseen by the Natural Environment Working Group. Regular meetings are facilitated by the sustainability team and a native vegetation management plan is being developed to further inform any works.
→	60%	<b>2.01.03.03</b>	Oversee the management and implementation of the Middle Island Project.
		<b>Reporting Officer:</b>	Lauren Schneider
		<b>Completion Date:</b>	30/06/2017



## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- Report:** Ongoing. Council oversees the implementation of the Middle Island Project Strategic Plan 2012. This includes running the Middle Island Working Group, seeking ongoing funding and assisting with the training of two new maramma Guardian dogs. Several working group meetings have been held.
- 50% **2.01.03.04** Prepare a Vegetation Precinct Plan for the Warrnambool Foreshore in accordance with State Government Guidelines.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** A Planning Permit has been approved. This Permit sets the guidelines for development of the Native Vegetation Precinct Plan. Further work on the Precinct Plan will be undertaken in early 2017.
- 2.01.04** Strategic Indicator: Work in partnership with local businesses, organisations and the community to promote and implement environmentally sustainable initiatives.
- 20% **2.01.04.01** Facilitate Smart Living and Building Design Workshops.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** Ongoing. Progress has been made in developing a program for Smart Living events in 2017.
- ✓ 100% **2.01.04.02** Facilitate the Community Development Fund for sustainability and environmental projects.  
**Reporting Officer:** Kristyn McCaskill  
**Completion Date:** 30/06/2017  
**Report:** Community Development Fund 2016/2017 funded 4 sustainability and environment projects.
- 2.02** Strategy: Protect, enhance and improve access to our coastal reserves and waterways.
- 2.02.01** Strategic Indicator: Adopt and implement key initiatives from the Coastal Management Plan and Vegetation Management Plan.
- ✓ 100% **2.02.01.01** Implement beach access renewal and risk mitigation program.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** Council was unsuccessful in an application to the State Government's Coastal Risk Mitigation funding for implementation of the Coastal Access Capital Works Program 16/17.
- ✓ 100% **2.02.01.02** Seek funding to assist in implementation actions of the Coastal Management Plan and Vegetation Management Plan.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** Council was unsuccessful in its funding application to State Government's Coastal Risk Mitigation Program for the implementation of its Coastal Access Audit Capital Plan. Council was successful in gaining funding through the Climate Change Fund to undertake Stage 1 of a Local Coastal Hazard Assessment.
- 60% **2.02.01.03** Implement the Moyjil-Point Ritchie Conservation Management Plan to guide the protection and management of the site.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- Report:** The Moyjil Project Committee is working through priority actions set out in the Conservation Management Plan such as formalising the Committees governance structure. Council was unsuccessful in an application for funding through the State Government's Coastal Risk Mitigation Fund.
- 2.02.02** Strategic Indicator: Undertake programs that enhance the health of our rivers and wetland systems.
- 80% **2.02.02.01** Support the MAD for the Merri Committee and host the Warrnambool & District Landcare Network Facilitator.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** Ongoing. Council continues to support the MAD for the Merri Committee and host the Warrnambool & District Landcare Network Facilitator.
- 30% **2.02.02.02** Support the community in undertaking appropriate and valuable restoration projects along our rivers and wetlands.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** Ongoing. Council is continuing to support community projects along our waterways. This is being undertaken through support of the Warrnambool District Landscape Facilitator role and through the implementation of Council's Revegetation Policy and Guidelines.
- 2.02.03** Strategic Indicator: Review the combined needs of all users of lady bay including safer boating facilities and provide for a sustainable future.
- 50% **2.02.03.01** Progress masterplan for safer boating facilities in preparedness for funding application.  
**Reporting Officer:** Rohan Mckinnon  
**Completion Date:** 30/06/2017  
**Report:** Functional design for the Port of Warrnambool safer boating facilities has been completed and funding application submitted to the State Government for consideration. The Foreshore Precinct Framework Plan is nearing exhibition which provides context of the proposed Port of Warrnambool facilities with regards to the surrounding area and uses.
- ↓ 0% **2.02.03.02** Implement priority actions from the Coastal Management Plan relating to access points along the coast.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** Council was unsuccessful in an application to the State Governments Coastal Risk Mitigation funding for implementation of the Coastal Access Capital Works Program 16/17.
- 2.03** Strategy: Promote sustainable transport systems.
- 2.03.01** Strategic Indicator: Implement key actions from Council's Sustainable Transport Strategy.
- 75% **2.03.01.01** Implement works programs consistent with the Sustainable Transport Strategy for pedestrians and bicycles.  
**Reporting Officer:** Paul Cugley  
**Completion Date:** 30/06/2017  
**Report:** Footpath works completed in Mortlake Road and Drummond St
- 50% **2.03.01.02** Monitor and report to Council usage data for key sustainable transport routes.  
On Road Bike Lanes completed in City Centre

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- Reporting Officer:** Paul Cugley  
**Completion Date:** 30/06/2017  
**Report:** Following to date has been audited.
- Safe Routes to school
  - Botanic Precint
  - East Precint
  - All school crossings
  - Forshore Promenade
- 75% **2.03.01.03** Implement the Healthy Moves Program and support local walking and cycling groups.  
**Reporting Officer:** Paul Cugley  
**Completion Date:** 30/06/2017  
**Report:** Ride2work program completed in October 16.  
  
HEALTHY MOVES- 10 schools involved over 2000 children taking part in walking and cycling to school.
- 2.03.02** Strategic Indicator: Pursue funding to implement key actions relating to sustainable transport as outlined in the City Centre Revitalisation Plan including rail, bus, cycling and trails initiatives.
- 2.03.03** Strategic Indicator: Advocate for renewal of the Warrnambool Railway Precinct to facilitate improved traffic flow, parking and accessibility and implement actions from the Railway Station Precinct Plan.
- 30% **2.03.03.01** Establish the Railway Precinct Carpark facility.  
**Reporting Officer:** Shaun Miller  
**Completion Date:** 30/06/2017  
**Report:** MOU with VicTrack has been executed. Design work under way.
- 2.04** Strategy: Create natural and open space environments in Warrnambool.
- 2.04.01** Strategic Indicator: Adopt and implement an Open Space Strategy for Warrnambool.
- 60% **2.04.01.01** Seek funding and allocate resources to implement actions from Open Space Strategy.  
**Reporting Officer:** Jodie McNamara  
**Completion Date:** 30/06/2017  
**Report:** The City Strategy Unit is seeking funding opportunities on an on-going basis.
- 2.04.02** Strategic Indicator: Ensure new growth areas in Warrnambool cater effectively for the public open space needs of residents in accordance with growth area structure plans and the Warrnambool Open Space Strategy.
- 60% **2.04.02.01** Align open space requirements from new developments with Councils Open Space Strategy, structure plans and development plans.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** New developments, including development plans and structure plans are inclusive of the requirements and recommendations of the Warrnambool Open Space Strategy.
- 2.04.03** Strategic Indicator: Improve accessibility to Warrnambool's parks and open spaces by improving linkages, trails etc. and ensuring adequate infrastructure in local neighbourhoods in accordance with the Warrnambool Open Space Strategy.
- ✓ 100% **2.04.03.01** Implement Councils Small Infrastructure projects to improve linkages within the municipality.



## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- Reporting Officer:** David Harrington  
**Completion Date:** 30/06/2017  
**Report:** The 2016/17 projects have been prioritised and allocated. The delivery of these projects has been passed to the relevant business manager to implement.
- 2.04.04** Strategic Indicator: Mitigate growth area impacts on existing residential locations.
- 25% **2.04.04.01** Acknowledge the infrastructure needs of existing residential neighbourhoods and balance with the needs of new growth areas.
- Reporting Officer:** Scott Cavanagh  
**Completion Date:** 30/06/2017  
**Report:** Continuing to assess and implement plans for existing and new infrastructure. Existing infrastructure programs include footpath and road safety. Major infrastructure includes Simpson Street Drainage and Russells Creek Floodwalls. Minor projects include Cramer Street Park.
- 2.05** Strategy: Increase access to sustainability initiatives for the community and Council.
- 2.05.01** Strategic Indicator: Promote and facilitate opportunities for the community to take advantage of National, State and local environmental initiatives.
- ✓ 100% **2.05.01.01** Seek funding to explore the feasibility of waste to energy technology for Warrnambool.
- Reporting Officer:** Glenn Reddick  
**Completion Date:** 30/06/2017  
**Report:** Funding was sought through the Federal Governments Jobs and Innovation initiative. Unfortunately the application was not successful
- 2.05.02** Strategic Indicator: Seek the support of appropriate agencies to ensure the Warrnambool community has access to contemporary and innovative sustainability programs.
- 50% **2.05.02.01** Facilitate the Sustainable Living Festival.
- Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** Ongoing. Council has undertaken a review of the Sustainability Living Festival with a view to change the format which will be introduced in the 2017 festival. This includes an educational component involving local schools and the Roobaix bike ride.
- 50% **2.05.02.02** Quarterly distribution of the Smart Living Newsletter including any information for opportunities for grants or rebates.
- Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** Ongoing. Council issue Smart Living Newsletters quarterly which contain information about upcoming events, current projects and upcoming funding opportunities.
- 2.06** Strategy: Balance financial viability with environmental sustainability.
- 2.06.01** Strategic Indicator: Implement plans and strategies that improve Warrnambool's environmental sustainability and achieve efficiency gains.
- 30% **2.06.01.01** Implement the bore and irrigation project at Brierly Reserve.
- Reporting Officer:** Rohan Mckinnon  
**Completion Date:** 30/06/2017  
**Report:** Tender documents are currently being developed, with design and construction scheduled to commence May through to June.
- 60% **2.06.01.02** Seek funding to implement Council's Climate Change Action Plan.

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** Council's Climate Change Action Plan 2012 is due for review in 2017/2018. Council was successful in gaining funding to undertake Stage 1 of a Local Coastal Hazard Assessment.
- 80% **2.06.01.03** Review Councils Environmental Sustainability Strategy.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** A review of the Environmental Sustainability Strategy is underway with results presented in the Green Report. This Report has been presented to Council in early 2017. The findings of the report will be communicated to Warrnambool's community.
- 60% **2.06.01.04** Participate in the Climate Resilient Communities of the Barwon South West Project with the aim of embedding climate change adaptation in council operations.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** Ongoing. Through the Climate Resilient Communities Project Council is developing a Climate Adaptation Plan to integrate within its existing Climate Change Action Plan 2012 and other plans and policies as appropriate.
- 2.07** Strategy: Manage Council assets in a sustainable manner.
- 2.07.01** Strategic Indicator: Review and update Council's renewal funding model to ensure Council adequately funds asset replacement and maintenance while considering Council's risks.
- 60% **2.07.01.01** Review and update Council's 10 Year Capital Works Renewal Plan, incorporating renewal, upgrade and new projects.  
**Reporting Officer:** John Finnerty  
**Completion Date:** 30/06/2017  
**Report:** This review is underway and being completed in conjunction with the review of Asset Management Plans where possible.
- 70% **2.07.01.02** Develop an Asset Accounting Policy providing guidance for capitalisation, depreciation and valuations.  
**Reporting Officer:** John Finnerty  
**Completion Date:** 30/06/2017  
**Report:** An Asset Accounting Policy is under development, with a first draft having been prepared and reviewed by Finance.
- 60% **2.07.01.03** Participate in the Climate Resilient Communities of the Barwon South West Project with the aim of embedding climate change adaptation in council operations.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** Ongoing. Through the Climate Resilient Communities Project Council is developing a Climate Adaptation Plan to integrate within its existing Climate Change Action Plan 2012 and other plans and policies as appropriate.
- 3** A LIVEABLE CITY
- 3.01** Strategy: Improve community health, wellbeing and safety.
- 3.01.01** Strategic Indicator: Work in partnership with others across the Great South Coast to address the significant health and wellbeing issues that impact on our communities.



## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- 50% **3.01.01.01** Advocate for resources to address regional health and wellbeing priorities.  
**Reporting Officer:** Lisa McLeod  
**Completion Date:** 30/06/2017  
**Report:** Council staff are collaborating with the South West Primary Care Partnership, Regional Justice, Department of Health and Human Services to confirm, increase awareness of and attract resources to address shared health and wellbeing priorities.
- 3.01.02** Strategic Indicator: Work in partnership with the local community to address the significant health and wellbeing issues that impact the Warrnambool community as outlined in the Warrnambool Health and Wellbeing Plan 2013 - 2017.
- 30% **3.01.02.01** Review and evaluate the Warrnambool Health and Wellbeing Plan 2013 - 2017.  
**Reporting Officer:** Lisa McLeod  
**Completion Date:** 30/06/2017  
**Report:** A review of the outcomes of the last plan, policy context and analysis of health and wellbeing trends is underway. This work will be published and Councillors and the City Health and Wellbeing Advisory Committee will be briefed on the process to engage stakeholders and community in the review in March 2017.
- 20% **3.01.02.02** Engage with partners and the community to commence development of the Warrnambool Health and Wellbeing Plan for 2017 - 2021.  
**Reporting Officer:** Lisa McLeod  
**Completion Date:** 30/06/2017  
**Report:** A review of the last plan, a policy update and analysis of health and wellbeing trends has been undertaken and meetings with key partners (SW PCP and SW Healthcare) have occurred. The engagement process will be launched at City Health and Wellbeing Committee in March.
- 25% **3.01.02.03** Embed the Healthy Achievement Standards within Early Years Settings.  
**Reporting Officer:** Tina McLeod  
**Completion Date:** 30/06/2017  
**Report:** Kids Matter, an evidence based mental health prevention and capacity building program, has now been adapted to Council's services, and is ready to commence roll out across the Early Years Services from February 2017.
- 3.01.03** Strategic Indicator: Implement the Municipal Road Safety Strategy to improve road safety in the community.
- 50% **3.01.03.01** Identify and implement road safety improvements (minor works) in accordance with the Road Safety Audits.  
**Reporting Officer:** Paul Cugley  
**Completion Date:** 30/06/2017  
**Report:** Works program currently being developed
- ✓ 100% **3.01.03.02** Review Blackspot and TAC funding opportunities with VicRoads.  
**Reporting Officer:** Paul Cugley  
**Completion Date:** 30/06/2017  
**Report:** Review of projects has been undertaken. Following projects have been submitted for funding Blackspot  
Timor and Kelp St Intersection  
TAC  
Koroit St Pedestrian Crossing  
City Centre Speed Reduction and Traffic Calming

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- 3.01.04** Strategic Indicator: Work with the CFA to promote fire safety and implement the Municipal Fire Prevention Plan.
- 50% **3.01.04.01** Implement actions from the Municipal Fire Prevention Plan.  
**Reporting Officer:** Glenn Reddick  
**Completion Date:** 30/06/2017  
**Report:** The plan will be reviewed in March/April 2017 at the end of summer
- 3.01.05** Strategic Indicator: Maintain a contemporary Municipal Emergency Management Plan.
- 35% **3.01.05.01** Finalise documentation for the Municipal Flood Emergency Plan.  
**Reporting Officer:** Justin Hinch  
**Completion Date:** 30/06/2017  
**Report:** A draft plan being finalised by lead agency SES, to be circulated to Council and other emergency management agencies for review.
- 75% **3.01.05.02** Complete annual review of the Municipal Emergency Management Plan.  
**Reporting Officer:** Justin Hinch  
**Completion Date:** 30/06/2017  
**Report:** The plan has been circulated to all Municipal Emergency Management Plan member agencies for review and comments have been received and are being considered. A revised plan will be presented to the Municipal Emergency Management Planning Committee for endorsement before being presented to Council.
- 3.01.06** Strategic Indicator: Participate in regional community safety initiatives.
- 20% **3.01.06.01** Review emerging road safety and traffic management issues in consultation with Victoria Police and VicRoads.  
**Reporting Officer:** Paul Cugley  
**Completion Date:** 30/06/2017  
**Report:** Last meet in October 2016. Scheduled to meet in March 17.
- 50% **3.01.06.02** Complete a review of the Warrnambool Road Users Plan.  
**Reporting Officer:** Paul Cugley  
**Completion Date:** 30/06/2017  
**Report:** Internal review of Current Users Plan has been completed. Funding to update plan has been successful and project will commence in the coming months
- 3.02** Strategy: Develop and support sport and recreation activities to promote healthy lifestyles and community wellbeing.
- 3.02.01** Strategic Indicator: Increase participation in sport and recreation programs.
- 25% **3.02.01.01** Complete the East Parks project.  
**Reporting Officer:** Russell Lineham  
**Completion Date:** 30/06/2017  
**Report:** Detailed design for the park infrastructure is underway. Tenders for the lighting component to be advised shortly
- 50% **3.02.01.02** Deliver the Active Hub initiative in different parts of the City.  
**Reporting Officer:** Lisa McLeod  
**Completion Date:** 30/06/2017  
**Report:** The Active Hub trailer and games have been utilised at the Civic Green daily during January and on the Main Beach as part of Council's Beach Fest Program from 9 - 12 January. A touring program of Active Hub events in local neighbourhood parks is being planned for "ACTIVE Autumn" in April and May.

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- 50% **3.02.01.03** Grow the usage of the Connect Warrnambool website and Facebook page by 10%.  
**Reporting Officer:** Lisa McLeod  
**Completion Date:** 30/06/2017  
**Report:** Since Sept 2016 the number of registered clubs and groups on the Connect Website has grown by approximately 5% from 198 to 211 clubs and groups, across 22 sectors (from community groups, sport & recreation, to art groups & service clubs) From September 2016 to January 2017 Facebook Page has grown from 3500 to 4238 likes and averages 6000 engagements\* per month (likes, clicks & shares).
- 30% **3.02.01.04** Grow overall participation in sport and aquatic programs at Council operated facilities by 3%.  
**Reporting Officer:** Russell Lineham  
**Completion Date:** 30/06/2017  
**Report:** Focus is on achieving growth targets in both Gymnastics (Warrnambool Stadium) and Learn to Swim (AquaZone), Both programs exceeding targets
- 3.02.02** Strategic Indicator: Implement initiatives and review the Warrnambool Recreation Plan 2007 - 2017.
- 30% **3.02.02.01** Develop the 2017 - 2027 Sport, Recreation and Physical Activity Strategy.  
**Reporting Officer:** Kim White  
**Completion Date:** 30/06/2017  
**Report:** On track The first stage of the project, preparation of a background report was completed in November. An inception report for stage 2 has been prepared and provided to Council
- 35% **3.02.02.02** Complete the following community infrastructure projects; East Warrnambool Neighbourhood Parks, Brierly Reserve Master Plan Stage 2 (bore reestablishment and oval irrigation), Dennington Recreation Reserve Pavilion Redevelopment and Friendly Societies Park Sport Ground Lighting Redevelopment.  
**Reporting Officer:** Kim White  
**Completion Date:** 30/06/2017  
**Report:** E.Wmbl Park. Works to commence in 2017 in conjunction with Simpson St works to racecourse. Brierly Reserve bore & ground irrigation detailed design, underway. Works due to start post Crick season April 2017. Dennington Rec Reserve. Procurement underway & bldg works commence March 2017. Friendly Societies Lighting Redevelopment detailed design underway
- 60% **3.02.02.03** Complete the Lake Pertobe Master Plan and develop an implementation plan.  
**Reporting Officer:** Kim White  
**Completion Date:** 30/06/2017  
**Report:** Working to plan. The draft master plan is being prepared and will be provided to Council and the community for feedback in March 2017.
- 3.02.03** Strategic Indicator: Develop a Strategic Plan for the future use of Reid Oval.
- 50% **3.02.03.01** Complete the Reid Oval Development Plan and commence planning for its implementation.  
**Reporting Officer:** Kim White  
**Completion Date:** 30/06/2017  
**Report:** The final development proposal was presented to a Council Briefing in January 2017.



## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- 3.03** Strategy: Develop and support cultural activities that provide opportunities to celebrate, engage and participate in creative and artistic endeavours.
- 3.03.01** Strategic Indicator: Increase participation in Council's cultural programs.
- 25% **3.03.01.01** Support ongoing Creative Victoria funding partnership by developing audience development strategies and plans for the Lighthouse Theatre and Warrnambool Art Gallery.  
**Reporting Officer:** Russell Lineham  
**Completion Date:** 30/06/2017  
**Report:** On track. Both services are working on their strategic plans which are the funder's requirement for 2016/17
- 50% **3.03.01.02** Complete the Museum Accreditation Program for the Warrnambool Art Gallery.  
**Reporting Officer:** Russell Lineham  
**Completion Date:** 30/06/2017  
**Report:** Stage 1 of the process is complete: Accreditation reports submitted and first inspection held.
- 3.03.02** Strategic Indicator: Work with local networks and organisations to promote cultural development across Warrnambool through the Creative Warrnambool Network.
- ✓ 100% **3.03.02.01** Work with local networks and organisations as part of the Creative Warrnambool Network.  
**Reporting Officer:** Russell Lineham  
**Completion Date:** 30/06/2017  
**Report:** Council continues to work with the Creative Arts Network and staff, and also provides additional support in helping artists within our sub-region to update the Arts Atlas
- 3.03.03** Strategic Indicator: Strengthen partnerships and support cultural initiatives of the Warrnambool community.
- 50% **3.03.03.01** Work in partnership with Local Aboriginal groups to increase the interpretation of local stories and places for the enrichment of community and tourism understanding and respect.  
**Reporting Officer:** Andrew Paton  
**Completion Date:** 30/06/2017  
**Report:** Engagement occurring with Local Indigenous Groups to inform the renewal of the Flagstaff Hill Maritime Village precinct, including a Welcome to Country initiative.
- 3.04** Strategy: Invest in and create opportunities for children and young people to reach their potential and participate fully in society.
- 3.04.01** Strategic Indicator: Work in partnership to address low levels of educational attainment across the region by implementing the Great South Coast Beyond the Bell Regional Action Plan.
- ✓ 100% **3.04.01.01** Support the Beyond The Bell Warrnambool LAG with both backbone support and officer participation for Great South Coast Educational Attainment Project ("Beyond the Bell").  
**Reporting Officer:** Vikki King  
**Completion Date:** 30/06/2017  
**Report:** Backbone support in place at the Local Area Group, and representation is in place at all 3 levels of the BTB Organisation. Membership has increased 10 fold, and funding & actions rolling out
- 3.04.02** Strategic Indicator: Work with the local community to address low levels of educational attainment across Warrnambool by leading the implementation of the Great South Coast Beyond the Bell Warrnambool Community Action Plan.
- 50% **3.04.02.01** Review and implement the Warrnambool Community Action Plan for Beyond the Bell.

**Activities & Initiatives 2016 - 2017**  
**Action Status with Revisions/Reports**

- Reporting Officer:** Vikki King  
**Completion Date:** 30/06/2017  
**Report:** Additional \$60k secured to trial & evaluate demonstration projects across the region, which will commence in March. Funds will also develop & evaluate the preferred structure for BTB Inc.
- 3.04.03** Strategic Indicator: Work to improve the integration and effectiveness of Council programs driving improvement in educational attainment across the City.
- 30% **3.04.03.01** Continue to participate in the local and regional Early Year's Alliance(s).  
**Reporting Officer:** Tina McLeod  
**Completion Date:** 30/06/2017  
**Report:** On track. Regional & Local Early Years Alliances through the GSCEYN, Child & Family Services Alliance continue to be supported through WCC staff participation ,and action plans within both alliances to ensure better outcomes for clients.
- 50% **3.04.03.02** Continue to deliver the Indigenous Language in Preschools Project.  
**Reporting Officer:** Tina McLeod  
**Completion Date:** 30/06/2017  
**Report:** The Indigenous language program runs across Warrnambool and Moyne Shire kindergartens, with over 800 children learning Indigenous language. Funding will cease this year, and work is underway to secure resources to continue the program.
- ✓ 100% **3.04.03.03** Review the Early Years Client Journey Project and establish an action plan.  
**Reporting Officer:** Tina McLeod  
**Completion Date:** 30/06/2017  
**Report:** The findings of the review are now informing the next stage of focus for the Beyond The Bell Local Area Group's Social Wellbeing, and Early Year's Literacy working groups.
- 30% **3.04.03.04** Continue to work in partnership with the Schools Network to assist the community with kinder and school readiness.  
**Reporting Officer:** Tina McLeod  
**Completion Date:** 30/06/2017  
**Report:** On track, Integration between Schools Network and Kindergartens continues to improve with regular meetings. All School Transition reports completed
- 3.05** Strategy: Take the next steps to improving the quality of public library services in Warrnambool.
- 3.05.01** Strategic Indicator: Advocate for a new joint use Library and Learning Centre for Warrnambool.
- 10% **3.05.01.01** Progress the business case for the Joint Use Library and Learning Centre.  
**Reporting Officer:** Russell Lineham  
**Completion Date:** 30/06/2017  
**Report:** Funds now in place to commence the negotiation and development of the business case for the Joint Use Library Centre. Council will be actively liaising with all key stakeholders including South West TAFE and the State Government.
- 25% **3.05.01.02** Participate and drive strategy with Corangamite Regional Library Corporation.

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



			<b>Reporting Officer:</b>	Russell Lineham
			<b>Completion Date:</b>	30/06/2017
			<b>Report:</b>	Council representatives on the Corporation Board have been actively engaged in developing the Board's Strategic Planning Process and will be participating in the process when it begins in February 2017
<b>3.06</b>			Strategy:	Deliver high quality community services that strengthen client health and wellbeing.
	<b>3.06.01</b>		Strategic Indicator:	Achieve external accreditation in all Community Services areas against relevant legislation and industry standards.
<b>3.07</b>			Strategy:	Promote an inclusive, connected, diverse and resilient community.
	<b>3.07.01</b>		Strategic Indicator:	Celebrate volunteer participation throughout the Warrnambool community.
	→	50%	<b>3.07.01.01</b>	Support local volunteer involving organisations to recognise and celebrate volunteerism.
			<b>Reporting Officer:</b>	Richard Stone
			<b>Completion Date:</b>	30/06/2017
			<b>Report:</b>	On track Australia Day awards paid recognition to local volunteers. Training sessions delivered to local volunteer involving organisations on best practice volunteering
	<b>3.07.02</b>		Strategic Indicator:	Address the high levels of family violence within our community by promoting improved gender equity in aspects of community life.
	→	50%	<b>3.07.02.01</b>	Implement the actions of the Great South Coast Prevention of Violence Against Women and Children Strategy.
			<b>Reporting Officer:</b>	Lisa McLeod
			<b>Completion Date:</b>	30/06/2017
			<b>Report:</b>	Council participation on the Regional Strategy Working Group is progressing Council actions. Implementation of a '16 days of Action' Campaign in November/December included initiatives supported and delivered by the Council's Events, Lighthouse Theatre, Archie Graham and Art Gallery teams. A screening of Embrace documentary sold out, and the number of tree-wrapping sponsors increased from 2015.
	→	50%	<b>3.07.02.02</b>	Participate in the Everybody's Business Action Plan to reduce violence against women with disabilities.
			<b>Reporting Officer:</b>	Richard Stone
			<b>Completion Date:</b>	30/06/2017
			<b>Report:</b>	Everybody's Action is currently being implemented. Executive group currently completing and submitting funding applications to fund and complete outstanding (unfunded) actions
	<b>3.07.03</b>		Strategic Indicator:	Develop a more inclusive approach to community planning and development that encompasses Community accessibility, Positive ageing, Cultural diversity, People and places.
	→	50%	<b>3.07.03.01</b>	Work in partnership with clubs, groups and other stakeholders to build their capacity and grow inclusive, active living program in the City by 10%.
			<b>Reporting Officer:</b>	Richard Stone
			<b>Completion Date:</b>	30/06/2017
			<b>Report:</b>	Councils community programs area has established partnerships with a number of community groups which has created and increased opportunities for older residents to participate in physical and social activity.
	→	50%	<b>3.07.03.02</b>	Work within existing networks and alliances to support the development of a more inclusive community.



## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- Reporting Officer:** Richard Stone  
**Completion Date:** 30/06/2017  
**Report:** The Capacity Access and Inclusion branch has delivered a number of initiatives and projects that support an inclusive community; and developed and submitted a CHSP/ HACC Diversity Plan.
- 90% **3.07.03.03** Develop a Council 2016 - 2025 Disability Action Plan.  
**Reporting Officer:** Richard Stone  
**Completion Date:** 30/06/2017  
**Report:** Draft Action Plan completed: To be presented to MEG 14/2/17 for adoption
- 3.08** Strategy: Ensure community, recreation and cultural services and facilities are responsive to changing community needs and expectations.
- 3.08.01** Strategic Indicator: Undertake comprehensive reviews of current Community Services to ensure quality and efficiency.
- ✓ 100% **3.08.01.01** Implement the recommendations from Councils NDIS Readiness Project.  
**Reporting Officer:** Richard Stone  
**Completion Date:** 30/06/2017  
**Report:** Complete
- 3.08.02** Strategic Indicator: Review strategy for open space planning.
- 30% **3.08.02.01** Implement recommendation from the adopted Open Space Strategy.  
**Reporting Officer:** Jenny Emeny  
**Completion Date:** 30/06/2017  
**Report:** Implementation of the Open Space Strategy is an ongoing process, which is regularly reviewed by the Active Sustainable Places working group. Eleven recommendations from the Strategy are complete, and several more underway.
- 3.09** Strategy: Support events that deliver economic, social, environmental and cultural outcomes for the community.
- 3.09.01** Strategic Indicator: Review Council's strategic approach to events.
- 25% **3.09.01.01** Review Councils strategic direction for tourism and events investments aligned to community well-being goals.  
**Reporting Officer:** Andrew Paton  
**Completion Date:** 30/06/2017  
**Report:** The development of an Events Strategy has commenced.
- 25% **3.09.01.02** Review, maintain and expand the events program in line with the current 5 year Warrnambool City Council Event Strategy.  
**Reporting Officer:** Kim Griffith  
**Completion Date:** 30/06/2017  
**Report:** Development of a new Events Strategy has commenced.
- ✓ 100% **3.09.01.03** Deliver the 2016 Fun4Kids program within budget, evaluate, measure and revisit the vision, goals, sustainability and strategic objectives for the future.  
**Reporting Officer:** Kim Griffith  
**Completion Date:** 30/06/2017  
**Report:** Event delivered, increase in local community attendance, decrease in ticket sales from 2015 event. Review & development of the nextEvents program underway
- 25% **3.09.01.04** Develop Events and Visitor Strategy for Warrnambool City Council.  
**Reporting Officer:** Kim Griffith  
**Completion Date:** 30/06/2017

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



**Report:** The development of a new Events Strategy has commenced.

#### 4 A CITY OF GROWTH

**4.01** Strategy: Encourage creativity and innovation in urban design and development.

**4.01.01** Strategic Indicator: Promote and deliver sustainable design workshops to the community.

→ 10% **4.01.01.01** Facilitate Toolbox Talk sessions which promote sustainable design and use of sustainable materials and techniques.

**Reporting Officer:** Julie Perry

**Completion Date:** 30/06/2017

**Report:** A date and topics for the next Toolbox Talk night is to be scheduled.

→ 20% **4.01.01.02** Plan for the Building Design Recognition Award for end of 2017 through the City Landscape Development Advisory Committee.

**Reporting Officer:** Jodie McNamara

**Completion Date:** 30/06/2017

**Report:** The Building Design Recognition Awards are due to be held in the second half of the 2017 year.

**4.01.02** Strategic Indicator: Promote and revise Warrnambool City Council Statutory Building service.

→ 50% **4.01.02.01** Discharge legal obligations in the provision of building services, education and information.

**Reporting Officer:** Julie Perry

**Completion Date:** 30/06/2017

**Report:** The provision of City Building Services is ongoing and in accordance with the Building Control Act.

**4.01.03** Strategic Indicator: Promote city renewal through building projects that are innovative and add to diversity of uses.

→ 50% **4.01.03.01** Work with landowners, businesses and community and seek funding to upgrade selected laneways in the City Centre.

**Reporting Officer:** Shaun Miller

**Completion Date:** 30/06/2017

**Report:** Streetscape concepts and design drafts completed on some laneways. Implementation will be subject to priorities and availability of funding.

→ 40% **4.01.03.02** Introduce and promote City Renewal Building Facade Upgrade and Access Grant Scheme to facilitate shop owners/operators to improve street presentation of their buildings and to provide all abilities access.

**Reporting Officer:** Shaun Miller

**Completion Date:** 30/06/2017

**Report:** Communication with stakeholders has started and will be strengthened by media communication and next round of engagement to promote the scheme.

**4.01.04** Strategic Indicator: Complete and implement the Warrnambool Heritage Gap Study and promote heritage developments.

→ 50% **4.01.04.01** Renew Heritage Advisory Service.

**Reporting Officer:** Jodie McNamara

**Completion Date:** 30/06/2017

**Report:** The Heritage Advisory Service is available to residents of the Warrnambool community.

→ 30% **4.01.04.02** Review Heritage Strategy.

**Reporting Officer:** Jodie McNamara

**Completion Date:** 30/06/2017



## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- Report:** The review of the Heritage Strategy has commenced and is being undertaken in-house.
- 4.01.05** Strategic Indicator: Prepare a Housing Diversity Strategy to ensure housing growth in established areas occurs in the right way and in appropriate locations.
- 30% **4.01.05.01** Complete the Housing Diversity Strategy.
- Reporting Officer:** Jodie McNamara  
**Completion Date:** 30/06/2017  
**Report:** The housing diversity strategy back ground report (draft) has been completed and is progressing at officer level.
- 4.02** Strategy: Invest in planning and infrastructure for growth areas.
- 4.02.01** Strategic Indicator: Deliver roads, drainage and community infrastructure commitments as outlined in structure plans for growth areas.
- 60% **4.02.01.01** Facilitate and promote land and infrastructure development in accordance with Structure Plans and Development Plans for the growth areas.
- Reporting Officer:** Jodie McNamara  
**Completion Date:** 30/06/2017  
**Report:** Regular liaison occurs with developers and landowners across the City's numerous growth areas.
- 4.02.02** Strategic Indicator: Ensure infrastructure development, renewal and maintenance plans address current and forecast community needs.
- 20% **4.02.02.01** Implement Stage 2 of the Simpson Street tunnel upgrade.
- Reporting Officer:** Rohan Mckinnon  
**Completion Date:** 30/06/2017  
**Report:** A consultant has been engaged to design Stage 2 works, with the first element of the design to create a new pipe under the racecourse track nearing completion.
- ✓ 100% **4.02.02.02** Deploy resources to focus on the premium quality presentation of high profile areas.
- Reporting Officer:** Glenn Reddick  
**Completion Date:** 30/06/2017  
**Report:** Resources are now in place to raise the standards of presentation in high profile areas. This is evidenced by an improvement in presentation in a number of areas including gateway entrances, Lake Pertobe, Bluehole and a number of others. Although this action is completed, efforts will be ongoing.
- 4.03** Strategy: Support and promote economic development in Warrnambool with a focus on job creation and investment.
- 4.03.01** Strategic Indicator: Engage strongly with local key industries and the small business sector to support their long term sustainability.
- 25% **4.03.01.01** Continue investment in Councils primary tourism assets through the Surfside Holiday Park Development Plan and Flagstaff Hill Maritime Village Renewal Plan.
- Reporting Officer:** David McMahon  
**Completion Date:** 30/06/2017  
**Report:** A \$3 million (\$2 million funded by the State Government) renewal of the Flagstaff Hill Maritime Village precinct is presently under way. Capital works towards upgrading toilet and shower blocks at the Holiday Parks is also under way.
- 50% **4.03.01.02** Participate and drive reform in visitor services along the Great Ocean Road region.
- Reporting Officer:** Andrew Paton  
**Completion Date:** 30/06/2017

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



			<b>Report:</b> Council is presently participating in a review of its Visitor Services as part of a Great Ocean Road Regional Tourism initiative.
→	75%	<b>4.03.01.03</b>	Undertake Business Visitation Program across key economic precincts in our City. <b>Reporting Officer:</b> Shaun Miller <b>Completion Date:</b> 30/06/2017 <b>Report:</b> Business Visitation Program in the Industrial precinct completed Dec 2016. An initiative to consult startup and home based businesses to begin March 2017. Intensive business engagement occurring with City Centre businesses during the renewal works program.
✓	100%	<b>4.03.01.04</b>	Deliver the Annual Warrnambool Business Festival. <b>Reporting Officer:</b> Shaun Miller <b>Completion Date:</b> 30/06/2017 <b>Report:</b> 2016 Small Business Festival ran throughout August 2016, facilitating 28 events in Warrnambool and attended by more than 700 people.
		<b>4.03.02</b>	Strategic Indicator: Contribute to the Great South Coast Food and Fibre Action Plan and promote the economic opportunity to relevant Warrnambool businesses.
→	50%	<b>4.03.02.01</b>	Assist with securing resources to implement the Great South Coast Food and Fibre Action Plan. <b>Reporting Officer:</b> Andrew Paton <b>Completion Date:</b> 30/06/2017 <b>Report:</b> Council is taking a leadership role towards seeking funding for the GSC Food and Fibre Action Plan. The recruitment of an Executive Officer to drive the implementation of the Plan is under way.
→	60%	<b>4.03.02.02</b>	Promote business delegations and economic prospects including the Changchun Warrnambool economic Partnership Program. <b>Reporting Officer:</b> Shaun Miller <b>Completion Date:</b> 30/06/2017 <b>Report:</b> Warrnambool : China Bureau launched January 2017.
		<b>4.03.03</b>	Strategic Indicator: Promote Warrnambool's competitive advantages to potential investors.
→	60%	<b>4.03.03.01</b>	Update the Investment Prospectus promoting Warrnambool's attributes to potential investors. <b>Reporting Officer:</b> Shaun Miller <b>Completion Date:</b> 30/06/2017 <b>Report:</b> Descriptions of major projects and Investments are being placed on Council's Economic Profile section of the website to promote activity occurring across the City and region.
→	70%	<b>4.03.03.02</b>	Implement City Wide Housing Strategy priority actions <b>Reporting Officer:</b> Jodie McNamara <b>Completion Date:</b> 30/06/2017 <b>Report:</b> Short term actions identified within the Housing Strategy are underway.
		<b>4.03.04</b>	Strategic Indicator: Deliver skilled migration and jobs initiatives that assist filling regional job vacancies.
→	25%	<b>4.03.04.01</b>	Provide a certification service for employer sponsored visa nominations as the Great South Coast's Regional Certifying Body (RCB). <b>Reporting Officer:</b> Philip Hoggan <b>Completion Date:</b> 30/06/2017

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- Report:** Warrnambool City Council continues to perform the Commonwealth Gazetted Regional Certifying Body (RCB) role for the Great South Coast group of Councils (including Glenelg and Colac-Otway Shire Councils). The RCB receives and assesses employer submissions for skilled positions nominated under the Regional Sponsored Migration Scheme (RSMS Subclass 187 Visa). The RCB recommends those nominations to the Department of Immigration & Border Protection that show the nominating business to be operating lawfully, legally and profitably and the nominated position to be one in current skilled shortage for the region. Recent increases in employer nomination activity year-to-date sees RCB assessments running at just over 50% of the former Skilled Migration Program highs of around 60 employer nominations per year.
- 4.03.05** Strategic Indicator: Support and promote economic development in Warrnambool with a focus on job creation and investment.
- 70% **4.03.05.01** Develop, analyse and circulate up-to-date economic and demographic data for investors and businesses in our City.  
**Reporting Officer:** Shaun Miller  
**Completion Date:** 30/06/2017  
**Report:** Access to economic data and the city's major projects have been made available online.
- 50% **4.03.05.02** Promote and facilitate investment in the Warrnambool Regional Airport Business Park and other employment precincts in Warrnambool.  
**Reporting Officer:** Shaun Miller  
**Completion Date:** 30/06/2017  
**Report:** A public notice of intention to lease to two parties has been advertised. Plans are under way to promote the Aviation Park in a number of areas including a presence at the Avalon Airshow 2017.
- 4.03.06** Strategic Indicator: Seek alliances that improve our city's connection to the latest available communication technologies.
- ↓ 60% **4.03.06.01** Engage with "digital" business champions in our City to promote the capacity and capability of businesses towards accessing next generation broadband.  
**Reporting Officer:** Shaun Miller  
**Completion Date:** 30/06/2017  
**Report:** NBN Co rollout has been occurring in Warrnambool over the past quarter. Council has assisted the NBN Co community relations manager to link with local businesses and industry during this rollout, including successfully advocating a regional city event to take place in the City Centre.
- 4.03.07** Strategic Indicator: Create an economic strategy in partnership with industry that builds on Warrnambool's key strengths and drivers.
- 50% **4.03.07.01** Implement Surfside Development Plan.  
**Reporting Officer:** Andrew Paton  
**Completion Date:** 30/06/2017  
**Report:** Capital works for the renewal of a number of toilet and shower blocks at Holiday Parks will occur during the 2016/17 financial year.
- 50% **4.03.07.02** Seek to develop visitor economy priority project (both private and public sector) to align to State Government Visitor Economy economic pillar.  
**Reporting Officer:** Andrew Paton  
**Completion Date:** 30/06/2017



## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



			<b>Report:</b> Manager Visitor Economy appointed to align with the State Government's Visitor Economy Strategy and associated potential funding streams.
✓	100%	<b>4.03.07.03</b>	Implement priority actions from the Warrnambool Economic Development & Investment Strategy (2016 - 2020). <b>Reporting Officer:</b> Shaun Miller <b>Completion Date:</b> 30/06/2017 <b>Report:</b> Economic Development and Investment Strategy (2016-2020) endorsed by Council. Implementation plan and progress to be reported to Council.
		<b>4.03.08</b>	Strategic Indicator: Work with Great Ocean Road Regional Tourism (GORRT) to implement regional priorities and local Destination Action Plans.
→	50%	<b>4.03.08.01</b>	Continue to leverage exposure and visitation intention for Warrnambool through GORRT strategic marketing. <b>Reporting Officer:</b> Andrew Paton <b>Completion Date:</b> 30/06/2017 <b>Report:</b> New Visit Warrnambool website to be launched early this year in conjunction with Great Ocean Road Regional Tourism Board.
		<b>4.03.09</b>	Strategic Indicator: Engage with the State Government regarding tourism opportunities on Crown Land, in particular Flagstaff Hill.
→	25%	<b>4.03.09.01</b>	Complete and launch Flagstaff Hill Maritime Village Renewal Plan through Stage 1 funding. <b>Reporting Officer:</b> David McMahon <b>Completion Date:</b> 30/06/2017 <b>Report:</b> \$2.95 million Flagstaff Hill Village Redevelopment is scheduled to be completed in the 2016/17 financial year.
→	20%	<b>4.03.09.02</b>	Further develop prospectus for private investment to Flagstaff Hill Maritime Village precinct aligned to Flagstaff Hill Maritime Village Renewal Project. <b>Reporting Officer:</b> David McMahon <b>Completion Date:</b> 30/06/2017 <b>Report:</b> Follow-up occurring from the previous Flagstaff Hill Expression of Interest Process to attract private investment on-site. Ongoing discussions with State Government regarding tourism opportunities on Crown Land.
		<b>4.03.10</b>	Strategic Indicator: Develop key strategies to support Deakin Warrnambool student numbers and its connectivity with Warrnambool.
→	25%	<b>4.03.10.01</b>	Develop initiatives that support growth in enrolments at the Warrnambool Campus in partnership with the Warrnambool Tertiary Education Provider. <b>Reporting Officer:</b> Shaun Miller <b>Completion Date:</b> 30/06/2017 <b>Report:</b> Council is represented on the South West Advisory Group, a newly formed committee to advise Deakin Warrnambool Campus on strategies and initiatives to grow enrolments.
		<b>4.03.11</b>	Strategic Indicator: Create a supportive investment environment which encourages business development and local innovation and jobs growth in the region.
→	40%	<b>4.03.11.01</b>	Case-manage investment enquiries that contribute to employment opportunities or offer significant benefit to the local community. <b>Reporting Officer:</b> Shaun Miller <b>Completion Date:</b> 30/06/2017

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- Report:** Presently case managing a number of enquiries generated through a combination of customer requests and direct business engagement for investment proposals at existing and new sites.
- 4.04** Strategy: Manage a viable port facility.
- 4.04.01** Strategic Indicator: Identify options to provide safer boating and harbour facilities at the Port of Warrnambool, to maximise the significant tourism and commercial potential of the harbour.
- 4.04.02** Strategic Indicator: Identify funding options to implement improvements to port facilities in partnership with government.
- 75% **4.04.02.01** Develop functional design and business case for funding application/s related to the Safer Boating Facilities project.  
**Reporting Officer:** Rohan Mckinnon  
**Completion Date:** 30/06/2017  
**Report:** An application to the State Government "Boating Safety and Facilities Program" is being prepared.
- 4.05** Strategy: Deliver leading edge city planning services to the Warrnambool community.
- 4.05.01** Strategic Indicator: Implement key recommendations of the Planning Scheme Rewrite Project.
- 95% **4.05.01.01** Complete the Warrnambool Planning Scheme Rewrite.  
**Reporting Officer:** Jodie McNamara  
**Completion Date:** 30/06/2017  
**Report:** The planning scheme re-write project (Stage 1) has been completed and is in the Planning Scheme.
- ✓ 100% **4.05.01.02** Implement recommendations of C93 Panel Report.  
**Reporting Officer:** Julie Glass  
**Completion Date:** 30/06/2017  
**Report:** The recommendations of the C93 Panel Report have been implemented in full, and Amendment C93 has been adopted by Council on 4 July 2016.
- 4.05.02** Strategic Indicator: Complete infrastructure agreements and development plans for the North East Warrnambool growth area.
- 4.05.03** Strategic Indicator: Undertake continuous improvement of the City Development Toolkit and internal processes to improve statutory planning process.
- 70% **4.03.03.01** Implement the findings from the Statutory Planning internal audit.  
**Reporting Officer:** Lauren Schneider  
**Completion Date:** 30/06/2017  
**Report:** An internal audit of the Statutory Planning processes has been undertaken and the finding are currently being implemented. The finding of the audit will further inform review and continuous improvement to the City Development Toolkit.
- 4.05.04** Strategic Indicator: Complete review and rezoning of North Dennington growth area and adopt a development plan for the area.
- 4.05.05** Strategic Indicator: Initiate monitoring and control systems for infrastructure works in growth areas as strategic planning is completed.
- 20% **4.05.05.01** Report into Councils Development Control Group in line with Councils Developer Contributions Policy and Procedure document.  
**Reporting Officer:** David Harrington  
**Completion Date:** 30/06/2017  
**Report:** Ongoing reporting and compliance of DCP's. Developer contributions are being monitored and strategic actions are being taken where variance to agreed parameters occurs.

## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- 4.05.06** Strategic Indicator: Complete City Centre Revitalisation Plan and growth area planning and confirm Warrnambool's urban growth boundary.
- 50% **4.05.01.01** Support Warrnambool City Centre through continuous implementation of key priority initiatives identified in the City Centre Revitalisation Plan 2012.
- Reporting Officer:** Shaun Miller  
**Completion Date:** 30/06/2017  
**Report:** Stage 1 of 2 of City Centre Revitalisation scheduled to commence construction in February 2017.
- 4.06** Strategy: Create a thriving and culturally rich City Centre supported by secondary retail precincts.
- 4.06.01** Strategic Indicator: Prioritise and implement the City Centre Revitalisation Plan.
- 90% **4.06.01.01** Commence construction of Stage 1 of the City Centre Renewal Project.
- Reporting Officer:** Shaun Miller  
**Completion Date:** 30/06/2017  
**Report:** Stage 1 construction of the City Centre Renewal project will commence February 2017.
- 40% **4.06.01.02** Facilitate Liebig Street Leadership Group based on stakeholder representation.
- Reporting Officer:** Shaun Miller  
**Completion Date:** 30/06/2017  
**Report:** Regular engagement occurring with the Liebig St Leadership Group including business support initiatives.
- 50% **4.06.01.03** Maintain regular communication with businesses and community throughout City Centre Renewal Project.
- Reporting Officer:** Shaun Miller  
**Completion Date:** 30/06/2017  
**Report:** Regular program of newsletters and in-person engagement. Liebig street shopfront opened in Nov 2016.
- 4.06.02** Strategic Indicator: Adopt a car parking strategy as an adjunct to the City Centre Revitalisation Plan.
- ✓ 100% **4.06.02.01** Implement the City Centre Renewal - Free Parking Strategy.
- Reporting Officer:** Ian Fitzgibbon  
**Completion Date:** 30/06/2017  
**Report:** Educational material, machine programming and signage has been developed and will be in place at 1 November for the beginning of the free parking period as per the Strategy.
- 30% **4.06.02.02** Undertake a review of disabled parking in the City Centre.
- Reporting Officer:** Glenn Reddick  
**Completion Date:** 30/06/2017  
**Report:** A report has been prepared for Council to provide the next steps
- 4.06.03** Strategic Indicator: Facilitate public and private investment in the Warrnambool commercial zones.
- ✓ 100% **4.06.03.01** Work with key city centre landowners, businesses and community to prepare streetscape designs for Liebig Street between Koroit Street and Merri Street and Koroit Street between Liebig Street and Kepler Street.
- Reporting Officer:** Shaun Miller  
**Completion Date:** 30/06/2017  
**Report:** Stage 1 detailed design completed.



## Activities & Initiatives 2016 - 2017

### Action Status with Revisions/Reports



- 
- 4.06.04** Strategic Indicator: Grow the retail industry in Warrnambool through expansion in neighborhood activity centres, convenience centres and retail stores in the city.
- 40% **4.06.04.01** Deliver Council's Business Support Package for Stage 1 of the City Centre Renewal Project.
- Reporting Officer:** Shaun Miller
- Completion Date:** 30/06/2017
- Report:** In consultation with the Liebig Street Leadership Group, delivery of Council's Business Support package such as marketing and promotions, free parking, facade and access improvement grants, and advisory support workshops is underway.
- 4.06.05** Strategic Indicator: Improve pedestrian safety for all ages and abilities in the city, particularly the CBD and core retail precincts.
- ✓ 100% **4.06.05.01** Implement Safer Roads and roadside pedestrian crossing projects in Viaduct Road and Hopetoun Road.
- Reporting Officer:** Paul Cugley
- Completion Date:** 30/06/2017
- Report:** Both projects completed in July 2016

**5.2 COUNCIL ADVISORY COMMITTEES – REVIEW OF OPERATIONS****PURPOSE:*****Review of Council Advisory Committees.***

---

**EXECUTIVE SUMMARY**

Council to the end of 2016 had 7 Advisory committees operating that cover a range of topics from an issues based origin to a facilities based reason for being.  
78 Advisory Committees expires on 30 April 2017.

The purpose of this report is to outline the outcomes of the review of Committees undertaken.

The report recommends on the number, make-up and purpose of these committees at the advent of a newly elected Council and the conclusion of the existing committees term.

The report outlines the committees to be recommended to continue, to cease, or to add as advice giving bodies for Council.

Council recognises Warrnambool has an active and involved community made up of many skilled individuals who have a broad and deep knowledge base on issues facing Council. Council seeks to tap into this knowledge to be best informed in specific areas of endeavour for the Council.

Council at least once in its term seeks community representation from suitably qualified and interested parties to share their knowledge and improve the overall service provision to the community through these selected specialist committees.

Council undertakes many consultative methods to seek advice and input from the community the advisory committees make up one further way to gain information.

This report further outlines the process that will be undertaken to advertise for membership of the Advisory committees and the terms of reference for each of the advisory committees to be established.

---

**MOVED: CR.NEOH**  
**SECONDED: CR. ANDERSON**

**1. That Council Advisory Committees for-**

- **International Relations Advisory Committee (IRAC) .**
- **The South West Live Stock Exchange Advisory Committee**
- **Australia Day Advisory Committee**
- **Warrnambool City Health and Wellbeing Advisory Committee**
- **Economic Development Advisory Committee**
- **Environment Advisory Committee**
- **Visitor Economy Advisory Committee**

**be established for the period 1 May 2017 to 30 April 2021 or for a period as outlined in the terms of reference for the individual Committees.**

- 2. That the Warrnambool Airport Advisory Committee becomes a user reference group administered by the appropriate council officers.**
- 3. That Councillor representation be nominated to these Advisory Committees at the Annual statutory meeting of Council each year.**
- 4. That Councillor representation for the Economic Development Advisory Committee, Environment Advisory Committee and Visitor Economy Advisory Committee be nominated at the meeting of Council on 1 May 2017.**
- 5. That community nomination for vacancies to these Advisory Committees is publically advertised in the Warrnambool Standard and on Council's Web site from Saturday 11 March 2017 until a closing date for applications of Friday 30 March 2017.**



- 6. That Council declare the successful candidates to these advisory Committees at its ordinary Council meeting of 1 May 2017.**
- 7. That all existing members of Advisory Committees receive a letter of thanks from Council for their services to the community over the previous term of the committee and where a Committee is continuing advise them of the process for nomination to the Advisory Committee.**

---

**CARRIED – 7:0**

---

## **BACKGROUND**

Council has maintained a varying number of Advisory committees over the life of this Council since amalgamation in 1994.

Advisory committees enable Council to get subject matter expertise and advice from the community on specialised areas of Councils operations. Council benefits greatly from the collective knowledge of these committees in the guidance around important areas of Councils operations.

The committees are set up as advisory committees of Council with both Councillor and officer representation to help support, facilitate and resource the committees.

Information flows to Council from the committees via reports and minutes of the meetings in a formalised format. Whilst the committees often follow formal meeting protocols and where items may be recommended or even voted upon the outcomes remain recommendations to Council.

The decision on items recommended and any allocation of Councils resources remains the strict remit of Councils powers.

The strength of the advisory committee structure is the collective wealth of knowledge that is gathered and the ability to garner fresh and informed views on important aspects of Councils operations and policies.

The committees may form as reference bodies to deal with the review and have input into policy work at its formative stage. Committees may recommend the appropriate conduits for broader community consultation.

In order to maintain their relevance usefulness and freshness Councils Advisory committee's terms of reference are reviewed periodically.

Council also chooses many other forms of Community consultation demographic information and data in the consideration of its decisions and resource allocation.

### **Current Warrnambool Council Advisory committees**

1. Warrnambool Airport Advisory Committee
2. Flagstaff Hill Advisory Committee
3. International Relations Advisory Committee
4. Landscape & Development Advisory Committee
5. Warrnambool Livestock Exchange Advisory Committee
6. Warrnambool City Health & Wellbeing Advisory Committee
7. Australia Day Committee
8. Warrnambool Art Gallery Industry Panel

All advisory committees must at a minimum contain one Councillor Representative and one officer to support the committee.

**All terms of reference should at a minimum include:****PURPOSE OF COMMITTEE:**

The reason for the committee to exist

**NATURE OF ADVICE:**

The form advice will take and not take the extent of that the committee will deal with issues and the range of issues the committee advice is pertinent to.

**TERM**

How long is the life of the Committee

**COMMITTEE STRUCTURE:**

How many community members  
The expertise being sought for the committees make up  
Selection criteria for community membership

**COUNCIL MEMBERS:**

What is the make-up of Councillor representation  
What is the officer support to the committee

**APPOINTMENT OF CHAIR:**

Their term and method of appointment

**MEETING TIME AND FREQUENCY:****MANAGING CONFLICT OF INTEREST:**

The processes involved to deal with situations where conflicts of interest may arise

**REPORTING REGIME:**

Time frequency and form of feedback loops to and from the committee

**MEETING PROCESS:**

Procedural requirements and quorum requirements

**AMENDMENT, MODIFICATION OR VARIATION**

What is the formal mechanism to change the scope and nature of the committee if needed

The needs, nature and make up of committees periodically requires change to better suit the needs of the Council. During this review period it is recommended that two of the existing committees terms of reference change to give a broader strategic perspective in their areas of interest.

It is recommended that as of 1 May 2017 the

- International Relations Advisory Committee (IRAC) .
- The South West Live Stock Exchange Advisory Committee
- Australia Day Advisory Committee
- Warrnambool City Health and Wellbeing Advisory Committee
- Warrnambool Art Gallery Industry Panel

Remain. These predominantly unchanged committees will have a refreshed set of terms of reference to reflect up to date governance practice.

In addition it is recommended that the Landscape and Development Advisory Committee and Flagstaff Hill Advisory Committee cease in their current form, to be replaced with

- Environment Advisory Committee (to subsume the Landscape and Development Advisory Committee (LDAC).
- Visitor Economy Advisory Committee (to subsume the Flagstaff Hill Advisory Committee).

Further, it is recommended that Council establishes and calls for expressions of interest for the membership to a new

- Economic Development Advisory Committee.
- It is recommended the Warrnambool Airport Advisory Committee become a reference group rather than a formal Advisory Committee of Council to better reflect the user interests of the participants

This returns to 8 the total number of Advisory committees Councils intends to establish.

Members of the current committees will be written to, to inform them of the upcoming nomination process and thank them for their service.

The call to fill positions for community nominations vacancies to Advisory Committees will be publically advertised in the Warrnambool Standard and on Council's Web site from Sat 11 March 2017 until a closing date for applications of Friday 30 March 2017.

A date for the resumption or establishment meeting for each committee will be advertised at this time.

Full nomination criteria and terms of reference for each committee will be available for consideration at this time.

Council will declare the successful candidates to these advisory Committees at its ordinary meeting of 1 May 2017. Successful and successful candidates will be notified in writing after this meeting.

Successful candidates will also be reminded of the meeting date and time for the initial establishment or resumption meeting for the advisory committees.

## **ISSUE**

Council wishes to review and develop a number of Advisory committees to aid in the breadth of knowledge it has available to it to make informed decisions on behalf of the community. Advisory committee terms of reference and make up and number should be reviewed periodically to ensure their relevance continues the form and function is appropriate and that they are adding value to the decision making of Council.

Warrnambool City Council chooses advisory committees as an important adjunct to its consultative and information gathering mechanisms

## **CONSULTATION**

The Advisory Committee's terms of reference, eligibility criteria and call for membership will go through a public advertising process. Notification of Council's intent is included in this report.

## **FINANCIAL IMPACT**

The Advisory committees require resourcing in there administration and support. Whilst no direct resource allocation role exists for the committees they play an important part in the strategic planning direction and review of critical Council programs and facilities.



**5.3 PLANNING PERMIT APPLICATION PP2016-0062 – 4 KOROIT STREET, WARRNAMBOOL****PURPOSE**

*This report provides an assessment of planning permit application PP2016-0062 for the construction of a townhouse and two-lot subdivision and recommends that a Notice of Decision to Grant a Permit be issued pursuant to Section 64 of the Planning & Environment Act 1987.*

**EXECUTIVE SUMMARY**

- The application is for the construction of a second dwelling to the rear of the existing dwelling at 4 Koroit Street. The application also includes subdivision so that each dwelling is on its own title.
- The application was notified and six objections have been received.
- For the reasons detailed in the planning assessment the planning permit application is supported.

**MOVED: CR. HULIN**  
**SECONDED: CR. NEOH**

That a Notice of Decision to Grant a Permit be issued under Section 65 of the *Planning and Environment Act 1987* subject to the following conditions

1. Before the development starts, a landscape plan to the satisfaction of the responsible authority must be submitted to and approved by the responsible authority. When approved, the plan will be endorsed and will then form part of the permit. The plan must be drawn to scale with dimensions and three copies must be provided.

The plan must show:

- (a) details of surface finishes of pathways and driveways
  - (b) a planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant All species selected must be to the satisfaction of the responsible authority.
  - (c) landscaping and planting within all open areas of the site
  - (d) in-ground irrigation system is to be provided to all landscaped areas.
  - (e) The location and details of boundary fencing to meet Standard 22 of Clause 55 (overlooking)
2. Before the occupation of the development starts or by such later date as is approved by the responsible authority in writing, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the responsible authority.
  3. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the responsible authority, including that any dead, diseased or damaged plants are to be replaced.
  4. The exterior colour and cladding of the building must be of a non-reflective nature and finished in muted toning to the satisfaction of the Responsible Authority.
  5. To safeguard the local amenity, reduce noise nuisance and to prevent environmental pollution during the construction period:
    - (a) Stockpiles of topsoil, sand, aggregate, spoil or other material shall be stored clear of any drainage path or easement, natural watercourse, footpath, kerb or road surface and shall have measures in place to prevent the movement of such material off site.
    - (b) Building operations such as brick cutting, washing tools, concreting and bricklaying shall be undertaken on the building block. The pollutants from these building operations shall be contained on site.
    - (c) Builders waste must not be burnt or buried on site. All waste must be contained and removed to a Waste Disposal Depot.
  6. The plan of subdivision submitted for certification under the Subdivision Act 1988 must be referred to the relevant authority in accordance with Section 8 of that Act.
  7. All existing and proposed easements and sites for existing and required utility services and roads must be set aside in favour of the relevant authority for which the easement or site is to be created on the plan of subdivision submitted for certification under the Subdivision Act 1988.

8. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, drainage, sewerage facilities, electricity and gas to each lot shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time.
9. The owner of the land must enter into an agreement with:
  - (a) a telecommunications network or service provider for the provision of telecommunication services to each lot shown on the endorsed plan in accordance with the provider's requirements and relevant legislation at the time; and
  - (b) a suitably qualified person for the provision of fibre ready telecommunication facilities to each lot shown on the endorsed plan in accordance with any industry specifications or any standards set by the Australian Communications and Media Authority, unless the applicant can demonstrate that the land is in an area where the National Broadband Network will not be provided by optical fibre.
10. Before the issue of a Statement of Compliance for any stage of the subdivision under the Subdivision Act 1988, the owner of the land must provide written confirmation from:
  - (a) a telecommunications network or service provider that all lots are connected to or are ready for connection to telecommunications services in accordance with the provider's requirements and relevant legislation at the time; and
  - (b) a suitably qualified person that fibre ready telecommunication facilities have been provided in accordance with any industry specifications or any standards set by the Australian Communications and Media Authority, unless the applicant can demonstrate that the land is in an area where the National Broadband Network will not be provided by optical fibre.
11. This permit will expire if:
  - (a) the development is not started within two years of the date of this permit.
  - (b) the development is not completed within four years of the date of this permit.
  - (d) the plan of subdivision is not certified within two years of the date of this permit; or
  - (e) the registration of the subdivision is not completed within five years of the date of this permit.

The responsible authority may extend the periods referred to if a request is made in writing before the permit expires, or within the time prescribed in Section 69 (1 or 1A) of the Planning and Environment Act 1987.

CARRIED – 7:0

---

## PROPOSAL

The application proposes the construction of an additional dwelling behind the existing dwelling, and a two lot subdivision. The plans which have been considered in this planning assessment are located at **Appendix A – Application Documentation and Proposed Plans**.

The proposed dwelling is situated behind the existing dwelling, and will have frontage to Williams Lane. The dwelling is double-storey, with garage and bedroom 1 provided at lower level, and the living areas provided at upper level. Bedrooms 2 and 3 are located at a split-level at the rear of the proposed dwelling. Due to the slope of the land, the upper floor is at street level, with the front door accessed by a suspended walkway. The lower level is below street level, with the site being excavated to accommodate the ground floor.

Private open space is provided by a balcony at the upper level, and a courtyard at ground level. Car parking is provided within a double garage, as well as one additional open car space within the driveway.

The dwelling has a zero setback to both east and west boundaries, and a 4.7m setback to the street. Construction is a mix of masonry and metal cladding, with a Colorbond roof. Colour finishes are not yet defined.

The proposed shared property boundary is to be set back approximately 3.5m behind the existing dwelling, in line with the edge of the existing patio roof. The existing dwelling will retain its current access from Koroit Street.

The site address is 4 Koroit Street, Warrnambool. **Refer Appendix B – Subject Site Plan.** The site has a total area of 604 square metres and contains a single storey dwelling with frontage to Koroit Street. Vehicle access to this dwelling is also obtained via Koroit Street. The rear portion of the site is currently undeveloped. It is also clear of vegetation.

The surrounding area consists of a mixed character but is generally single storey residential detached dwellings. Dwellings include older style single dwellings, newer dwellings, and some infill development of varying ages. The laneways have a non-uniform character. The laneways have, historically, been used for vehicle access to lots, however in more recent times a number of the lots have been subdivided and units constructed with frontage to the lane. The majority of single dwelling sites present a blank interface to the laneway comprising either fencing or garages.

## BACKGROUND

The subject site is located within the General Residential Zone (GRZ). **Refer Appendix C – Zone and Map.**

Pursuant to Clause 32.08-2 a planning permit is required to subdivide land. Pursuant to Clause 32.08-4 a planning permit is required for construction of two or more dwellings on a lot.

The application was received on 2 May 2016. And notified pursuant to Section 52 of the Planning and Environment Act 1987 by letters to adjoining properties, and a sign on site.

The application received four (4) objections. **Refer Appendix D – Objections.**

The issues that were raised in the objections are:

- Increase in traffic in Williams Lane. Proposal does not provide for safe or efficient car parking.  
The proposal does not respect the character of the area, including the “open rear-yard character” and is large and bulky.
- The dwelling will be visually prominent.
- The proposal fails to meet several ResCode standards, including:
  - Side and rear setbacks – Eastern and western side setback requirements are not met.
  - Site coverage – the site coverage does not respect the ‘open rear yard’ character of the area and is an over-development.
  - Private open space – open space is not secluded and the courtyard is not practical as it is not directly accessible from the dwelling.
  - Overlooking – The location of the proposed balcony resulting in overlooking to a number of properties.
  - Overshadowing of adjoining properties.

Following the receipt of the objections, the applicant submitted revised drawings. Amended plans were received on 27 September 2016, and comprise the following changes:

- Relocation of balcony away from side boundary, increasing the setback from western boundary, and reducing the setback to Williams Lane.
- Alterations to the configuration of kitchen/living area to accommodate changes to balcony.
- Reduction in height of wall to western boundary, from a maximum of 4.439m to a maximum of 3.39m
- Inclusion of sliding door to master bedroom, to improve access to ground level open space.

The revised plans were re-notified to the adjoining properties by mail. **Two (2) additional objections** were received, One of the original objectors made a second submission. The following points have been raised:

- The dwelling will be visually prominent and not in keeping with its surroundings.
- Approval could set a precedent for similar development throughout Warrnambool.
- The relocation of the balcony will increase the level of overlooking of the property at 43 Barkly Street which would result in the entire rear yard being overlooked.



## ISSUES

The relevant considerations in the assessment of the application, in addition to the decision guidelines of Clause 65, include whether the proposal meets the objectives of Clause 55 (Rescode requirements for 'Two or More Dwellings on a Lot') and Clause 56 (Rescode requirements for residential subdivision) in addition to the State Planning Policy Framework, Municipal Strategic Statement and Local Planning Policy Framework. A detailed planning assessment is attached **Refer to Appendix E – Delegate Report**.

A response to the issues raised in the objections is provided as follows:

### Traffic and Parking

- The proposal provides for a total of 3 spaces for the new dwelling, which complies with the requirements of Clause 55 that a minimum of 2 spaces must be provided for each 3 bedroom dwelling.
- The traffic impact from one additional dwelling will not adversely impact on the capacity of Williams Lane, as it is an access lane and does not experience through-traffic.
- The application was referred to Council's Infrastructure Services and no concerns were raised regarding the functionality of access to the proposed garage or the additional traffic using Williams Lane.
- The proposed car parking arrangements are therefore satisfactory and meet the relevant provisions of the Planning Scheme.

### Neighbourhood character

The proposed design is generally acceptable in the neighbourhood context. Standard B1 of Clause 55 requires:

- The design response must be appropriate to the neighbourhood and the site, and
- The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.

Although it is not the same style as surrounding dwellings, the design is considered to be relatively conservative, utilising subdued materials and horizontal forms, minimising the overall height and visual prominence. The dwelling will blend into its surrounds and the landform, and although visible, will not be visually dominant.

The built form within the laneway is varied and includes townhouses, however, the majority of properties face away from the lane with garages and fencing constructed at the laneway frontage. As most of the rear yards are fenced, the laneway does not have an open, landscape character, rather feels enclosed, with blank frontages.

Due to the slope of the site and the excavation proposed, the dwelling will have a mass comparable to a single storey dwelling towards the eastern side of the site, and 1.5 storeys towards the western side. The dwelling is not three-storey, and the massing when viewed from the street will result in a street presentation that is not visually overwhelming. The living areas are located to the front, therefore a high level of activation and passive surveillance will result from the proposal, making a positive contribution to the streetscape.

### Compliance with Clause 55 (Two or More Dwellings on a Lot)

Following the review of the objections, the applicant made a number of amendments to the design. The amendments to the plans address the following:

- Balcony is moved away from the western boundary, remedying both issues with overlooking, as well as the height of the wall on the boundary. The revised balcony is now compliant with the standards relating to overlooking.
- Overshadowing diagram addresses the impact on adjoining properties, and is within parameters of Rescode.
- The visual impact of the development when viewed from the west is reduced, as a result of moving the balcony away from the side boundary.
- Access to the ground floor courtyard has been addressed through inclusion of a sliding door to the master bedroom. As the courtyard is below street level, it will be secluded.

Additionally, a condition will be included on the permit to ensure that all fencing to boundaries provides adequate screening of views to adjoining properties.

Approval of the proposal would require a number of variations to Clause 55. The following is a summary of the required variations:

- Reduction of minimum street setback from 4m to 3.2m. This is considered acceptable as this setback is measured from the edge of the balcony. The setback for the front of the dwelling is 4.7m. Clause 55 allows porches and verandahs to encroach up to 2.5m into the setback, therefore allowing a minimum street setback of 1.5m for these structures. Allowing the balcony to project into this setback to provide a street setback of 3.2m is considered to be a reasonable outcome, given that Clause 55 makes allowance for encroachments.
- The applicant has not provided a landscape plan as required by Clause 55. However there is sufficient area in the front setback to accommodate landscaping, and a plan will be required to be submitted as a permit condition.
- The height of wall on the eastern boundary exceeds the maximum height of walls on boundary under Clause 55. However this section of the dwelling adjoins the garage and utilities area of the neighbouring dwelling, and will not impact on the function of these areas, or the amenity of any habitable areas of the dwelling. Therefore approval of this variation would not have an adverse impact on the adjoining dwelling.

## **State Planning Policy Framework**

### **11.01 – Urban Growth**

#### **Objective**

To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.

#### **Strategies**

Planning for urban growth should consider:

- Opportunities for the consolidation, redevelopment and intensification of existing urban areas.
- Neighbourhood character and landscape considerations.

*The application is consistent with the strategy for urban growth to be partly accommodated through the consolidation of development within existing urban zoned land.*

### **11.09 – Great South Coast regional growth**

#### **11.09-2 – Sustainable communities**

#### **Objective**

To attract more people to the region.

#### **Strategies**

- Support the provision of suitable housing for elderly people to cater for projected demographic change.
- Support and promote active and attractive towns through the provision and enhancement of open space, trails, streetscapes and gardens.

*The form of development proposed by the application supports this objective. A range of residential styles is required in order to permanently attract new residents to the city. Contemporary dwellings on smaller lots make a contribution to housing diversity.*

### **16 – Housing**

- Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.
- New housing should have access to services and be planned for long term sustainability, including walkability to activity centres, public transport, schools and open space.
- Planning for housing should include providing land for affordable housing.

16.01-1 Integrated housing**Objective**

To promote a housing market that meets community needs.

- Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.
- Ensure that the planning system supports the appropriate quantity, quality and type of housing, including the provision of aged care facilities.
- Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.

**Municipal Strategic Statement:****Clause 21.06 – Built environment and heritage**21.06-1- Urban EnvironmentUrban design**Objective 1**

To achieve urban design of the highest standard

**Strategies**

- Support development that provides an appropriate degree of visual interest and design articulation and a high standard of amenity for residents.
- Require the siting (including setbacks and site coverage) of new development to respond to the opportunities, constraints and features of the site.
- Require new development to present integrated building forms that have a sense of address.
- Support new development that applies design techniques (including façade variation, contrast/repetition, colour, texture and detail) that will integrate a building with its surrounds and create attractive and interesting forms.

*The design of the new dwelling is considered to be of a high standard, and will provide a high level of amenity for the future occupants. The dwelling is well articulated with varying materials and surface forms. The orientation of the living areas and balcony to the street provides for an active frontage that will create visual interest.*

**Objective 4**

To protect the City's natural environment and built heritage

**Strategies**

- Ensure that the selective redevelopment of sites for units and townhouses complements the area's heritage character, incorporates appropriate design standards and achieves high quality development.
- Ensure that infill development and redevelopment proposals are complementary to the inherent values of the sensitive landscape areas of the City.

*The new dwelling compliments the area's character. The overall height of the dwelling is consistent with the prevailing heights of existing dwellings in the area, and not visually prominent from vantage points within the public realm. The positioning of the dwelling in the laneway makes efficient use of the land and the retention of the existing dwelling results in no change to the streetscape.*

Design for safety**Objective 1**

To ensure new development contributes to safe neighbourhoods.

**Strategies**

- Support the design of buildings, front fences, subdivisions, car parks and public open space that maximises natural surveillance to provide for safe neighbourhoods.



*The new dwelling will provide a high level of natural surveillance to the street, due to the location of the balcony and the large windows to the living area that have an outlook to the street.*

### **Objective 2**

To enhance the presentation of streetscapes.

#### **Strategies**

- Support urban design that enhances the streetscape and promotes activity in the public realm.
- Support development that contributes to an active street frontage by use of porches, and low front fences.

*The construction of dwellings enhances the streetscape, by creating visual interest as well as improved perceptions of safety.*

#### Cultural identity and neighbourhood character

### **Objective 1**

To maintain neighbourhood character.

#### **Strategies**

- Protect the character of the existing residential precincts.
- Require that new development responds to site context.
- Require that new development integrates with the existing architectural, historic and landscape character of the neighbourhood.
- Require that building heights respect the scale and character of existing buildings.

*The retention of the existing dwelling maintains the existing streetscape. The new dwelling will not be highly visible from Koroit Street and will have negligible impact in relation to the appearance of the street.*

*The proposed dwelling responds to site context by utilising the site fall to minimise the overall height of the dwelling, and also adequately addressing the potential for physical impacts on adjoining dwellings.*

### **Objective 2**

To develop neighbourhoods with a strong sense of place with well-designed attractive built form and landscape character.

#### **Strategies**

- Ensure development contributes to the character, identity and sense of place of the area, particularly in newly developing areas.
- Ensure new development is designed to address public spaces and enhance the public realm.

*The development will contribute to the creation of a sense of place within the laneway. The laneway currently is characterised by blank interfaces to the street as a result of having rear yards facing onto the street. The proposed dwelling addresses the street and will enhance the appearance of the laneway.*

#### 21.06-2 – Sustainable Development

### **Objective 3**

To provide a compact urban environment and a sustainable urban form.

#### **Strategies**

- Facilitate urban development to be consolidated around activity nodes and public transport routes to reduce car dependency, and maintain the existing urban settlement boundary.

*Infill development such as that proposed will provide a role in accommodating Warrnambool's residential growth, and achieving the objective of a compact urban form.*

#### Clause 21.07 – Housing

##### Clause 21.07-1 Residential Development

#### **Location of Residential Development**

Established urban areas have the potential to accommodate further residential development. There is capacity for more intensive forms of residential development within close proximity to open space, activity centres and along public transport routes.

**Objective 1**

To locate new housing within close proximity to existing and/or planned transport corridors, activity centres and open space.

**Strategies**

- Support increased residential densities in greenfield growth areas and established urban areas within close proximity to existing and/or planned transport corridors, activity centres and open space.
- Support residential infill development within established urban areas that complements the area's neighbourhood character and incorporates appropriate design standards.

*The site is suitable for additional housing, being well-located in relation to the City Centre, and the foreshore/Lake Pertobe regional open spaces.*

**Housing diversity**

Over the next two decades, Warrnambool's population is projected to age and household sizes are expected to continue to get smaller. Dwelling sizes however, are anticipated to increase. By 2031, one quarter of the City's dwellings could consist of four or more bedrooms. Careful planning is required to ensure future populations have access to a diverse range of housing options.

**Objective1**

To provide housing diversity to meet community needs

**Strategies**

- Facilitate a range of different housing types in existing urban areas and greenfield growth areas.

**CONCLUSION**

Having regard to the relevant State and Local planning policy framework, the provisions of the General Residential Zone and Clause 55 of the Warrnambool Planning Scheme, it is considered that this proposal will result in an acceptable planning outcome.

**CONSULTATION/COMMUNICATION**

Formal notification of the application was undertaken and included written notification to nearby owners and occupiers and the posting of a notice on site. The notification was carried out appropriately and in accordance with the *Planning and Environment Act 1987*.

The applicant has provided a written response to objections. Refer to **Appendix F – Applicants Response to Objections**.

A consultation meeting was held on site on Tuesday 31 January 2017. Discussion took place between the applicant and the objectors in attendance, with some of the objectors' concerns being resolved as a result of these discussions.

*The application was referred to Building Services Department in relation to compliance with building regulations.*

**FINANCIAL IMPACT**

The costs associated with the assessment of the application and any subsequent reviews have been allowed for in the City Strategy and Development budget.

**ENVIRONMENTAL/RISK IMPACT**

The proposal has been assessed against all relevant requirements of the Planning Scheme and the *Planning and Environment Act 1987*.

**APPENDIX A –APPLICATION DOCUMENTS & PROPOSED PLANS**



Planning Enquiries  
Phone: 03 5559 4800  
Web: <http://www.warrnambool.vic.gov.au>

Clear Form

Office Use Only	Warrnambool City Council
Application No.:	Date Lodged: / /
	- 2 MAY 2017
	Ref N° DEA9FOF2
	Officer Planning
	Scanned Yes / No / Chk

# Application for Planning Permit

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

Questions marked with an asterisk (\*) are mandatory and must be completed.

If the space provided on the form is insufficient, attach a separate sheet.

## The Land

1 Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address \*

Unit No.:	St. No.: 4	St. Name: Koroit Street
Suburb/Locality: Warrnambool		Postcode: 3280

Formal Land Description \*  
Complete either A or B.

This information can be found on the certificate of title.

A Lot No.: 1  Lodged Plan  Title Plan  Plan of Subdivision No.: 316460D

OR

B Crown Allotment No.: Section No.:

Parish/Township Name:

## The Proposal

You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

2 For what use, development or other matter do you require a permit? \*

If you need help about the proposal, read: [How to Complete the Application for Planning Permit Form](#)

Proposed townhouse + 2 lot subdivision

ADVERTISED

Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

3 Estimated cost of development for which the permit is required \*

Cost \$400,000  You may be required to verify this estimate.

Insert '0' if no development is proposed (eg. change of use, subdivision, removal of covenant, liquor licence)

## Existing Conditions

4 Describe how the land is used and developed now \*

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

existing residence (to be retained)

Provide a plan of the existing conditions. Photos are also helpful.



**Title Information i**

⑤ Encumbrances on title \*

If you need help about the title, read:  
How to complete the Application for Planning Permit form

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

**Applicant and Owner Details i**

⑥ Provide details of the applicant and the owner of the land.

**Applicant \***

The person who owns the permit.

Name:  Title: Ms  First Name: Emma  Surname: Sommerville

Organisation (if applicable): Designers by Nature

Postal Address:  If it is a P.O. Box, enter the details here:

Unit No.:  St. No.:  St. Name: P.O Box 634

Suburb/Locality: Warrnambool  State: VIC  Postcode: 3280

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
2 MAY 2016  
PLANNING OFFICE

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

**Contact person's details \***

Same as applicant (if so, go to 'contact information')

Name:  Title: Ms  First Name: Emma  Surname: Sommerville

Organisation (if applicable): Designers by Nature

Postal Address:  If it is a P.O. Box, enter the details here:

Unit No.:  St. No.:  St. Name: P.O Box 634

Suburb/Locality: Warrnambool  State: VIC  Postcode: 3280

Please provide at least one contact phone number \*

**Contact information**

Business Phone: 55629823  Email:

Mobile Phone:  Fax:

**Owner \***

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:  Title: Mrs  First Name: Maureen  Surname: Middleton

Organisation (if applicable):

Postal Address:  If it is a P.O. Box, enter the details here:

Unit No.:  St. No.: 4  St. Name: Koroit St

Suburb/Locality: Warrnambool  State: VIC  Postcode: 3280

Owner's Signature (Optional):  Date:

day / month / year

**Declaration i**

⑦ This form must be signed by the applicant \*

⚠ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant, and that all the information in this application is true and correct, and the owner (if not myself) has been notified of the permit application.

Signature:  Date: 28 Apr 2016

day / month / year

ADVERTISEMENT

### Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)  
General information about the planning process is available at [www.dpcd.vic.gov.au/planning](http://www.dpcd.vic.gov.au/planning)

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.


8 Has there been a pre-application meeting with a Council planning officer?

No  Yes

### Checklist

9 Have you:

*INVOICE*

- Filled in the form completely?
- Paid or included the application fee?  Most applications require a fee to be paid. Contact Council to determine the appropriate fee.
- Provided all necessary supporting information and documents?
  - A full, current copy of title information for each individual parcel of land forming the subject site
  - A plan of existing conditions
  - Plans showing the layout and details of the proposal
  - Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist
  - If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts)

Completed the relevant Council planning permit checklist?

Signed the declaration (section 7)?

### Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Warrnambool City Council  
PO Box 198 Warrnambool VIC 3280  
25 Liebig Street Warrnambool VIC 3280

Contact information:  
Telephone: 61 03 5559 4800  
Email: [wbool\\_city@warrnambool.vic.gov.au](mailto:wbool_city@warrnambool.vic.gov.au)  
DX: Ausdoc 28005

**ADVERTISED**

Deliver application in person, by fax, or by post:

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
2 MAY 2016  
PLANNING OFFICE





Copyright State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA REGD TM System. The State of Victoria accepts no responsibility for any subsequent release, publication or reproduction of the information.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 10161 FOLIO 101

Security no : 124060146941T  
Produced 28/04/2016 10:36 am

**LAND DESCRIPTION**

Lot 1 on Plan of Subdivision 316460D.  
PARENT TITLE Volume 02621 Folio 106  
Created by instrument PS316460D 23/03/1994

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
MAUREEN MARGARET MIDDLETON of 4 KOROIT STREET WARRNAMBOOL VIC 3280  
AB074875L 13/02/2002

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE PS316460D FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

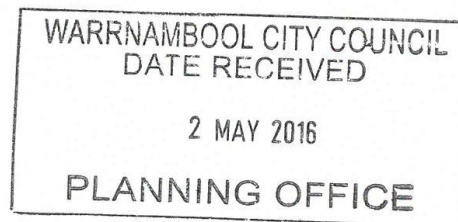
-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 4 KOROIT STREET WARRNAMBOOL VIC 3280

DOCUMENT END

**ADVERTISED**







## Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Land Victoria.

Document Type	<b>plan</b>
Document Identification	<b>PS316460D</b>
Number of Pages (excluding this cover sheet)	<b>2</b>
Document Assembled	<b>28/04/2016 10:38</b>

**Copyright and disclaimer notice:**

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. The State of Victoria accepts no responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

**ADVERTISED**



Delivered by LANDATA® Land Victoria timestamp 28/04/2016 10:37 Page 1 of 2

<b>PLAN OF SUBDIVISION</b>		STAGE No.	LTO USE ONLY <b>EDITION 1</b>	PLAN NUMBER <b>PS 316460D</b>
<b>LOCATION OF LAND</b> PARISH: <b>WANGOOM</b> TOWNSHIP: <b>WARRNAMBOOL</b> SECTION: <b>50</b> CROWN ALLOTMENT: <b>10</b> CROWN PORTION: <b>---</b> LTO BASE RECORD: <b>WANGOOM (12) (3729)</b> TITLE REFERENCES: <b>V. 2621 F. 106</b> LAST PLAN REFERENCE/S: <b>---</b> POSTAL ADDRESS: <b>2 KOROIT STREET, WARRNAMBOOL, 3280</b> AMG Co-ordinates (of approx centre of land in plan) <b>E 630250 N5749970 ZONE: 54</b>		<b>COUNCIL CERTIFICATION AND ENDORSEMENT</b> COUNCIL NAME: <b>CITY OF WARRNAMBOOL</b> REF: <b>S 20/92</b> 1. This plan is certified under Section 6 of the Subdivision Act 1988. <del>2. This plan is certified under Section 11(7) of the Subdivision Act 1988. Date of original certification under Section 6: / /</del> <del>3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.</del> OPEN SPACE (i) A requirement for public open space under Section 18 of the Subdivision Act 1988 has/has not been made. (ii) The requirement has been satisfied. (iii) The requirement is to be satisfied in Stage: ..... Council Delegate <del>Council Seal</del> Date <b>3 / 6 / 92</b>  <del>Re-certified under Section 11(7) of the Subdivision Act 1988</del> <del>Council Delegate</del> <del>Council Seal</del> <del>Date / /</del>		
<b>VESTING OF ROADS AND/OR RESERVES</b>				
IDENTIFIER	COUNCIL/BODY/PERSON			
NIL	NIL			
<b>NOTATIONS</b>				
STAGING This is not a staged subdivision. Planning permit No. _____				
DEPTH LIMITATION DOES NOT APPLY				
<b>ADVERTISED</b>				
SURVEY THIS PLAN IS <del>NOT</del> BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) _____ IN PROCLAIMED SURVEY AREA No. <b>23</b>				
<b>EASEMENT INFORMATION</b>			<b>LTO USE ONLY</b>	
LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)			STATEMENT OF COMPLIANCE/ EXEMPTION STATEMENT	
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
			RECEIVED <input checked="" type="checkbox"/>	
			DATE: <b>21 / 3 / 94.</b>	
			LTO USE ONLY	
			PLAN REGISTERED	
			TIME	
			DATE: <b>23 / 3 / 94.</b>	
			<i>J. Szagani</i>	
			Assistant Registrar of Titles	
			SHEET 1 OF 2 SHEETS	
<b>M. W. HAND PTY. LTD.</b> LAND SURVEYOR & CIVIL ENGINEER 45 BANYAN STREET, WARRNAMBOOL TEL. (055) 62 3389		LICENSED SURVEYOR (PRINT) <b>M. W. HAND</b> SIGNATURE <i>M. W. Hand</i> DATE <b>4-3-1992</b> REF <b>3281</b> VERSION <b>1</b>		DATE / / COUNCIL DELEGATE SIGNATURE ORIGINAL SHEET SIZE <b>A3</b>



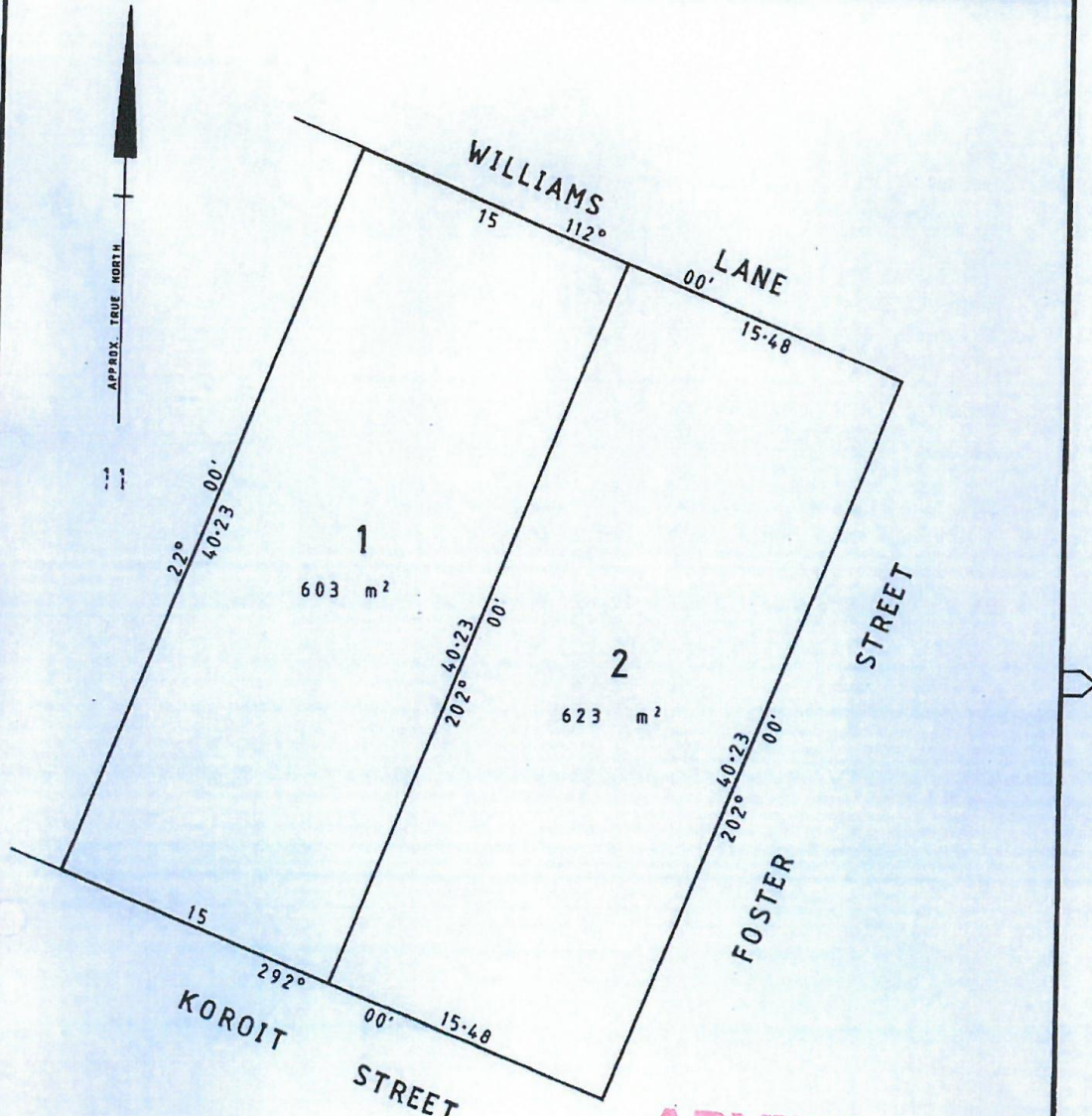
Delivered by LANDATA®. Land Victoria timestamp 28/04/2016 10:37 Page 2 of 2

**PLAN OF SUBDIVISION**

STAGE No.

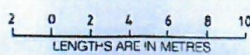
PLAN NUMBER

**PS 316460D**



**ADVERTISED**

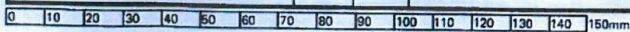
M.W. HAND PTY. LTD.  
LAND SURVEYOR & CIVIL ENGINEER  
45 BANYAN STREET, WARRNAMBOOL  
TEL. (055) 62 3389



ORIGINAL  
SCALE SHEET  
1:200 A3

LICENSED SURVEYOR (PRINT) **M. W. HAND**  
SIGNATURE *M. W. Hand* DATE 4-3-1992  
REF 3281 VERSION 1

SHEET 2 OF 2 SHEETS  
DATE / /  
COUNCIL DELEGATE SIGNATURE



Crafts Pty PS03



WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED

- 2 MAY 2016

Clause 55 Report – 2 or more dwellings

PLANNING OFFICE

4 Koroit Street (Williams Lane to rear) Warrnambool

**NEIGHBOURHOOD AND SITE DESCRIPTION AND DESIGN RESPONSE**  
**55.01-1 Neighbourhood and site description**

ADVERTISED

In relation to the neighbourhood:

- *The pattern of development of the neighbourhood*  
Development within the area is a combination of single dwellings with attached and detached garages, unit developments and infill development of vacant sites which have been subdivided. Existing dwellings are typically built close to 1m of the side boundaries and adjoining #1 Williams Lane and the existing dwelling of the subject site have garages built directly to the boundaries. The site to the west at the rear of #6 Koroit Street is currently a vacant site.

The immediate area surrounding the subject site consists mainly of single dwellings, of various different styles. There are some period style homes and some more contemporary styles, utilizing a mixture of different material types such as weatherboard, brick and render. Within Williams Lane, smaller lot sizes become apparent where larger lots have been subdivided to develop smaller homes and unit type developments. These are varied in style, form and detailing.

As a result, there is a mixture of building styles surrounding the subject site with the predominant use being residential. There is a reasonable mix in size of dwellings.

Please note that there is a recently constructed double storey dwelling at the rear of #2 Koroit Street, at #1 Williams Lane, which follows a similar two lot subdivision and one dwelling development with Williams Lane frontage and the retention of the existing dwelling with Koroit Street frontage.

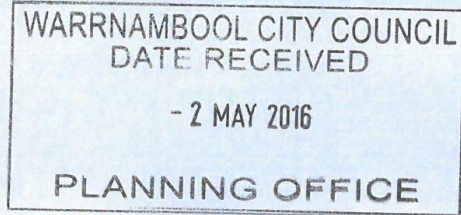
- *The built form, scale and character of surrounding development including front fencing*  
Building heights and scales vary and whilst there are mainly single storey dwellings in the immediate area double storey dwellings are apparent, particularly at the adjoining property directly to the east at #1 Williams Lane as well as directly opposite the subject site on Williams Lane.

Whilst many garages of larger lots have frontage to Williams Lane, there is also more higher density, unit development further along Williams Lane as a result of smaller subdivided lot sizes.

Williams Lane and surrounds displays a combination of building materials including red and brown brick, masonry block, renders, cement sheet, conite, weatherboards, iron and tiled roofs.

There is a mixture of front fencing styles in Williams Lane and the surrounding area. Low level picket style, full height timber paling, block walls to name a few. There are also higher timber paling fences to about 1.6-1.8 metres in height to the side boundaries of surrounding properties. Generally there is some transparency to the front gardens of Williams Lane. Window portions and styles vary from building to building.





- *Architectural and roof styles*  
There is a combination of different roof lines on Williams Lane. A mixture of tiled and iron roofs in mainly conventional, traditional hip and gable forms. Pitched at varying different angles. The adjoining dwelling at #1 Williams Lane has a more contemporary skillion style roof.
- *Any other notable features or characteristics of the neighbourhood*  
The subject site is located in a unique location, a short distance to the CBD of Warrnambool and a short walk to the foreshore. It is a residential area that is a short and convenient distance from parkland and the beach, providing green areas of public open space.

**ADVERTISED**

In relation to the site:

- *Site shape, size, orientation and easements*  
The subject site at #4 Koroit Street Warrnambool is approximately 604m<sup>2</sup> in area. The site is rectangular in shape with an approximate north east - south west orientation. The north eastern boundary has frontage to Williams Lane whilst the south western boundary has frontage to Koroit Street.

The proposal involves subdividing the subject site into two lots and creating a smaller lot of 231m<sup>2</sup> for the development of a new multi levelled dwelling. This lot will be square in shape with boundaries of 15m x 15.4m and will have frontage and access from Williams Lane.

The existing dwelling will remain on the newly created lot of approx 373m<sup>2</sup> with existing frontage and access from Koroit Street.

- *Levels of the site and the difference in levels between the site and surrounding properties*  
The north eastern corner of the site is the highest point at approx 16.99m ahd. The site then falls approx 2.66m to the northern corner, and a further 1.18m to the south west corner. There is a fall of approx 1.96m from the highest north eastern corner of the site to the south east corner of the site.

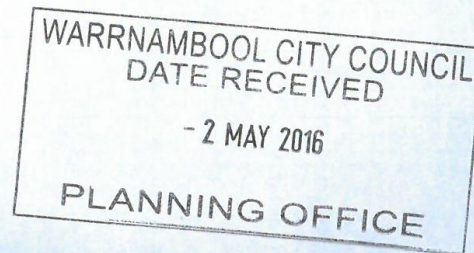
The portion of site with the existing dwelling continues to fall to the Koroit Street frontage. At the shared boundary dissecting the overall subject site, there is a retaining wall and a drop of over 1.7m from the higher subject site to the existing dwelling below.

The site and adjoining site to the east generally follow a similar pattern where there is a rise in ground level to the north east of the site/s.

Please refer to attached drawings for further details.

- *The location of existing buildings on the site and on surrounding properties, including the location and height of walls built to the boundary of the site*  
The overall subject site to be subdivided will retain the existing dwelling with frontage to Koroit Street. A portion of the existing dwelling will be located directly on the new shared boundary. This wall will be low level in height due to the drop in ground and floor levels of the existing dwelling and lot. Adjoining #1 Williams Lane has a newly constructed double storey dwelling with garage built directly to the north eastern boundary of the subject site. This wall is over 3m in height.





- *The use of surrounding buildings*  
The majority of surrounding buildings are of a residential nature.
- *The location of secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres*  
Adjoining #1 Williams Lane has a balcony to the north as well as windows to the north west which have an elevated outlook over the subject site within 9m. The existing dwelling at #4 Koroit Street also has some outlook to the subject site from rear north east facing windows and paved outdoor areas. The low level of the existing dwelling and its outdoor areas minimizes any issues of overlooking.
- *Solar access to the site and to surrounding properties*  
The subject site and adjoining sites enjoy good solar access.
- *Location of significant trees existing on the site and any significant trees removed from the site 12 months prior to the application being made, where known*  
The subject site is vacant. There are no known significant trees that have been removed from the subject site in the last 12 months.
- *Any contaminated soils and filled areas, where known*  
None known
- *Views to and from the site*  
Predominant views are to the north and south west of the subject site. The adjoining dwelling at #1 Williams Lane is also orientated to maximize these viewing opportunities. The adjoining rear of site at #6 Koroit Street is currently vacant.
- *Street frontage features such as poles, street trees and kerb crossings*  
There are no street frontage features aside from the grassed nature strip/road reserve.  
There are no poles located in front of the site.
- *The location of local shops, public transport services and public open spaces within walking distance*  
Public facilities and transport as well as the CBD are all reasonably close by and less than 1km away.  
  
The beach and Warrnambool Foreshore is also a short distance away.
- *Any other notable features or characteristics of the site*  
Nil

**ADVERTISED**



**55.01-2 Design response**

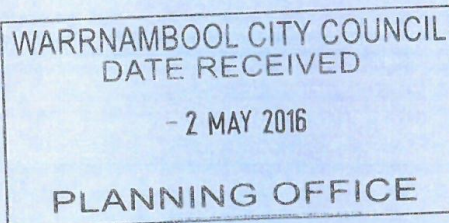
The design response must explain how the proposed design:

- *Derives from and responds to the neighbourhood and site description*
- *Meets the objectives of Clause 55*
- *Responds to any neighbourhood character features for the area identified in a local planning policy or a Neighbourhood Character Overlay*

The following Clause 55 analysis and the accompanying drawings detail how the proposal meets the objectives of Clause 55 and responds to the general neighbourhood character of the area.

The proposed works are considered appropriate and sympathetic to the subject site and the neighbouring properties along with the surrounding residential environment.

The proposed dwelling which has been sited as a response to the topography of the land, has a built form which reflects an urban yet coastal image where proposed materials are subtle, neutral and unobtrusive. The material palette which consists predominantly of lightweight horizontal cladding, masonry, extensive glazing and metal detailing, along with the simple understated style of the dwelling, enables the built form to integrate well within the site and have minimal impact on the surrounding properties.

**ADVERTISED**



WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
- 2 MAY 2016

Objective	standard	PLANNING OFFICE Achieved/variation required
-----------	----------	--

**Clause 55 analysis**

55.02 NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE		
<p><b>55.02-1 Neighbourhood character objectives</b></p> <p>To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.</p> <p>To ensure that development responds to the features of the site and the surrounding area.</p>	<p><b>Standard B1</b></p> <p>The design response must be appropriate to the neighbourhood and the site.</p> <p>The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.</p>	<p><b>Achieved</b></p> <p>The proposed dwelling is sympathetic to the existing style of the neighbouring buildings whilst also taking cues from the mixed style of surrounding built form.</p> <p>The proposal respects the existing pattern of development where the streetscape of Williams Lane has a pattern of either one dwelling fronting the street, a garage fronting Williams Lane, or undeveloped rear gardens areas and vacant sites.</p> <p>As well as continuing the existing pattern of development, the siting of the proposal also integrates well within the streetscape where larger lots have been subdivided in a similar manner to create a smaller lot with a dwelling or unit with frontage to Williams Lane.</p> <p>The contemporary style of the development integrates well with the mixed architectural style of the surrounding built form.</p> <p>The complimentary material palette also takes cues from the surrounds, utilising a mixture of lightweight horizontal cladding, masonry, extensive glazing and metal detailing.</p> <p>To better integrate with the surrounding streetscape, the proposed dwelling appears predominantly single storey in height from the Williams Lane streetscape, however the natural fall of the land accommodates the various different levels to the dwelling.</p>
<p><b>55.02-2 Residential policy objectives</b></p> <p>To ensure that residential development is provided in accordance housing in the State Planning Policy Framework and the Local including the Municipal Strategic Statement and local planning.</p> <p>To support medium densities in areas where development</p>	<p><b>Standard B2</b></p> <p>An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.</p>	<p><b>Achieved</b></p> <p>The proposed dwelling is a site responsive small scale residential development and two lot subdivision.</p> <p>The proposed development is complimentary to the residential laneway/streetscape setting and is a contemporary design solution which offers the occupants a high level of amenity whilst being within close proximity to the Warrnambool CBD, transport, community infrastructure and services.</p>

ADVERTISED



WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED

- 2 MAY 2016

PLANNING OFFICE

Objective	standard	Achieved/Variation required
transport and community infrastructure and services.		
<p><b>55.02-3 Dwelling diversity objective</b></p> <p>To encourage a range of dwelling sizes and types in developments dwellings.</p>	<p><b>Standard B3</b></p> <p>Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:</p> <ul style="list-style-type: none"> <li>Dwellings with a different number of bedrooms.</li> <li>At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.</li> </ul>	<p><b>Achieved</b></p> <p>This development consists of one proposed dwelling and the retention of the existing dwelling with frontage to Koroi Street. This small scale development provides a range of dwelling size and style.</p> <p><b>Proposed Dwelling</b></p> <p>Level One</p> <ul style="list-style-type: none"> <li>Bedroom 1 (ensuite/wir)</li> <li>Laundry</li> <li>Dual Garage</li> <li>Courtyard</li> </ul> <p>Level Two</p> <ul style="list-style-type: none"> <li>Bedrooms 2 &amp; 3</li> <li>Bathroom</li> </ul> <p>Level Three</p> <ul style="list-style-type: none"> <li>Entry</li> <li>Family/Meals/Kitchen</li> <li>Balcony</li> </ul> <p>Existing Dwelling to remain unchanged as a result of this development.</p>
<p><b>55.02-4 Infrastructure objectives</b></p> <p>To ensure development is provided with appropriate utility services and infrastructure.</p> <p>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</p>	<p><b>Standard B4</b></p> <p>Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.</p> <p>Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.</p> <p>In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.</p>	<p><b>Achieved</b></p> <p>The proposal will be provided with the satisfactory utility services so as to not overload the capacity of utility services and infrastructure.</p>
<p><b>55.02-5 Integration with the street objective</b></p> <p>To integrate the layout of development with the street.</p>	<p><b>Standard B5</b></p> <p>Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.</p> <p>Development should be oriented to front existing and proposed streets.</p>	<p><b>Achieved</b></p> <p>The proposed dwelling will have frontage to Williams Lane and the existing dwelling will retain its frontage to Koroi Street.</p> <p>The proposed development will have some front fencing to Williams Lane, however this is to provide privacy to the lower level</p>

ADVERTISED



Objective	standard	Achieved/ variation required
	<p>High fencing in front of dwellings should be avoided if practicable.</p> <p>Development next to existing public open space should be laid out to complement the open space.</p>	<p>courtyard. Due to the fall of the land, and the various levels of the dwelling, there will be good integration with the streetscape and a good level of passive surveillance from the extensive glazing and the balcony at the upper floor.</p> <p>Lot size and layout is generally in line with the pattern of development at adjoining #2 Koroit Street and its subdivision resulting in the creation of #1 Williams Lane to the rear. A similar pattern of development is also emerging in the surrounding area.</p>

**55.03 SITE LAYOUT AND BUILDING MASSING**

<b>55.03-1 Street setback objective</b>	<b>Standard B6</b>	<b>Achieved</b>
<p>To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</p>	<p>Walls of buildings should be set back from streets:</p> <ul style="list-style-type: none"> <li>At least the distance specified in the schedule to the zone, or</li> <li>If no distance is specified in the schedule to the zone, the distance specified below.</li> </ul> <p>There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.</p> <ul style="list-style-type: none"> <li>The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.</li> </ul> <p>There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.</p> <ul style="list-style-type: none"> <li>The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.</li> </ul> <p>There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.</p> <ul style="list-style-type: none"> <li>6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.</li> </ul> <p>The site is on a corner.</p> <ul style="list-style-type: none"> <li>If there is a building on the abutting allotment facing the front street, the same distance as the setback of</li> </ul>	<p>The adjoining residence at #1 Williams Lane has a street setback of approximately 3.79m to its facade however its front balcony encroaches further into this front setback.</p> <p>The adjoining western site is currently vacant.</p> <p>The proposed dwelling will have a minimum street setback of approximately 4.5m to the lower level garage/balcony above. This dimension is generally in keeping with the setback of adjoining #1 and allows for some landscaping and a green foreground presenting to the streetscape.</p>

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
- 2 MAY 2016  
PLANNING OFFICE

ADVERTISED



Objective	standard	Achieved/ variation required
	<p>the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.</p> <ul style="list-style-type: none"> <li>If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.</li> <li>Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser.</li> <li>Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.</li> </ul> <p>Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.</p>	<div data-bbox="922 680 1378 898" style="border: 1px solid black; padding: 5px; text-align: center;"> <p>WARRNAMBOOL CITY COUNCIL DATE RECEIVED - 2 MAY 2016 PLANNING OFFICE</p> </div> <p style="color: red; font-size: 24px; font-weight: bold; text-align: center;">ADVERTISED</p>
<p><b>55.03-2 Building height objective</b></p> <p>To ensure that the height of buildings respects the existing or preferred neighbourhood character.</p>	<p><b>Standard B7</b></p> <p>The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.</p> <p>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.</p> <p>Changes of building height between existing buildings and new buildings should be graduated.</p>	<p><b>Achieved</b></p> <p>The height of the proposed dwelling is compliant.</p> <p>The adjoining dwelling at #1 Williams Lane is double storey and set up at a higher point of the land.</p> <p>The fall of the land has provided the opportunity to create various floor levels however from the streetscape the dwelling will generally not appear to be much greater in height than a single storey dwelling.</p> <p>Following the fall of the land as well as incorporating flat roofed forms ensures that the dwelling sits comfortably within the site and ensures that the height of the dwelling respects the existing neighbourhood character and does not overwhelm.</p> <p>The proposed development is innovative and respects the scale, height, mass, form and architectural features of surrounding buildings.</p>



WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED

- 2 MAY 2016

PLANNING OFFICE

Objective	standard	Achieved/ variation required
<p><b>55.03-3 Site coverage objective</b></p> <p>To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</p>	<p><b>Standard B8</b></p> <p>The site area covered by buildings should not exceed:</p> <ul style="list-style-type: none"> <li>The maximum site coverage specified in the schedule to the zone, or</li> <li>If no maximum site coverage is specified in the schedule to the zone, 60 per cent.</li> </ul>	<p><b>Achieved</b></p> <p>The site coverage of the proposed dwelling is as follows:</p> <p>Site area = 231m<sup>2</sup> Dwelling (level 1 &amp; 2) = 134.63m<sup>2</sup> Site Coverage = 58.3%</p>
<p><b>55.03-4 Permeability objectives</b></p> <p>To reduce the impact of increased stormwater run-off on the drainage system. To facilitate on-site stormwater infiltration.</p>	<p><b>Standard B9</b></p> <p>At least 20 per cent of the site should not be covered by impervious surfaces.</p>	<p><b>Achieved</b></p> <p>As above, approximately 58.3% of the lot will be covered with impervious surfaces.</p> <p>The driveway, courtyard and entry deck will all be of a permeable surface.</p> <p>Therefore, well over 20% of the site will be permeable and not covered by impervious surfaces.</p>
<p><b>55.03-5 Energy efficiency objectives</b></p> <p>To achieve and protect energy efficient dwellings and residential buildings.</p> <p>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</p>	<p><b>Standard B10</b></p> <p>Buildings should be:</p> <ul style="list-style-type: none"> <li>Oriented to make appropriate use of solar energy.</li> <li>Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.</li> </ul> <p>Living areas and private open space should be located on the north side of the development, if practicable.</p> <p>Developments should be designed so that solar access to north-facing windows is maximised.</p>	<p><b>Achieved</b></p> <p>The design of the dwelling includes the location of living areas predominantly to the north and north east, as well as outdoor areas to provide private open space with good solar access.</p> <p>Where possible, larger amounts of glazing have been provided to the north.</p> <p>The existing dwelling at #4 Koroit Street, which is to be retained, as well as the existing dwelling to the east at #1 Williams Lane, will not be impacted as a result of the proposal. Siting of the proposed dwelling, along with proposed and existing setbacks ensure that each dwelling will not be detrimentally affected.</p>
<p><b>55.03-6 Open space objective</b></p> <p>To integrate the layout of development with any public and communal open space provided in or adjacent to the development.</p>	<p><b>Standard B11</b></p> <p>If any public or communal open space is provided on site, it should:</p> <ul style="list-style-type: none"> <li>Be substantially fronted by dwellings, where appropriate.</li> <li>Provide outlook for as many dwellings as practicable.</li> <li>Be designed to protect any natural features on the site.</li> <li>Be accessible and useable</li> </ul>	<p><b>N/A</b></p> <p>No public open space proposed.</p>

ADVERTISED



Objective	standard	Achieved/ variation required
<p><b>55.03-7 Safety objective</b></p> <p>To ensure the layout of development provides for the safety and security of residents and property.</p>	<p><b>Standard B12</b></p> <p>Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.</p> <p>Planting which creates unsafe spaces along streets and accessways should be avoided.</p> <p>Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.</p> <p>Private spaces within developments should be protected from inappropriate use as public thoroughfares.</p>	<p><b>Achieved</b></p> <p>The entrance to the proposed dwelling is clearly visible from Williams Lane.</p> <p>The entrance will be well lit, and planting on the lot will include indigenous low lying shrubs and trees.</p> <p>The driveway is visible from Williams Lane and the proposed dwelling, to promote a safe environment.</p> <p>Due to the nature of the site, it will be unable to be used inappropriately as a public thoroughfare.</p>
<p><b>55.03-8 Landscaping objectives</b></p> <p>To encourage development that respects the landscape character of the neighbourhood.</p> <p>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</p> <p>To provide appropriate landscaping.</p> <p>To encourage the retention of mature vegetation on the site.</p>	<p><b>Standard B13</b></p> <p>The landscape layout and design should:</p> <ul style="list-style-type: none"> <li>• Protect any predominant landscape features of the neighbourhood.</li> <li>• Take into account the soil type and drainage patterns of the site.</li> <li>• Allow for intended vegetation growth and structural protection of buildings.</li> <li>• In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.</li> <li>• Provide a safe, attractive and functional environment for residents.</li> </ul> <p>Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</p> <p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p>	<p><b>Achieved</b></p> <p>The compact site will be landscaped to respect the character of the neighbourhood.</p> <p>A safe, attractive and functional environment for the residents will be provided.</p>

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
- 2 MAY 2016  
PLANNING OFFICE

ADVERTISED



Objective	standard	Achieved/ variation required
<p><b>55.03-9 Access objectives</b></p> <p>To ensure vehicle access to and from a development is safe, manageable and convenient.</p> <p>To ensure the number and design of vehicle crossovers respects the neighbourhood character.</p>	<p><b>Standard B14</b></p> <p>Accessways should:</p> <ul style="list-style-type: none"> <li>• Be designed to allow convenient, safe and efficient vehicle movements and connections within the development and to the street network.</li> <li>• Be designed to ensure vehicles can exit a development in a forwards direction if the accessway serves five or more car spaces, three or more dwellings, or connects to a road in a Road Zone.</li> <li>• Be at least 3 metres wide.</li> <li>• Have an internal radius of at least 4 metres at changes of direction.</li> <li>• Provide a passing area at the entrance that is at least 5 metres wide and 7 metres long if the accessway serves ten or more spaces and connects to a road in a Road Zone.</li> </ul> <p>The width of accessways or car spaces should not exceed:</p> <ul style="list-style-type: none"> <li>• 33 per cent of the street frontage, or</li> <li>• if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.</li> </ul> <p>No more than one single-width crossover should be provided for each dwelling fronting a street.</p> <p>The location of crossovers should maximise the retention of on-street car parking spaces.</p> <p>The number of access points to a road in a Road Zone should be minimised.</p> <p>Developments must provide for access for service, emergency and delivery vehicles.</p>	<p><b>Achieved</b></p> <p>A proposed crossover is to be built at the northern corner of the site to serve the proposed dwellings driveway.</p> <p>Vehicles will be able to enter and exit the site in efficient vehicle movements.</p> <p>The total width of crossover is approx. 3.4m or 23% of the street frontage. This complies with the standard. Final cross over details will be as per council recommendations.</p> <p>The proposal has been designed with regard to safe access, and is not considered to be a detrimental outcome for Williams Lane.</p> <p>The single access point does not greatly reduce the availability of on street parking.</p> <p>Vehicular access from Koroit Street will be retained to the existing dwelling and garage.</p>
<p><b>55.03-10 Parking location objectives</b></p> <p>To provide convenient parking for resident and visitor vehicles.</p> <p>To avoid parking and traffic difficulties in the</p>	<p><b>Standard B15</b></p> <p>Car parking facilities should:</p> <ul style="list-style-type: none"> <li>• Be reasonably close and convenient to dwellings and residential buildings.</li> <li>• Be secure.</li> </ul>	<p><b>Achieved</b></p> <p>The proposed dwelling is provided with an attached double garage. The garage has direct access into the dwelling.</p>

**WARRNAMBOOL CITY COUNCIL**  
 DATE RECEIVED  
 - 2 MAY 2016  
 PLANNING OFFICE  
**ADVERTISED**



Objective	standard	Achieved/ variation required
<p>development and the neighbourhood.</p> <p>To protect residents from vehicular noise within developments.</p>	<ul style="list-style-type: none"> <li>• Be designed to allow safe and efficient movements within the development.</li> <li>• Be well ventilated if enclosed.</li> </ul> <p>Large parking areas should be broken up with trees, buildings or different surface treatments.</p> <p>Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p>	
<p><b>55.03-11 Parking provision objectives</b></p> <p>To ensure that car and bicycle parking for residents and visitors is appropriate to the needs of residents.</p> <p>To ensure that the design of parking and access areas is practical and attractive and that these areas can be easily maintained.</p>	<p><b>Standard B16</b></p> <p>Car parking for residents should be provided as follows:</p> <ul style="list-style-type: none"> <li>• One space for each one or two bedroom dwelling.</li> <li>• Two spaces for each three or more bedroom dwelling, with one space under cover.</li> </ul> <p>Studies or studios that are separate rooms must be counted as bedrooms.</p> <p>Developments of five or more dwellings should provide visitor car parking of one space for every five dwellings. The spaces should be clearly marked as visitor parking.</p> <p>In developments of five or more dwellings, bicycle parking spaces should be provided.</p> <p>Car spaces and accessways should have the minimum dimensions specified below.</p> <p>Car spaces in garages, carports or otherwise constrained by walls should be at least 6 metres long and 3.5 metres wide for a single space and 5.5 metres wide for a double space measured inside the garage or carport.</p> <p>A building may project into the space if it is at least 2.1 metres above the space.</p> <p>Car parking facilities should:</p> <ul style="list-style-type: none"> <li>• Be designed for efficient use and management.</li> <li>• Minimise the area of hard surface.</li> <li>• Be designed, surfaced and graded to reduce run-off</li> </ul>	<p><b>Achieved</b></p> <p>The proposed 3 bedroom dwelling is provided with the following parking:</p> <p>Dual garage – 6.2m x 6m (includes storage area)</p> <p>There is also additional parking area on the proposed driveway.</p> <p>The existing dwelling has a garage as well as driveway area for additional off street parking.</p>

ADVERTISED

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
- 2 MAY 2016  
PLANNING OFFICE



WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED

- 2 MAY 2016

Objective	standard	Achieved/variation required
and allow stormwater to drain into the site. <ul style="list-style-type: none"> <li>Be lit.</li> </ul>		
<b>55.04 AMENITY IMPACTS</b>		
<b>55.04-1 Side and rear setbacks objective</b>  To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.	<b>Standard B17</b>  A new building not on or within 150mm of a boundary should be set back from side or rear boundaries: <ul style="list-style-type: none"> <li>At least the distance specified in the schedule to the zone, or</li> <li>If no distance is specified in the schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</li> </ul> Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.  Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.	<b>Achieved/Variation</b>  Whilst the proposed height and setback of the dwelling respects the existing neighbourhood character (including that of the neighbouring dwelling built to the shared boundary at the east) and limits the impact on the amenity of existing dwellings, there are variations required.  A portion of the proposed wall to boundary at the west exceeds the requirements by a minimal amount. This wall and part of the building forms part of the balcony and is considered reasonable and will not cause detriment to the neighbouring (vacant) lot.  A portion of building and wall to boundary at the east also exceeds the requirements by a minimal amount. This too is considered reasonable and is not detrimental to the neighbouring dwelling at the east as this adjoining property has a garage wall built directly to the boundary at this same point.
<b>55.04-2 Walls on boundaries objective</b>  To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.	<b>Standard B18</b>  A new wall constructed on or within 150mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary for a length of more than: <ul style="list-style-type: none"> <li>10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or</li> <li>Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater.</li> </ul> A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or	<b>Achieved/Variation</b>  The eastern boundary has a proposed wall built to the boundary with a length of approx 7.7m. This wall length is compliant. Max height 4.128m. Min height 3.525m. <b>A variation is required</b> for the heights of this wall. Whilst the height of this wall exceeds the requirement, the wall will abut an existing wall on the adjoining property of similar height.  A wall of approx 10.7m in length is proposed to be built directly to the western boundary. This wall length is compliant. This boundary adjoins a vacant lot. This wall length is split into two different portions. The 6.38m length has a max height of 4.439m and a min height of 3.858m. <b>A variation is required</b> for the heights of this wall. The second portion of this wall on boundary is 4.52m long with a max height of 2.6m and min height of 2.439m. This portion of wall height is compliant.

ADVERTISE



WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
- 2 MAY 2016

Objective	standard	Achieved/ variation required
	<p>carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 150mm from a boundary.</p> <p>The height of a new wall constructed on or within 150mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	<p>Whilst some variations are required for the proposed walls on boundaries, the fall of the land ensures that the dwelling will not dominate and will not have a detrimental impact upon other neighbouring properties.</p>
<p><b>55.04-3 Daylight to existing windows objective</b></p> <p>To allow adequate daylight into existing habitable room windows.</p>	<p><b>Standard B19</b></p> <p>Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky.</p> <p>The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window.</p> <p>The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> <p>Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p>	<p><b>Achieved</b></p> <p>The existing dwelling to be subdivided on the subject site has two habitable room windows to the north east facade however, due to the existing and proposed setbacks, and the wall and building heights of the proposed dwelling, these windows will not become affected as outlined in this standard.</p> <p>Adequate daylight into neighbouring windows will be maintained.</p>
<p><b>55.04-4 North-facing windows objective</b></p> <p>To allow adequate solar access to existing north-facing habitable room windows.</p>	<p><b>Standard B20</b></p> <p>If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window.</p> <p>A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.</p>	<p><b>Achieved</b></p> <p>As above, the existing dwelling to be subdivided on the subject site has two habitable room windows to the north east facade however the setback to the shared boundary is over 3m at approx 3.5m.</p> <p>Due to the layout of the proposed subdivision and the siting of the proposed dwelling with appropriate setbacks and building heights, this existing dwelling will not be detrimentally affected as a result of the proposal.</p>

ADVERTISED



Objective	standard	Achieved/ variation required
<p><b>55.04-5 Overshadowing open space objective</b></p> <p>To ensure buildings do not significantly overshadow existing secluded private open space.</p>	<p><b>Standard B21</b></p> <p>Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.</p> <p>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</p>	<p><b>Achieved</b></p> <p>Please see 'Sun Diagrams' submitted with this application.</p> <p>There is no significant overshadowing of the adjoining dwellings as a result of this proposal.</p> <p>It should also be noted that existing boundary fencing and retaining walls would also cast shadow onto adjoining properties.</p>
<p><b>55.04-6 Overlooking objective</b></p> <p>To limit views into existing secluded private open space and habitable room windows.</p>	<p><b>Standard B22</b></p> <p>A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio.</p> <p>Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p>A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:</p> <ul style="list-style-type: none"> <li>• Offset a minimum of 1.5 metres from the edge of one window to the edge of the other,</li> <li>• Have sill heights of at least 1.7 metres above floor level.</li> <li>• Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.</li> <li>• Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent. Obscure</li> </ul>	<p><b>Achieved</b></p> <p>There are no issues with overlooking to the east of the subject site at # 1 Williams Lane, as there are no proposed windows or balconies to this elevation due to the walls on boundary.</p> <p>Some natural screening in the form of landscaping will also be used throughout the development, particularly to the streetscape.</p> <p>This is considered to be an adequate outcome.</p>

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
- 2 MAY 2016  
PLANNING OFFICE

ADVERTISED



Objective	standard	Achieved/ variation required
	<p>glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.</p> <p>Screens used to obscure a view should be:</p> <ul style="list-style-type: none"> <li>• Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.</li> <li>• Permanent, fixed and durable.</li> <li>• Designed and coloured to blend in with the development.</li> </ul> <p>This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</p>	
<p><b>55.04-8 Noise Impacts objectives</b></p> <p>To contain noise sources in developments that may affect existing dwellings.</p> <p>To protect residents from external noise.</p>	<p><b>Standard B24</b></p> <p>Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings.</p> <p>Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties.</p> <p>Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.</p>	<p><b>Achieved</b></p> <p>The use of the development is residential and thus will not cause any more noise impacts as currently exists in the surrounding neighbourhood.</p>
<p><b>55.05 ON-SITE AMENITY AND FACILITIES</b></p>		
<p><b>55.05-1 Accessibility objective</b></p> <p>To encourage the consideration of the needs of people with limited mobility in the design of developments.</p>	<p><b>Standard B25</b></p> <p>The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.</p>	<p><b>Achieved/Variation</b></p> <p>Due to the fall of the land, the main entry and living areas of the proposed dwelling will generally be accessible from street level.</p> <p>All other rooms are on the lower levels and therefore would make accessibility difficult for people of limited mobility.</p>
<p><b>55.05-2 Dwelling entry objective</b></p>	<p><b>Standard B26</b></p>	<p><b>Achieved</b></p>

ADVERTISED

**WARRNAMBOOL CITY COUNCIL**  
 DATE RECEIVED  
**- 2 MAY 2016**  
 Middleton - 4 Koroit Street Warrnambool (Williams Lane to rear) - April 2016  
**PLANNING OFFICE**



Objective	standard	Achieved/ variation required
To provide each dwelling or residential building with its own sense of identity.	<p>Entries to dwellings and residential buildings should:</p> <ul style="list-style-type: none"> <li>• Be visible and easily identifiable from streets and other public areas.</li> <li>• Provide shelter, a sense of personal address and a transitional space around the entry.</li> </ul>	The entry to the proposed dwelling is defined by individual features such as a prominent portico with entry path direct from the street.
<p><b>55.05-3 Daylight to new windows objective</b></p> <p>To allow adequate daylight into new habitable room windows.</p>	<p><b>Standard B27</b></p> <p>A window in a habitable room should be located to face:</p> <ul style="list-style-type: none"> <li>• An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or</li> <li>• A verandah provided it is open for at least one third of its perimeter, or</li> <li>• A carport provided it has two or more open sides and is open for at least one third of its perimeter.</li> </ul>	<p><b>Achieved</b></p> <p>All new habitable room windows to the proposed dwelling are located to the north, south or west where they gain sufficient daylight.</p> <p>There are no existing walls built to the boundaries which would overshadow new habitable room windows.</p>
<p><b>55.05-4 Private open space objective</b></p> <p>To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	<p><b>Standard B28</b></p> <p>A dwelling or residential building should have private open space of an area and dimensions specified in the schedule to the zone.</p> <p>If no area or dimensions are specified in the schedule to the zone, a dwelling or residential building should have private open space consisting of:</p> <ul style="list-style-type: none"> <li>• An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or</li> <li>• A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or</li> <li>• A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.</li> </ul>	<p><b>Achieved</b></p> <p><u>Proposed Dwelling - POS</u></p> <p>21.28m<sup>2</sup> - Courtyard 19.78m<sup>2</sup> - Balcony + additional small rear yard area.</p> <p>POS areas are compliant as the balcony is well over 8 square metres and the minimum balcony width is approx 3m. The balcony is conveniently located off the main living areas.</p> <p>Whilst the lower level courtyard is located off the main bedroom and is just under 25 square metres, its minimum dimension is approx 3.5m and its north east frontage makes for a pleasant outdoor space.</p> <p>Additional rear yard space also contributes to the total area of POS.</p> <p>The existing dwelling to be retained will have adequate areas of POS to the north, east and west as well as an existing enclosed front garden and outdoor area at the Korolt Street facade.</p>
<p><b>55.05-5 Solar access to open space objective</b></p>	<p><b>Standard B29</b></p>	<p><b>Achieved</b></p>

ADVERTISED

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
- 2 MAY 2016  
PLANNING OFFICE



Objective	standard	Achieved/ variation required
To allow solar access into the secluded private open space of new dwellings and residential buildings.	<p>The private open space should be located on the north side of the dwelling or residential building, if appropriate.</p> <p>The southern boundary of secluded private open space should be set back from any wall on the north of the space at least <math>(2 + 0.9h)</math> metres, where 'h' is the height of the wall.</p>	The proposed dwellings SPOS is primarily located to the north/north east to receive good solar access. This dwelling also has additional SPOS/POS located to the east, west and south.
<b>55.05-6 Storage objective</b>	<b>Standard B30</b>	<b>Achieved</b>
To provide adequate storage facilities for each dwelling.	Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.	The proposed dwelling has ample secure storage area in the garage.
<b>55.06 DETAILED DESIGN</b>		
<b>55.06-1 Design detail objective</b>	<b>Standard B31</b>	<b>Achieved</b>
To encourage design detail that respects the existing or preferred neighbourhood character.	<p>The design of buildings, including:</p> <ul style="list-style-type: none"> <li>• Facade articulation and detailing,</li> <li>• Window and door proportions,</li> <li>• Roof form, and</li> <li>• Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character.</li> </ul> <p>Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</p>	<p>The proposed dwelling is designed in regard to the existing neighbourhood character and although the proposed built form is a contemporary interpretation, cues are taken from surrounding built form, window proportion, decks and façade detailing.</p> <p>Whilst the garage is located at the front façade of the dwelling the upper level built form, glazing and balcony are the dominant view. The entry, fenestration and material palette combine to provide the focal point to the dwelling.</p>
<b>55.06-2 Front fences objective</b>	<b>Standard B32</b>	<b>Achieved</b>
To encourage front fence design that respects the existing or preferred neighbourhood character.	<p>The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.</p> <p>A front fence within 3 metres of a street should not exceed:</p> <ul style="list-style-type: none"> <li>• The maximum height specified in the schedule to the zone, or</li> <li>• If no maximum height is specified in the schedule to the zone, the maximum height specified in Table B3.</li> </ul>	<p>Due to the fall of the land, front fencing will not dominate and respects the neighbourhood character.</p> <p>The front fencing will provide privacy to the main bedroom and courtyard at the lower level whilst complimenting the design of the dwelling and allowing the upper level to engage with the streetscape.</p>

ADVERTISED

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
2 MAY 2016  
PLANNING OFFICE



Objective	standard	Achieved/ variation required
	Streets in a Road Zone, Category 1 <ul style="list-style-type: none"> <li>• 2 metres</li> </ul> Other streets <ul style="list-style-type: none"> <li>• 1.5 metres</li> </ul>	
<b>55.06-3 Common property objectives</b>  To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.  To avoid future management difficulties in areas of common ownership.	<b>Standard B33</b>  Developments should clearly delineate public, communal and private areas.  Common property, where provided, should be functional and capable of efficient management.	<b>N/A</b>  No common property is proposed.
<b>55.06-4 Site services objectives</b>  To ensure that site services can be installed and easily maintained.  To ensure that site facilities are accessible, adequate and attractive.	<b>Standard B34</b>  The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.  Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.  Bin and recycling enclosures should be located for convenient access by residents.  Mailboxes should be provided and located for convenient access as required by Australia Post.	<b>Achieved</b>  The design of the proposed dwelling and the layout of the lot provides for sufficient space for facilities to be installed and serviced.  Bin and recycling storage areas are located in the garage of the proposed dwelling or within the courtyard area.  The mail box will be provided adjoining the path to the portico at Williams Lane.

WARRNAMBOOL CITY COUNCIL  
 DATE RECEIVED  
 - 2 MAY 2016  
 PLANNING OFFICE

ADVERTISED



**Assessment Table – Residential Subdivision  
(Clause 56)**

4 Koroit Street (rear Williams Lane) Warrnambool  
Proposed 2 Lot Subdivision

**ADVERTISED**

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
2 MAY 2016  
PLANNING OFFICE

Livable and Sustainable Communities

Clause 56.03

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p><b>C6 (56.03-5)</b> <b>Neighbourhood character</b> To design subdivisions that respond to neighbourhood character.</p>	<p>Subdivision should:</p> <ul style="list-style-type: none"> <li>• Respect the existing neighbourhood character or achieve a preferred neighbourhood character consistent with any relevant neighbourhood character objective, policy or statement set out in this scheme.</li> <li>• Respond to and integrate with the surrounding urban environment.</li> <li>• Protect significant vegetation and site features.</li> </ul>	<p>✓ <b>Complies</b></p> <p>Existing character of the area consists of predominantly residential dwellings, and units, built in various differing architectural styles and forms. Surrounding lot sizes vary however the property to the east has been subdivided and developed in a similar manner to what is proposed.</p> <p>Williams Lane consists of rear gardens and garages of larger residential lots or smaller lots which have been subdivided and developed with a modest sized dwelling or units.</p> <p>The subject site is currently a vacant portion of the overall lot and generally free of any significant vegetation and site features. The site is located at the rear of #4 Koroit Street Warrnambool, with frontage to Williams Lane at the rear.</p> <p>The application is for a proposed subdivision to create 2 x lots and the development of 1 x dwelling. The existing dwelling is to be retained. There are no common areas or roads proposed.</p> <p>The overall lot size to be subdivided is approximately 604m<sup>2</sup>. The new proposed lot with frontage to Williams Lane will have an area of approx 231m<sup>2</sup> and the portion of lot with existing dwelling will have an area of 373m<sup>2</sup>.</p> <p>The proposed lot with frontage to Williams Lane provides adequate area for the development of a dwelling which is generally in keeping with the pattern of development of the neighbouring properties.</p> <p>The proposed layout respects the existing neighbourhood character and integrates well with the surrounding streetscape. Neighbouring properties are similar in alignment and dwelling siting, particularly the adjoining dwelling at #1 Williams Lane.</p>

ADVERTISED

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
2 MAY 2015  
PLANNING OFFICE



Lot Design

Clause 56.04

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p><b>C8 (56.04-2)</b> <b>Lot area and building envelopes</b> To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and parking, water management, easements and the retention of significant vegetation and site features.</p>	<p>An application to subdivide land that creates lots of less than 300 square metres should be accompanied by information that shows:</p> <ul style="list-style-type: none"> <li>That the lots are consistent or contain building envelope that is consistent with a development approved under this scheme, or</li> <li>That a dwelling may be constructed on each lot in accordance with the requirements of this scheme.</li> </ul>	<p>✓ <b>Complies</b></p> <p>The proposed subdivision complies with this standard. The proposed lot with frontage to Williams Lane consists of adequate area for the development of the proposed dwelling whilst also responding to the site shape and topography and allowing each lot to receive sufficient solar gain and minimise impact upon neighbouring properties.</p>
	<p>Lots of between 300 square metres and 500 square metres should:</p> <ul style="list-style-type: none"> <li>Contain a building envelope that is consistent with a development of the lot approved under this scheme, or</li> <li>If no development of the lot has been approved under this scheme, contain a building envelope and be able to contain a rectangle measuring 10 metres by 15 metres, or 9 metres by 15 metres if a boundary wall is nominated as part of the building envelope.</li> </ul>	<p>N/A</p> <p>The existing dwelling with frontage to Koroit Street is to be retained.</p>
	<p>If lots of between 300 square metres and 500 square metres are proposed to contain dwellings that are built to the boundary, the long axis of the lots should be within 30 degrees east and 20 degrees west of north unless there are significant physical constraints that make this difficult to achieve.</p>	<p>N/A</p>
	<p>Lots greater than 500 square metres should be able to contain a rectangle measuring 10 metres by 15 metres, and may contain a building envelope.</p>	<p>N/A</p>

VERTISED

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
2 MAY 2015  
PLANNING OFFICE

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	<p>A building envelope may specify or incorporate any relevant siting and design requirement. Any requirement should meet the relevant standards of Clause 54, unless:</p> <ul style="list-style-type: none"> <li>The objectives of the relevant standards are met, and</li> <li>The building envelope is shown as a restriction on a plan of subdivision registered under the Subdivision Act 1988, or is specified as a covenant in an agreement under Section 173 of the Act.</li> </ul>	<p>✓ <b>Complies</b></p> <p>Application includes development drawings of 1 x dwelling which is satisfactorily sited on the proposed lot to ensure access to solar gain, adequate private open space (pos), vehicle access and parking. The dwelling has also been designed and sited to ensure no loss of amenity to neighbouring properties.</p> <p>The lot areas and alignments, and the separation of built forms ensure that the buildings will not overwhelm the residential setting.</p>
	<p>Where a lot with a building envelope adjoins a lot that is not on the same plan of subdivision or is not subject to the same agreement relating to the relevant building envelope:</p> <ul style="list-style-type: none"> <li>The building envelope must meet Standards A10 and A11 of Clause 54 in relation to the adjoining lot, and</li> <li>The building envelope must not regulate siting matters covered by Standards A12 to A15 (inclusive) of Clause 54 in relation to the adjoining lot. This should be specified in the relevant plan of subdivision or agreement.</li> </ul>	<p><b>Variation Required</b></p> <p>The development application has sited and designed the proposed dwelling at the proposed lot fronting Williams Lane. Therefore a building envelope as such has not been provided. Whilst the proposed development will have no detrimental impact upon neighbouring properties, as per the Clause 55 report, there are some variations required, particularly with regards to the proposed walls on boundary. These variations are considered reasonable and minimal.</p>
	<p>Lot dimensions and building envelopes should protect:</p> <ul style="list-style-type: none"> <li>Solar access for future dwellings and support the siting and design of dwellings that achieve the energy rating requirements of the Building Regulations.</li> <li>Existing or proposed easements on lots.</li> <li>Significant vegetation and site features.</li> </ul>	<p>✓ <b>Complies</b></p> <p>The proposed lot dimensions and accompanying development application drawings of the 1 x Proposed dwelling demonstrate how the proposed dwelling and neighbouring properties will receive adequate solar access.</p> <p>The proposed design of the dwelling including the location of glazing and secluded private outdoor space, at both ground floor and first floor levels, ensure access to sufficient north solar gain.</p> <p>There are no significant vegetation or site features that will be detrimentally affected as a result of this proposal. The proposed development will actually result in a gain in vegetation with extensive landscaping proposed, particularly to the site boundaries.</p>

ADVERTISED

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
2 MAY 2015  
PLANNING OFFICE



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p><b>C9 (56.04-3)</b> <b>Solar orientation of lots</b> To provide good solar orientation of lots and solar access for future dwellings.</p>	<p>Unless the site is constrained by topography or other site conditions, at least 70 percent of lots should have appropriate solar orientation.</p>	<p>✓ <b>Complies</b></p> <p>Other than the location of the existing dwelling, which is built directly to the south shared boundary of the proposed lot to the rear, the subject site is currently not constrained by any features and receives maximum solar orientation. The existing dwelling location and the desire to obtain sufficient solar gain as well as take in the surrounding views are factors which when combined together have determined the proposed lot alignments and sizes.</p> <p>The proposed lots are oriented to make appropriate use of solar energy.</p> <p>The proposed lots (and proposed dwelling) have been sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not reduced.</p> <p>The proposed main living areas and private open space of the proposed dwelling have been located to receive adequate solar gain from the north.</p>
<p><b>ADVERTISED</b></p>	<p>Lots have appropriate solar orientation when:</p> <ul style="list-style-type: none"> <li>The long axis of lots are within the range north 20 degrees west to north 30 degrees east, or east 20 degrees north to east 30 degrees south.</li> <li>Lots between 300 square metres and 500 square metres are proposed to contain dwellings that are built to the boundary; the long axis of the lots should be within 30 degrees east and 20 degrees west of north.</li> <li>Dimensions of lots are adequate to protect solar access to the lot, taking into account likely dwelling size and the relationship of each lot to the street.</li> </ul>	<p>✓ <b>Complies</b></p> <p>Each of the proposed lots receives sufficient solar access.</p> <p>The appropriate design of the proposed dwelling has effectively achieved the intent of this standard.</p> <p>Each proposed lot and the proposed dwelling will receive adequate northern solar gain as well as solar gain from the east and west where applicable.</p> <p>The existing dwelling will continue to receive adequate solar gain.</p>

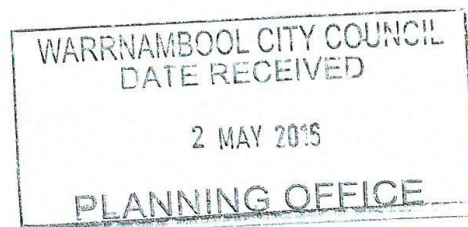
WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
2 MAY 2019  
PLANNING OFFICE

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p><b>C11 (56.04-5)</b> <b>Common area</b> To identify common areas and the purpose for which the area is commonly held.</p> <p>To ensure the provision of common area is appropriate and that necessary management arrangements are in place.</p> <p>To maintain direct public access throughout the neighbourhood street network.</p>	<p>An application to subdivide land that creates common land must be accompanied by a plan and a report identifying:</p> <ul style="list-style-type: none"> <li>The common area to be owned by the body corporate, including any streets and open space.</li> <li>The reasons why the area should be commonly held.</li> <li>Lots participating in the body corporate.</li> <li>The proposed management arrangements including maintenance standards for streets and open spaces to be commonly held.</li> </ul>	<p>- N/A</p> <p>No common areas are proposed.</p>

Clause 56.06

Urban Landscape

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p><b>C21 (56.06-8)</b> <b>Lot access</b> To provide for safe vehicle access between roads and lots.</p>	<p>Vehicle access to lots abutting arterial roads should be provided from service roads, side or rear access lanes, access places or access streets where appropriate and in accordance with the access management requirements of the relevant roads authority.</p>	<p>- N/A</p>
	<p>Vehicle access to lots of 300 square metres or less in area and lots with a frontage of 7.5 metres or less should be provided via rear or side access lanes, places or streets.</p>	<p>✓ <b>Complies</b></p> <p>Lot 1 = 231m<sup>2</sup> Access from Williams Lane.</p> <p>Lot 2 = 373m<sup>2</sup> Existing access from Koroit Street to be retained to existing dwelling and garage.</p> <p>Safe and efficient access will be provided and the access points are in keeping with the character of the area.</p>
	<p>The design and construction of a crossover should meet the requirements of the relevant road authority.</p>	<p>✓ <b>Complies</b></p> <p>Proposed crossovers will meet the requirements of the relevant authority.</p>





Integrated Water Management

Clause 56.07

Title & Objective	Standard	Complies / Does not comply / Variation required
<p><b>C22 (56.07-1)</b> <b>Drinking water supply</b> To reduce the use of drinking water.  To provide an adequate, cost-effective supply of drinking water.</p>	<p>The supply of drinking water must be:</p> <ul style="list-style-type: none"> <li>• Designed and constructed in accordance with the requirements and to the satisfaction of the relevant water authority.</li> <li>• Provided to the boundary of all lots in the subdivision to the satisfaction of the relevant water authority.</li> </ul>	<p>✓ <b>Complies</b></p> <p>The supply of drinking water will be designed and constructed in accordance with the requirements and to the satisfaction of the relevant water authority. Water will be provided to the boundary of the rear lot fronting Williams Lane to the satisfaction of the relevant water authority.</p> <p>Existing water supply will be retained for the existing dwelling fronting Koroit Street.</p>
<p><b>C23 (56.07-2)</b> <b>Reused and recycled water</b> To provide for the substitution of drinking water for non-drinking purposes with reused and recycled water.</p>	<p>Reused and recycled water supply systems must be:</p> <ul style="list-style-type: none"> <li>• Designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority, Environment Protection Authority and Department of Human Services.</li> <li>• Provided to the boundary of all lots in the subdivision where required by the relevant water authority.</li> </ul>	<p>✓ <b>Complies</b></p> <p>All systems will be designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority, Environment Protection Authority and Department of Human Services.</p>
<p><b>C24 (56.07-3)</b> <b>Waste water management</b> To provide a waste water system that is adequate for the maintenance of public health and the management of effluent in an environmentally friendly manner.</p>	<p>Waste water systems must be:</p> <ul style="list-style-type: none"> <li>• Designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority and the Environment Protection Authority.</li> <li>• Consistent with any relevant approved domestic waste water management plan.</li> </ul> <p>Reticulated waste water systems must be provided to the boundary of all lots in the subdivision where required by the relevant water authority.</p>	<p>✓ <b>Complies</b></p> <p>Waste water systems will be designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority and the Environment Protection Authority.</p> <p>✓ <b>Complies</b></p>

ADVERTISED

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
2 MAY 2015  
PLANNING OFFICE

Title & Objective	Standard	Complies / Does not comply / Variation required
<p><b>C25 (56.07-4)</b></p> <p><b>Urban run-off management</b> To minimise damage to properties and inconvenience to residents from urban run-off.</p> <p>To ensure that the street operates adequately during major storm events and provides for public safety.</p> <p>To minimise increases in stormwater run-off and protect the environmental values and physical characteristics of receiving waters from degradation by urban run-off.</p>	<p>The urban stormwater management system must be:</p> <ul style="list-style-type: none"> <li>Designed and managed in accordance with the requirements and to the satisfaction of the relevant drainage authority.</li> <li>Designed and managed in accordance with the requirements and to the satisfaction of the water authority where reuse of urban run-off is proposed.</li> <li>Designed to meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater – Best Practice Environmental Management Guidelines (Victorian Stormwater Committee 1999) as amended.</li> <li>Designed to ensure that flows downstream of the subdivision site are restricted to predevelopment levels unless increased flows are approved by the relevant drainage authority and there are no detrimental downstream impacts.</li> </ul>	<p>✓ <b>Complies</b></p> <p>The proposed subdivision will not have a detrimental impact upon the street and surrounds. The stormwater system will be designed and managed in accordance with the requirements and to the satisfaction of the relevant drainage authority.</p>
	<p>The stormwater management system should be integrated with the overall development plan including the street and public open space networks and landscape design.</p>	<p>- N/A</p> <p>No streets or public open space proposed.</p>
	<p>For all storm events up to and including the 20% Average Exceedence Probability (AEP) standard:</p> <ul style="list-style-type: none"> <li>Stormwater flows should be contained within the drainage system to the requirements of the relevant authority.</li> <li>Ponding on roads should not occur for longer than 1 hour after the cessation of rainfall.</li> </ul>	<p>✓ <b>Complies</b></p> <p>Stormwater systems will be designed to comply with the drainage system requirements of the relevant authority.</p>
	<p>For storm events greater than 20% AEP and up to and including 1% AEP standard:</p> <ul style="list-style-type: none"> <li>Provision must be made for the safe and effective passage of stormwater flows.</li> <li>All new lots should be free from inundation or to a lesser standard of flood protection where agreed by the relevant floodplain management authority.</li> <li>Ensure that streets, footpaths and cycle paths that are subject to flooding meet the safety criteria <math>da Vave &lt; 0.35</math> m<sup>2</sup>/s (where, <math>da</math> = average depth in metres and <math>Vave</math> = average velocity in metres per second).</li> </ul>	<p>✓ <b>Complies</b></p> <p>As above.</p>

ADVERTISED

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED

2 MAY 2015

Page 8

PLANNING OFFICE



Title & Objective	Standard	Complies / Does not comply / Variation required
	The design of the local drainage network should: <ul style="list-style-type: none"> <li>• Ensure run-off is retarded to a standard required by the responsible drainage authority.</li> <li>• Ensure every lot is provided with drainage to a standard acceptable to the relevant drainage authority. Wherever possible, run-off should be directed to the front of the lot and discharged into the street drainage system or legal point of discharge.</li> <li>• Ensure that inlet and outlet structures take into account the effects of obstructions and debris build up. Any surcharge drainage pit should discharge into an overland flow in a safe and predetermined manner.</li> <li>• Include water sensitive urban design features to manage run-off in streets and public open space. Where such features are provided, an application must describe maintenance responsibilities, requirements and costs.</li> </ul>	✓ Complies As above.
	Any flood mitigation works must be designed and constructed in accordance with the requirements of the relevant floodplain management authority.	- N/A

**WARRNAMBOOL CITY COUNCIL**  
**DATE RECEIVED**  
  
**2 MAY 2016**  
  
**PLANNING OFFICE**

ADVERTISED

**Site Management**

**Clause 56.08**

Title & Objective	Standard	Complies / Does not comply / Variation required
<b>C26 (56.08-1)</b>  <b>Site Management</b> To protect drainage infrastructure and receiving waters from sedimentation and contamination.  To protect the site and surrounding area from environmental degradation or nuisance prior to and during construction of subdivision works.  To encourage the re-use of materials from the site and recycled materials in the construction of subdivisions where practicable.	A subdivision application must describe how the site will be managed prior to and during the construction period and may set out requirements for managing: <ul style="list-style-type: none"> <li>• Erosion and sediment.</li> <li>• Dust.</li> <li>• Run-off.</li> <li>• Litter, concrete and other construction wastes.</li> <li>• Chemical contamination.</li> <li>• Vegetation and natural features planned for retention.</li> </ul>	<b>Complies/Variation Required</b>  The proposal is for a small 2 lot subdivision combined with a 1 x dwelling development application. Much of the existing infrastructure, including surrounding streets is already in place. Anticipated works would relate largely to the development stage of this application.  If required, as a condition to a planning permit, further details can be provided relating to how the site will be managed.
	Recycled material should be used for the construction of streets, shared paths and other infrastructure where practicable.	- N/A  No streets, shared paths or other common areas are proposed.

Clause 56.09

Utilities

Title & Objective	Standard	Complies / Does not comply / Variation required
<p><b>C27 (56.09-1)</b></p> <p><b>Shared trenching</b> To maximise the opportunities for shared trenching.</p> <p>To minimise constraints on landscaping within street reserves.</p>	<p>Reticulated services for water, gas, electricity and telecommunications should be provided in shared trenching to minimise construction costs and land allocation for underground services.</p>	<p>✓ <b>Complies</b></p> <p>The proposed is a small 2 lot subdivision with access to existing reticulated services to the overall subject site. Reticulated services for water, gas, electricity and telecommunications will be provided directly to the rear proposed lot and existing services will be retained to the existing dwelling. Some shared trenching may occur if practicable.</p>
<p><b>C28 (56.09-2)</b></p> <p><b>Electricity, telecommunications and gas</b> To provide public utilities to each lot in a timely, efficient and cost effective manner.</p> <p>To reduce greenhouse gas emissions by supporting generation and use of electricity from renewable sources.</p>	<p>The electricity supply system must be designed in accordance with the requirements of the relevant electricity supply agency and be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant electricity authority.</p>	<p>✓ <b>Complies</b></p> <p>Public utilities will be provided to the proposed rear lot in a timely, efficient and cost effective manner.</p>
	<p>Arrangements that support the generation or use of renewable energy at a lot or neighbourhood level are encouraged.</p>	<p>- N/A</p>
	<p>The telecommunication system must be designed in accordance with the requirements of the relevant telecommunications servicing agency and should be consistent with any approved strategy, policy or plan for the provision of advanced telecommunications infrastructure, including fibre optic technology. The telecommunications system must be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant telecommunications servicing authority.</p>	<p>✓ <b>Complies</b></p> <p>The telecommunication system will be designed in accordance with the requirements of the relevant telecommunications servicing agency.</p> <p>The telecommunications system will be provided to the boundary of the rear lot in the subdivision to the satisfaction of the relevant telecommunications servicing authority.</p>
	<p>Where available, the reticulated gas supply system must be designed in accordance with the requirements of the relevant gas supply agency and be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant gas supply agency.</p>	<p>✓ <b>Complies</b></p> <p>The reticulated gas supply system will be designed in accordance with the requirements of the relevant gas supply agency and will be provided to the boundary of the rear lot in the subdivision to the satisfaction of the relevant gas supply agency.</p>

ADVERTISED

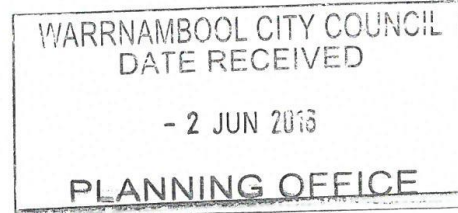
WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
2 MAY 2015  
PLANNING OFFICE



Enquiries to: Shaun Watson  
Telephone: 03 5562 9823  
Job: 15-033

2nd June 2016

Planning department  
Warrnambool City Council  
PO Box 198  
Warrnambool  
VICTORIA 3280



RE: PP2016-062 4 Koroit St, Warrnambool

To Erin,

Further to council request, please note the following:

**ADVERTISED**

- The site coverage of the proposed dwelling is as follows:  
Site area = 231m<sup>2</sup>  
Dwelling (level 1 & 2) = 134.63m<sup>2</sup>  
Site Coverage = 58.3%  
The site coverage of the existing dwelling is as follows:  
Site area = 604m<sup>2</sup>  
Existing dwelling = 210m<sup>2</sup>  
Site coverage = 34% building + 21% impervious surfaces that has adequate drainage design.  
PROPOSED TOTAL DEVELOPMENT  
Proposed + Existing dwelling = 344m<sup>2</sup>  
Site coverage = 57%, total site coverage incl. impervious surfaces = 77%
- The proposed permeable driveway & courtyard finish will be grassed concrete pavers (see attached photos)
- Balcony screening will be achieved via a perforated metal screen (see attached amended west elevation & image). An additional 700mm will be required to the proposed boundary wall and this is considered reasonable and is not detrimental to the neighbouring character will alleviate any overlooking to the proposed neighbouring development.

Thank you.

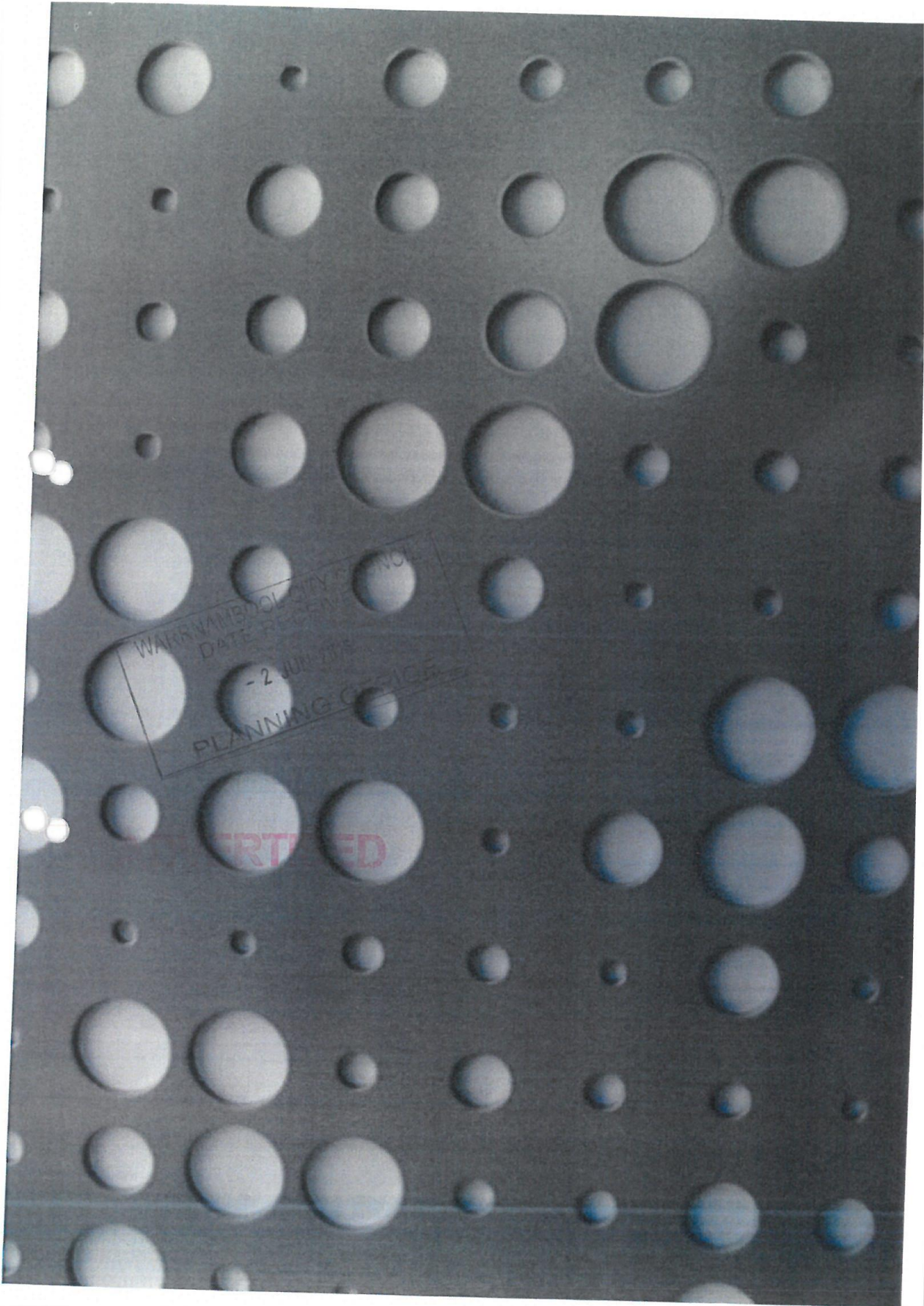
Regards,

Shaun Watson  
Designers by Nature

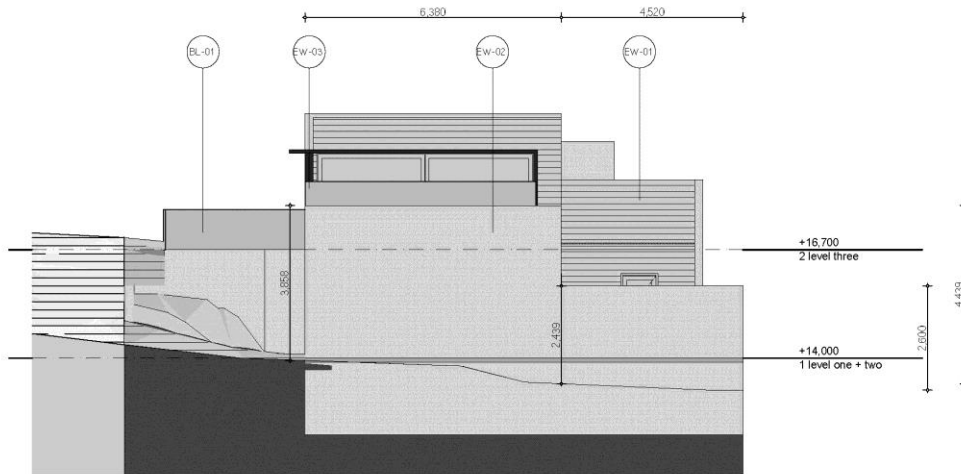
4 Waller Crescent  
PO Box 634  
Warrnambool 3280  
Telephone 03 5562 9823

ABN 29007929372  
dean@designersbynature.com.au  
www.designersbynature.com.au









# williams lane townhouse



middleton

rear of site (williams lane) 4 koroit street warrnambool victoria 3280 australia

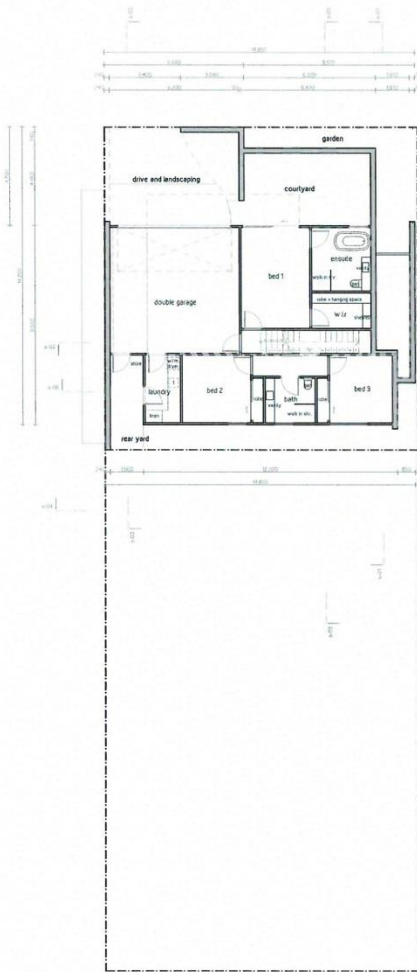


designers by nature

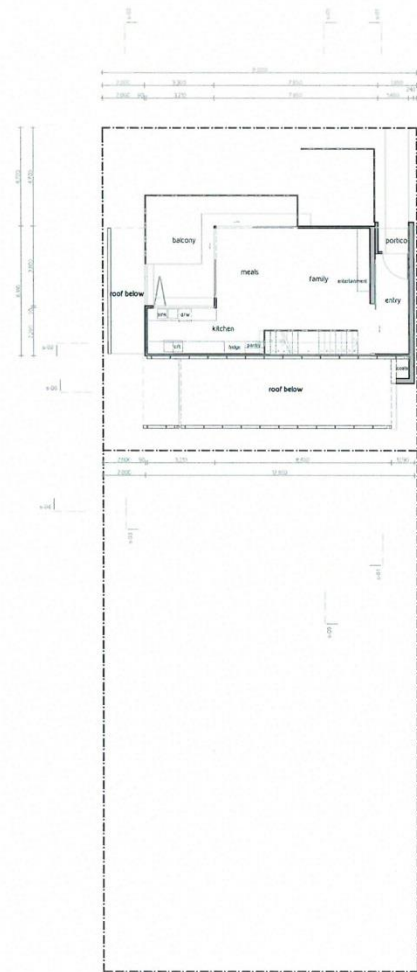
ABN 28119128172  
address: 4 koroit street warrnambool victoria 3280 australia  
P +61 840 560128 • E info@designersbynature.com.au  
W www.designersbynature.com.au

**General Notes**  
This is a conceptual architectural rendering and does not constitute a contract.  
No liability is accepted for any errors, omissions or inaccuracies in the rendering.  
Changes and modifications to the architectural rendering will be made for construction.  
© 2017 designers by nature  
All trademarks and services subject to law.





1. proposed level one + two plan  
1:100



2. proposed level three plan  
1:100



**designers by nature**  
44/45 2nd ST WARRNAMBOOL VIC 3280  
P 08 4415 4441 F 08 4415 4442  
W www.designersbynature.com.au

**General Notes**  
1. All dimensions are in millimetres unless otherwise stated.  
2. All dimensions are to the face of the work unless otherwise stated.  
3. All dimensions are to the face of the work unless otherwise stated.  
4. All dimensions are to the face of the work unless otherwise stated.  
5. All dimensions are to the face of the work unless otherwise stated.

ID	Revising Description	BY	DATE
01	Final Design	EMMA	2017-03-06
02	Final Design	EMMA	2017-03-06

**PROJECT NAME:**  
williams lane townhouse

**CLIENT:**  
middleton

**PROJECT NO.:**  
15-033

**DATE:**  
2017-03-06

**SITE:**  
rear of site (williams lane) 4 korot street warrnambool victoria 3280 australia

**DRAWING TITLE:**  
FLOOR PLANS  
FLOOR PLANS

**REVISIONS:**

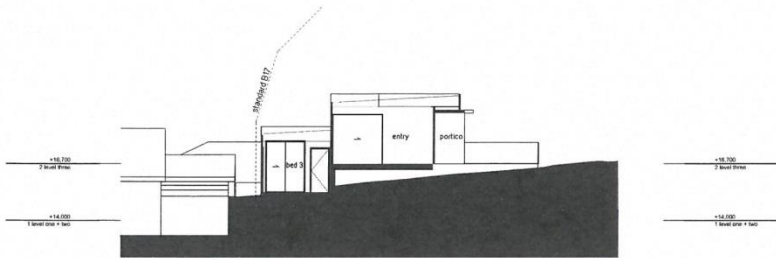
**02**

**PROJECT NO.:**  
15-033

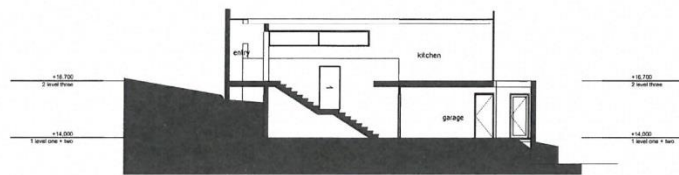
**DATE:**  
2017-03-06

**DRAWN BY:**  
emma

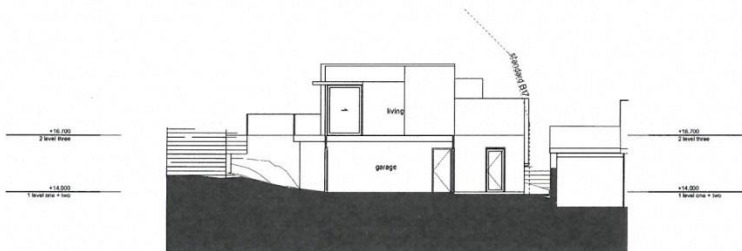
**CHECKED BY:**  
dean



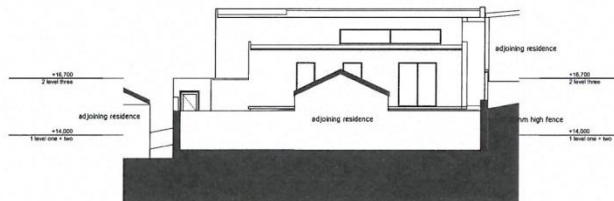
s-01 section 1:100



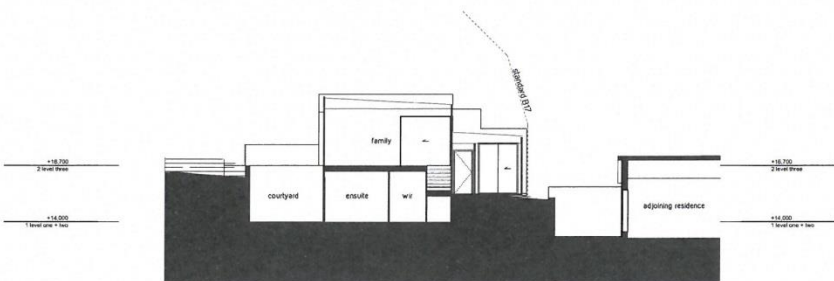
s-02 section 1:100



s-03 section 1:100



s-04 section 1:100



s-05 section 1:100



s-06 section 1:100



**designers by nature**  
 ABN 28 979 231 72  
 6/126-128 Esplanade Warrnambool Victoria 3280 Australia  
 P +61 532 9402 (T +61 532 9402) info@designersbynature.com.au  
 W www.designersbynature.com.au  
**General Notes**  
 1. To be used for design and construction and does not take into account any other drawings or specifications to the project.  
 2. Check all drawings with the responsible bodies and request for construction.  
 3. All drawings are subject to survey.  
 4. All drawings are subject to survey.

Dr	Plan	Scale	Date	By
DP	Architectural	1:50	27/09/2016	emma

**PROJECT NAME:**  
williams lane townhouse  
**CLIENT:**  
middleton  
 williams lane victoria 3208 australia  
 williams@middleton.com.au  
 P +61-532-444111 • C 08-888888888  
**PROJECT NO.:**  
15-033

**SITE:**  
rear of site (williams lane) 4 koroit street warrnambool victoria 3280 australia  
**DRAWING TITLE:**  
ELEVATIONS + SECTIONS  
GENERAL SECTIONS

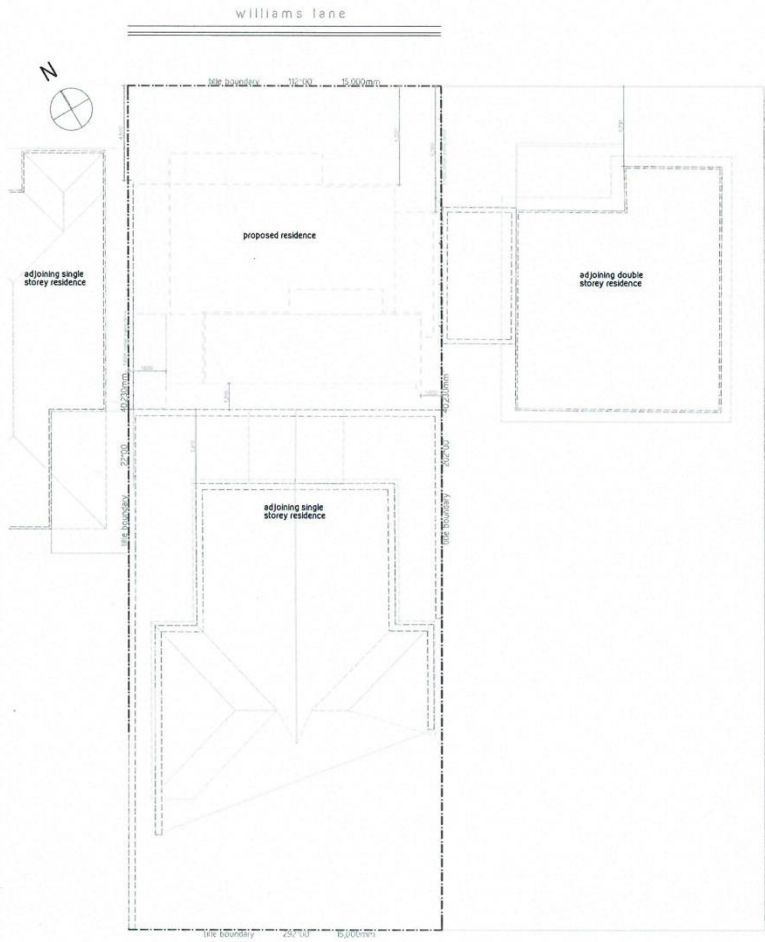
**REVISION NO:**  
02  
**DRAWING NO.:**  
DA201  
**CLIENT:**  
emma  
**DATE:**  
15-033  
 27/09/2016



SHEET INDEX

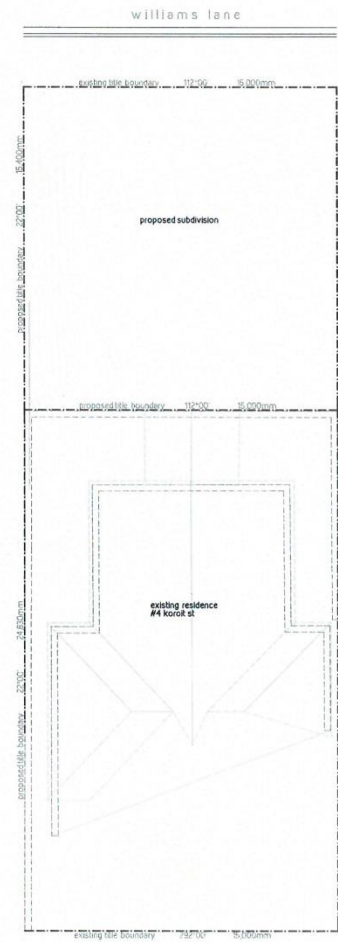
COUNCIL SUBMISSION DA	
SUBMITTAL LETTER	
GENERAL INFO	DA000 COVER PAGE
FLOOR PLANS	DA100 SITE + PROPOSED SUBDIVISION PLANS
	DA101 FLOOR PLANS
ELEVATIONS + SECTIONS	DA200 BUILDING ELEVATIONS
	DA201 GENERAL SECTIONS
COUNCIL DOCUMENTS	DA300 HEIGHT TO BOUNDARY ELEVATIONS
	DA301 SURVEYORS PLAN
3D VIEWS	DA900 EXTERNAL VIEWS
	DA901 SUN DIAGRAMS

AREA ANALYSIS			
zone category	measured area	total site coverage	percentages
site area	231.00	231.00	
level 3 residence	66.55		
level 2 residence	36.24		
level 1 residence	99.39	134.63	58.3%
courtyard, deck + driveway (permissible)	51.44		
balcony	23.53		



0 site plan 1:100

ID	Revised Description	By	Date	Other
01	As Issued	EMMA	27/03/17	



0 proposed subdivision plan 1:100

PROJECT NAME:  
**williams lane townhouse**

CLIENT:  
**middleton**

DATE:  
15/03/2017

PROJECT NO:  
15-033

SITE:  
rear of site (williams lane) 4 koroit street warrnambool victoria 3280 australia

DRAWING TITLE:  
**FLOOR PLANS  
SITE + PROPOSED  
SUBDIVISION PLANS**

REVISION NO:  
**02**

DRAWING NO:  
**DA100**

PROJECT NO:  
**15-033**

DATE:  
27/03/2017

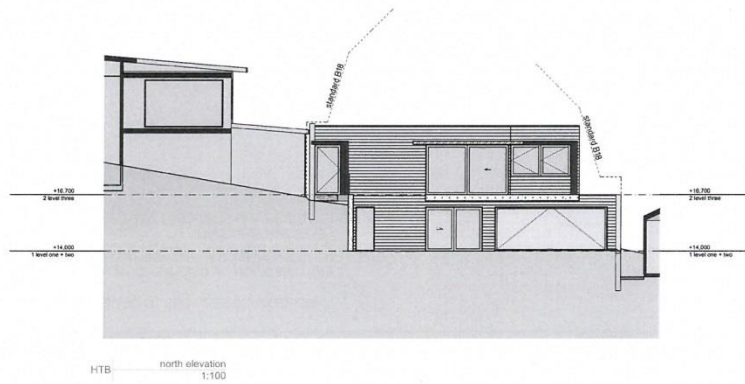
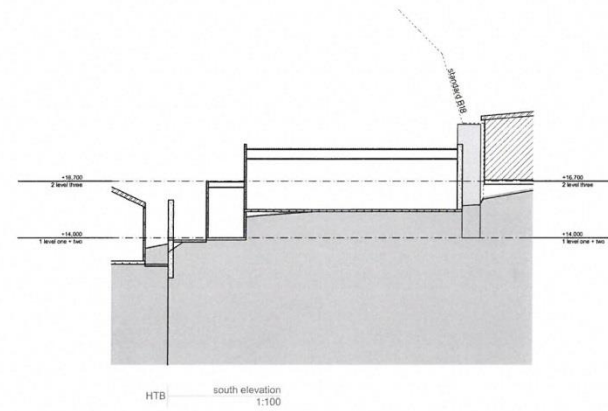
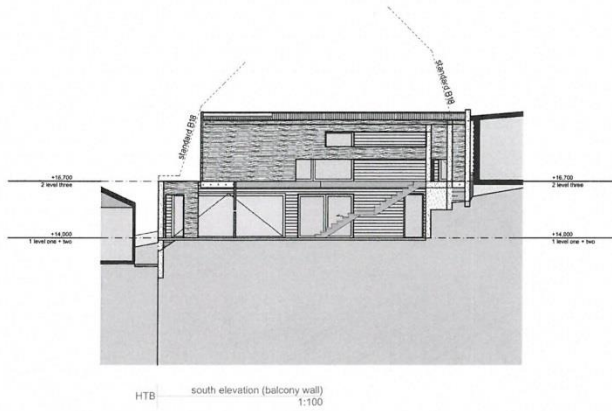
DRAWN BY:  
dean

CHECKED BY:  
emma



**designers by nature**  
40/41 CORNER WARRNAMBOOL AVENUE 3280 AUSTRALIA  
P 03 5260 9000 F 03 5260 9001  
www.designersbynature.com.au

**General Notes**  
1. This drawing is for information only and does not constitute a contract.  
2. All work shall be done in accordance with the relevant Australian Standards.  
3. Drawings and site plans to be used for construction purposes only should be used for construction purposes only.  
4. All dimensions are to centreline unless otherwise stated.



**designers by nature**  
 ABN 26 175 261 712  
 Address: 1 maple cove rd warrnambool victoria 3280 australia  
 P +61 852 962 111 F +61 8 5292 9999  
 W www.designersbynature.com.au

**General Notes**  
 This drawing shall not be used for construction and shall not be used for construction without the written consent of the architect.  
 Changes and additions shall be indicated by red lines and shall be subject to a written order.  
 All dimensions and locations subject to survey.

NO	DESCRIPTION	DATE	BY	CHECKED
01	Issued for construction	01/03/17	emma	
02	Issued for construction	27/03/17	emma	

**PROJECT NAME:**  
 williams lane townhouse

**CLIENT:**  
 middleton

**ADDRESS:**  
 williams lane victoria 3218 australia  
 P +61 852 962 111 F +61 8 5292 9999  
 W www.designersbynature.com.au

**SITE:**  
 rear of site (williams lane) 4 koroit street warrnambool victoria 3280 australia

**DRAWING TITLE:**  
 COUNCIL DOCUMENTS  
 HEIGHT TO  
 BOUNDARY  
 ELEVATIONS

**REVISION NO:**  
 02

**DRAWING NO:**  
 DA300

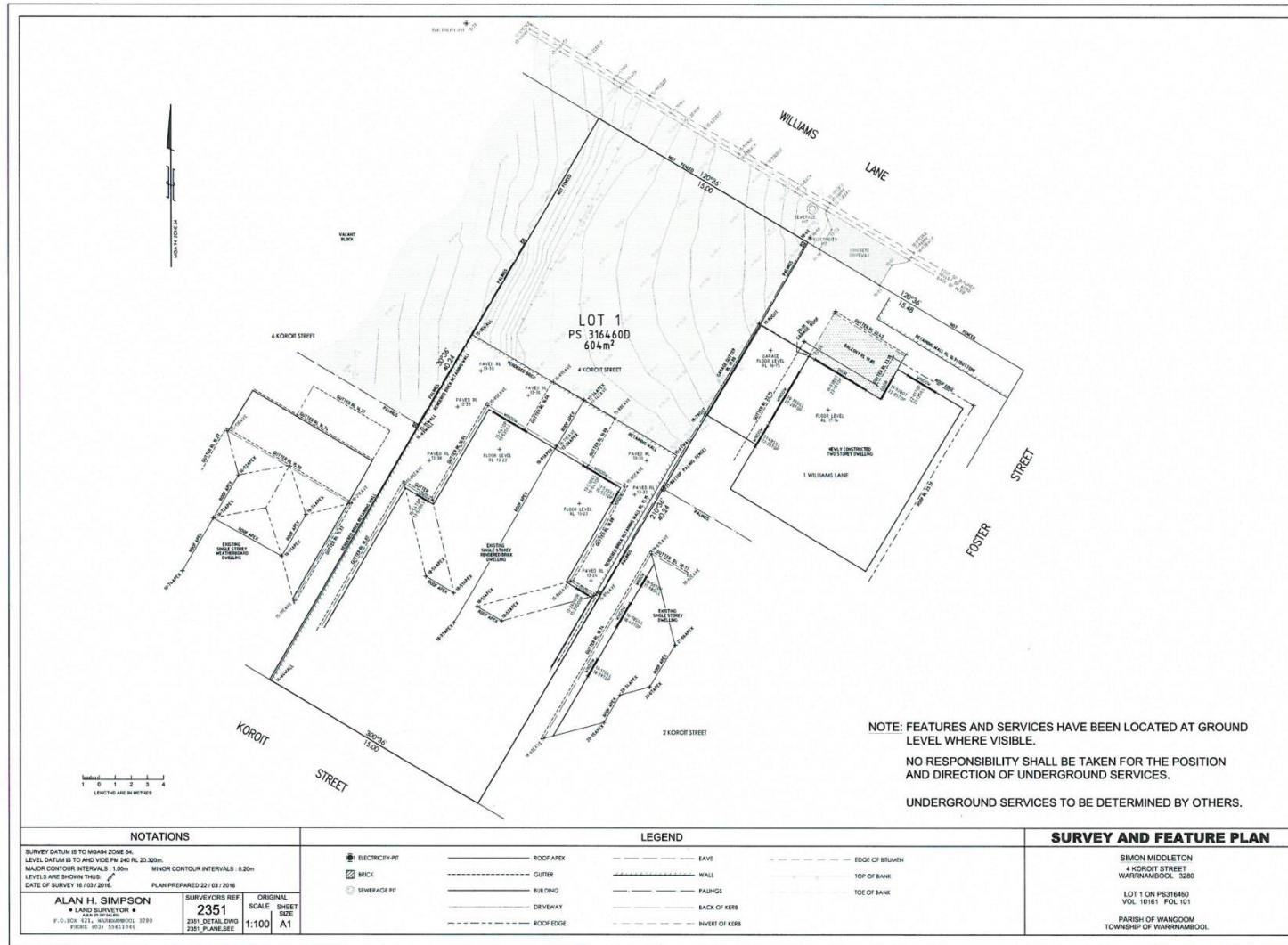
**PROJECT NO:**  
 15-033

**DATE:**  
 27/03/2014

**DRAWN BY:**  
 dean

**CHECKED BY:**  
 emma





<b>NOTATIONS</b> SURVEY DATUM IS TO MGA84 ZONE 54. LEVEL DATUM IS TO AHD VIDE FM 240 RL 22.320m. MAJOR CONTOUR INTERVALS - 1.00m MINOR CONTOUR INTERVALS - 0.20m LEVELS ARE SHOWN TRUE. DATE OF SURVEY 18 / 03 / 2016. PLAN PREPARED 22 / 03 / 2016		<b>LEGEND</b> ELECTRICITY-PT BRICK SEWERAGE PIT ROOF APEX GUTTER BUILDING DRIVEWAY ROOF EDGE EAVE WALL PAUING BACK OF KEBS INVERT OF KEBS EDGE OF BURNEN TOP OF BANK TOE OF BANK		<b>SURVEY AND FEATURE PLAN</b> SIMON MIDDLETON 4 KOROT STREET WARRNAMBOOL, 3280 LOT 1 ON PS316460 VOL 10161 FOL 101 PARISH OF WANGDOOM TOWNSHIP OF WARRNAMBOOL
<b>ALAN H. SIMPSON</b> LAND SURVEYOR P. O. BOX 5221 WARRNAMBOOL, 3280 PHONE (053) 5413184	SURVEYORS REF <b>2351</b> 2351_DETALS.DWG 2351_PLANE.SEE	ORIGINAL SCALE 1:100 SHEET SIZE A1		



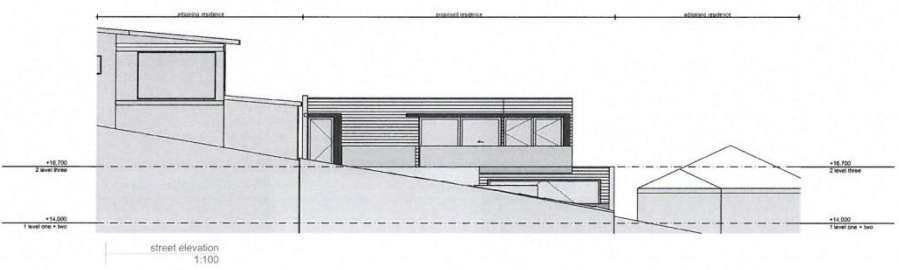
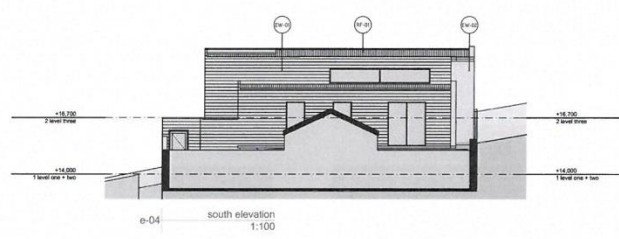
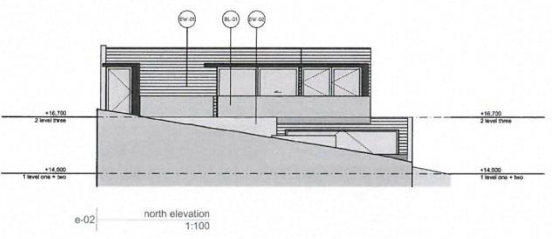
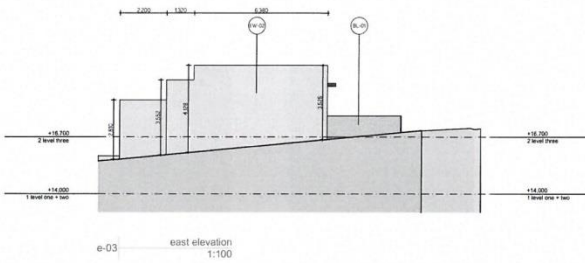
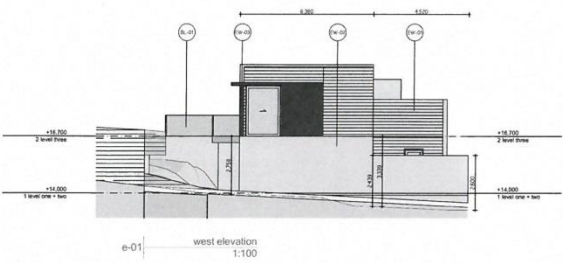
**designers by nature**  
 4001 20th ST.  
 Address: 4001 20th Street Warrnambool Victoria 3280 Australia  
 P: 053 5413184 F: 053 5413185  
 M: 080 000 0000 (toll free)  
 W: www.designersbynature.com.au  
**General Notes**  
 1. This drawing shows all dimensions and levels unless prior to construction.  
 2. Dimensions and levels are to be taken to the face of the work.  
 3. Down to and not to be used for construction purposes unless stated for construction.  
 4. Check and recheck.  
 5. All dimensions and levels subject to survey.

NO	PLANNED BY	DATE	BY
01	ALAN H. SIMPSON	22/03/2016	AS
02	ALAN H. SIMPSON	22/03/2016	AS

PROJECT NAME:  
**williams lane townhouse**  
 CLIENT:  
 middleton  
 4 KOROT STREET WARRNAMBOOL VIC 3280  
 PH: 053 5413184  
 P: 0405 58 4441 F: 053 5413185  
 E: alan@simpson.com.au

SITE:  
 rear of site (williams lane) 4 korot street warrnambool victoria 3280 australia  
 DRAWING TITLE:  
**COUNCIL DOCUMENTS SURVEYORS PLAN**

REVISION NO:  
**02**  
 DRAWN BY:  
 dean  
 CHECKED BY:  
 emma  
 PROJECT NO:  
**DA301**  
 15-033  
 27/02/2016



ELEVATION LEGEND	
Element ID	Material
BL-01	Perforated Metal bakustrade
EW-01	Horizontal Cladding
EW-02	Masonry
EW-03	Feature black blade
RF-01	Colorbond non-reflective roof sheeting



**designers by nature**  
 ABN 30 875 50 17  
 1/111 Esplanade, Warrnambool, Victoria 3280 Australia  
 P +61 8362 9622 | F +61 8362 9624  
 E info@designersbynature.com.au  
 W www.designersbynature.com.au

**General Notes**  
 This building contract is governed by the provisions of the Victorian Building Act 2012 and the Victorian Building Regulations 2012. It is subject to the provisions of the Victorian Building Act 2012 and the Victorian Building Regulations 2012. It is subject to the provisions of the Victorian Building Act 2012 and the Victorian Building Regulations 2012. It is subject to the provisions of the Victorian Building Act 2012 and the Victorian Building Regulations 2012.

ID	Description	DATE	BY
01	Issue for Planning	27/03/2016	emma

**PROJECT NAME:**  
williams lane townhouse

**CLIENT:**  
m Middleton

williams lane 3076 south side  
warrnambool VIC 3280  
P +61 8362 9622 | F +61 8362 9624 | E info@designersbynature.com.au

**SITE:**  
rear of site (williams lane) 4 korot street warrnambool victoria 3280 australia

**DRAWING TITLE:**  
ELEVATIONS + SECTIONS  
BUILDING  
ELEVATIONS

**REVISION:**  
02

**DATE:**  
DA200

**PERIOD:**  
15-033

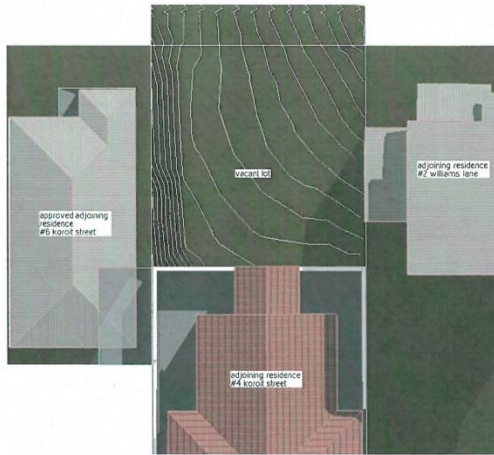
**DESIGNED BY:**  
emma

**CHECKED BY:**  
dean

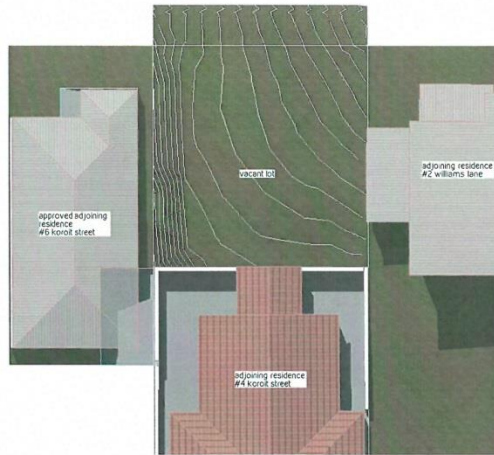
**PROJECT NO.:**  
15-033

**DATE:**  
27/03/2016

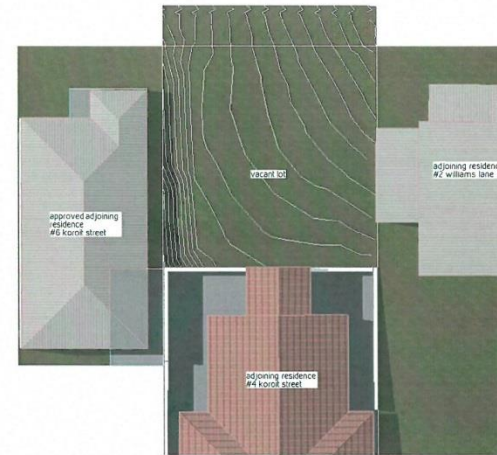




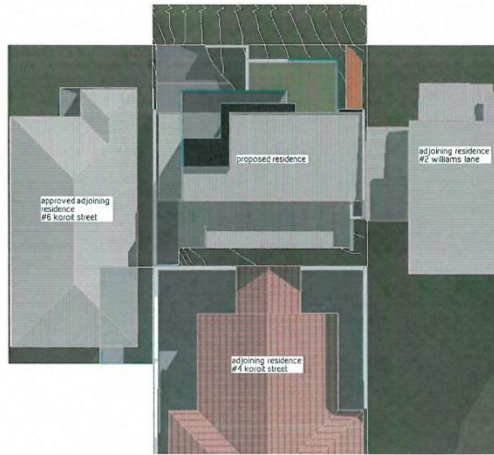
existing sun study - sept 22 @ 9am  
1:100



existing sun study - sept 22 @ 12 noon  
1:100



existing sun study - sept 22 @ 3pm  
1:100



proposed sun study - sept 22 @ 9am  
1:100



proposed sun study - sept 22 @ 12noon  
1:100



proposed sun study - 22 sept 3pm  
1:100



**designers by nature**  
 4001 200 100 100  
 Address: 4 rubble creek warrnambool victoria 3280 australia  
 P: +61 8 4230 2000 F: +61 8 4230 2000 (emergency services only)  
 M: www.designersbynature.com.au  
**General Notes**  
 1. All drawings are subject to change without notice and are for information only.  
 2. All drawings are subject to change without notice and are for information only.  
 3. All drawings are subject to change without notice and are for information only.  
 4. All drawings are subject to change without notice and are for information only.

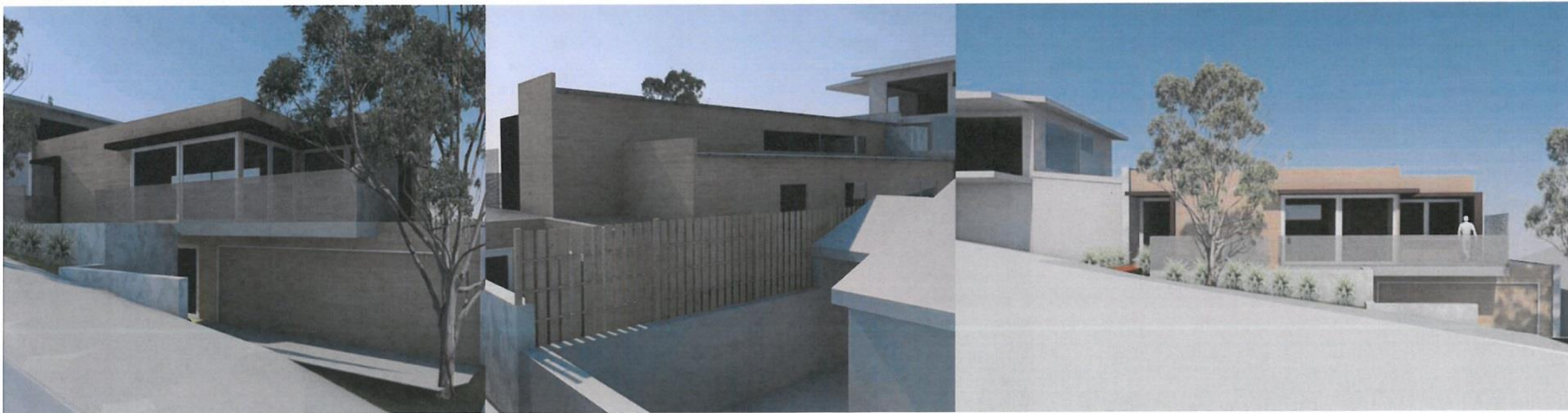
01	Planning (Exempt)	16/03/2016	emma
02	Architectural	27/03/2016	emma
03	Structural		
04	Electrical		
05	Mechanical		
06	Plumbing		
07	Landscaping		
08	Other		

**PROJECT NAME:**  
 williams lane townhouse  
**CLIENT:**  
 middleton  
 1/100 williams lane warrnambool victoria 3280 australia  
 williams@middleton.com.au  
 P: +61 8 324 4441 F: + 61 8 324 4441

**SITE:**  
 rear of site (williams lane) 4 kororo street warrnambool victoria 3280 australia  
**DRAWING TITLE:**  
 3D VIEW'S  
 SUN DIAGRAMS

**REVISIONS:**  
 02  
**PROJECT NO:**  
 DA901  
**DATE:**  
 15-033  
 27/03/2016

**DRAWN BY:**  
 dean  
**CHECKED BY:**  
 emma  
**DATE:**  
 15-033  
 27/03/2016



**designers by nature**  
 485 261 878 262 72  
 website: <a href="http://www.designersbynature.com.au">www.designersbynature.com.au</a>  
 P: +61 5362 8622 (F) +61 8 9499 8299 (M) +61 8 9499 8299 (M)  
 @ www.designersbynature.com.au

**General Notes**  
 This plan and views are illustrative and do not show any construction.  
 Build any stormwater management or retention in the vicinity.  
 Check all and other work by professional agencies and build for completion.  
 © All rights reserved.  
 All trademarks and logos are subject to law.

ID	Revision/Description	Author	Checked
01	Approved/Planning	JJ-10/2016	emma

**PROJECT NAME:**  
 williams lane townhouse

**CLIENT:**  
 middleton  
 williams lane victoria 3208 australia  
 warrnambool, vic 3208  
 P: +61 52 444517 • E: <a href="mailto:emma@middleton.com.au">emma@middleton.com.au</a>

**SITE:**  
 rear of site (williams lane) 4 koroff  
 street warrnambool victoria 3280  
 australia

**DRAWING TITLE:**  
 3D VIEWS  
 EXTERNAL VIEWS

**REVISIONS:**  
 02

**DRAWING:**  
 DA900

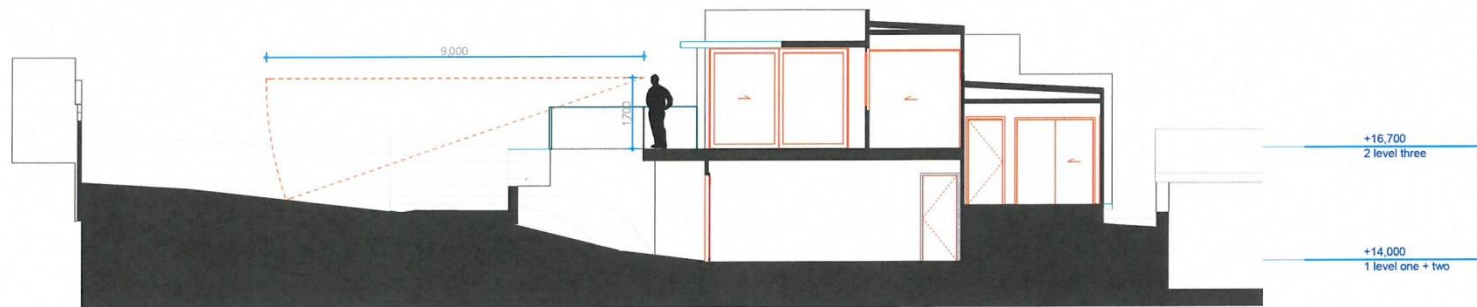
**DESIGN BY:**  
 dean

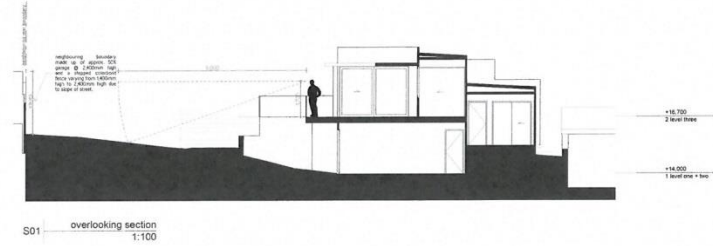
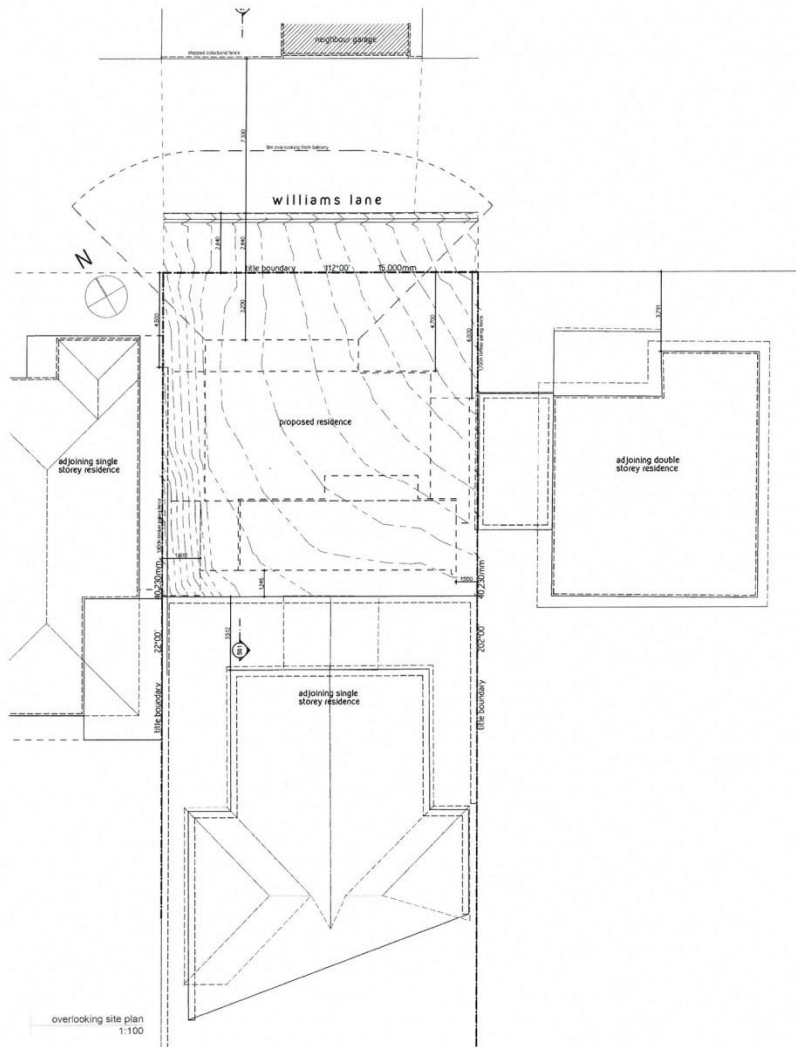
**CHECKED BY:**  
 emma

**PROJECT NO.:**  
 15-033

**Proj Date:**  
 2/10/2016







**designers by nature**  
 18/11/2015  
 address: 4 koroit street warrnambool victoria 3280 australia  
 P: 03 5462 9322 F: 03 5462 9323 E: info@designersbynature.com.au  
 W: www.designersbynature.com.au

**General Notes**  
 The client and/or architect or developer and levels or site plan in consultation  
 with any other, discrepancies or omissions to the contract.  
 Drawings and/or levels to be confirmed by the client or architect.  
 All boundaries and corners added to survey.

ID	DESCRIPTION	DATE	SCALE	DATE
01	Overlooking site plan 1:100	21/03/15	1:100	04/03/17

**PROJECT NAME:**  
williams lane townhouse

**CLIENT:**  
middleton  
warrnambool victoria 3276 australia  
williams@middleton.com.au  
P: +616 08 4462 17 E: Simon.Jacobson@middleton.com.au

**SITE:**  
rear of site (williams lane) 4 koroit street warrnambool victoria 3280 australia

**DRAWING TITLE:**  
COUNCIL DOCUMENTS  
OVERLOOKING PLANS

**REVISION NO:**  
03

**DRAWN BY:**  
dean

**CHECKED BY:**  
emma

**PROJECT NO:**  
DA302

**DATE:**  
15-033  
2015/03/15



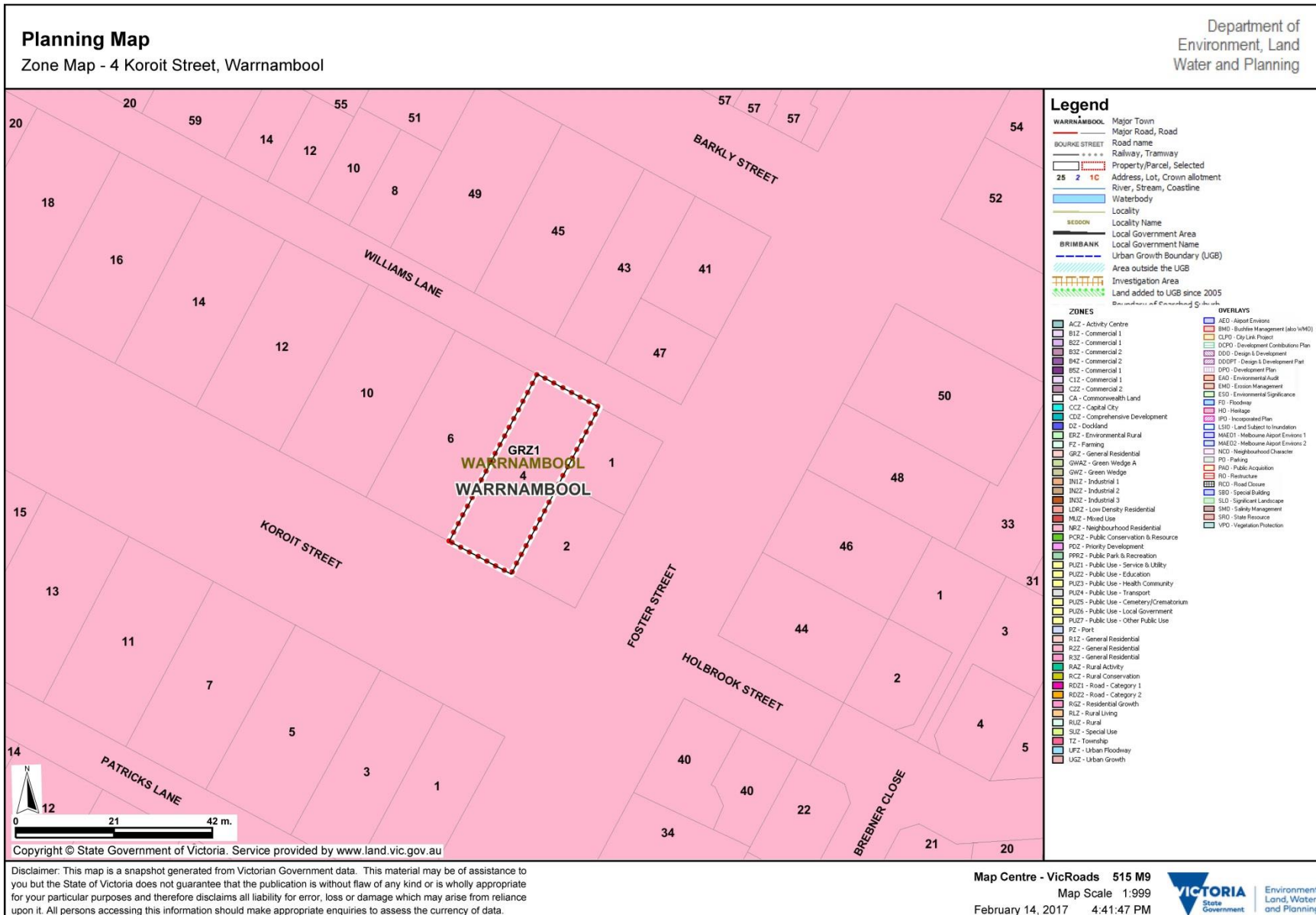




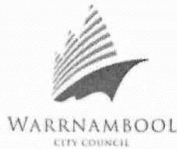
**APPENDIX B – SUBJECT SITE PLAN**







Disclaimer: This map is a snapshot generated from Victorian Government data. This material may be of assistance to you but the State of Victoria does not guarantee that the publication is without flaw of any kind or is wholly appropriate for your particular purposes and therefore disclaims all liability for error, loss or damage which may arise from reliance upon it. All persons accessing this information should make appropriate enquiries to assess the currency of data.

**APPENDIX D – OBJECTIONS****Objection to Grant Planning Permit – Part A**

The information requested on this page will be used solely by the Warrnambool City Council. Council will not use your personal information for any other purpose without first seeking your consent, unless authorised or required by law. Council may not be able to process your request unless sufficient information is given.

**Who is objecting?**

I/We (Names in Block Letters)

Name(s) MICHAEL Surname WESLEY

Name(s) ..... Surname .....

Address 1/39 GRANT ST WARRNAMBOOL..... Post Code 3230

Telephone (Home) ..... Telephone (Work) .....

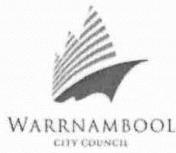
Mobile 0418344885 Facsimile .....Email m.wesley88@hotmail.comSignatures(s) [Signature] Date 18/7/16

Signatures(s) ..... Date .....

**Important notes about objections to permit applications**

1. This form is to help you make an objection to an application in a way which complies with the Planning and Environment Act 1987, and which can be readily understood by the responsible authority. There is no requirement under the Act that you use any particular form.
2. Make sure you clearly understand what is proposed before you make an objection. You should inspect the application at the responsible authority's office.
3. To make an objection you should clearly complete the details on this form and lodge it with the responsible authority as shown on the Public Notice – Application for Planning Permit.
4. An objection must:
  - State the reasons for your objection: and
  - State how you would be affected if a permit is granted.
5. The responsible authority may reject an application which it considers has been made primarily to secure or maintain a direct or indirect commercial advantage for the objector. In this case, the Act applies as if the objection had not been made.
6. Any person may inspect an objection during office hours.
7. If your objection related to an effect on property other than at your address as shown on this form, give details of that property and of your interest in it.
8. To ensure the responsible authority considers your objection, make sure that the authority receives it by the date shown in the notice you were sent or which you saw in a newspaper or on the site.
9. If you object before the responsible authority makes a decision, the authority will tell you its decision.
10. If despite your objection the responsible authority decides to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An appeal must be made on a prescribed form (obtainable from the Victorian Civil & Administrative Tribunal) and accompanied by the prescribed fee. A copy must be given to the responsible authority. The closing date for appeals is 21 days of the responsible authority giving notice of its decision.
11. If the responsible authority refuses the application, the applicant can also appeal. The provisions are set out on the Refusal of Planning Application which will be issued at that time.





### Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

**What application do you object to?**

Planning Application Number..... PP2016 - 0062 77

What is the address of the land that is proposed to be used or developed?.....

4 KORROIT ST WARRNAMBOOL 3220

What is proposed?..... TOWNHOUSE

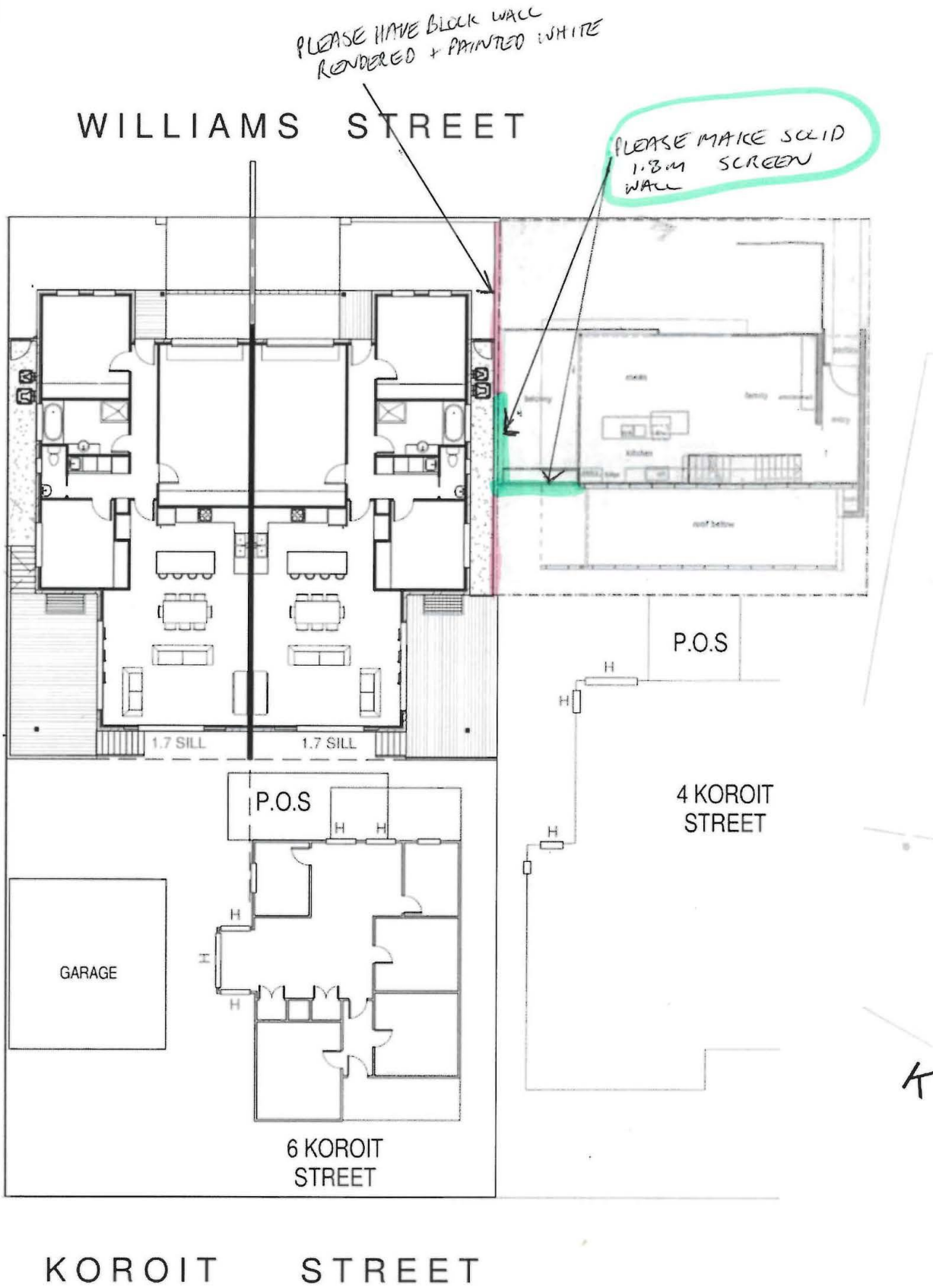
**What are the reasons for your objection?** (If there is not enough room, attach a separate page.)

PLEASE LOOK AT THE OVERLOOKING OFF THE SECOND STORY BALCONY TOWARDS THE REAR OF 6 KORROIT ST DELIK KITCHEN WINDOW AREA + ALSO THE SIDE OF THE NEW UNIT THAT IS PLANNED TO BE BUILT BEHIND 6 KORROIT ST. CAN A SOLID SCREEN WALL BE PLACED ON THE SOUTH (REAR) + WEST SIDES OF THE BALCONY TO 1.8M HEIGHT TO ELIMINATE OVERLOOKING ISSUE TO HOUSE + UNIT. ALSO PLEASE MAKE SURE THE GARAGE BLOCK WALL + RETAINING WALL ON WEST BOUNDARY CONNECTING WITH 6 KORROIT ST TO BE RENDERED FINISH

+ PAINTED WHITE,

**How will you be affected by the grant of a permit?** (If there is not enough room, attach a separate page.)

OVERLOOKING





T/plan PP2016-0062 - Objection Received re 4 Koroit Street - Alan & Kathy Snell

From: Kathy Snell <kathysnell6@gmail.com>  
To: planning@warrnambool.vic.gov.au  
Subject: Objection to Grant Planning Permit - PP2016-0062  
Date: Monday, 25 July 2016 04:55 PM

Hello WCC planning department,

Please find attached an objection to the proposed future dwelling at 4 Koroit Street, Warrnambool.

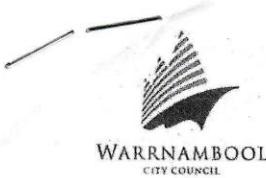
We reside at 2 Koroit Street and object for the following reasons

1. Shading of the building - Our Winter sunlight has been adversely compromised by the newly erected 2 storey home behind us. To add another height imposing building will further compromise this. We have had to have our lights and heater on all day in our family, kitchen area and our bedrooms are now darker. Your shading plan only explores the September sun shading forecast. We believe if this goes ahead our home will be totally shaded in the June, July months. This is unhealthy for our wellbeing, both physically and mentally and it creates mould and moss. It will also effect the shading of properties at 4 & 6 Koroit Street, with its close proximity.
2. We question the height of the property - is it at the 9 metre restriction? This height will be confronting when exiting our family area into our back outdoor area. It will interfere with privacy to both our bedrooms and to our only outdoor area.
3. We will have no view to the North, which is currently the only view we enjoy from our outdoor area.
4. Recently, we had our home valued for other reasons through this process we were informed that the development of the two storey property behind had actually devalued our property. As we are not apposed to development and this may not be of concern to the WCC. We ask that you view our property with historical value. It is a great example of a Warrnambool mid century home and may become of significant value for future generations to enjoy. Central conite homes of this nature are dwindling in the CBD, this building practise is unique to Warrnambool. The aesthetics of the area need to be preserved as the area is mostly early to mid century homes. Is the façade of the proposed property in keeping with the area?

We have attached a plan to highlight our bedrooms, family area and outdoor area. We hope that you will take this into consideration by showing all parties respect with the decision for this development.

Yours sincerely

Alan & Kathy Snell  - Objection to Grant Permit - Part A&B.pdf



## Objection to Grant Planning Permit – Part A

The information requested on this page will be used solely by the Warrnambool City Council. Council will not use your personal information for any other purpose without first seeking your consent, unless authorised or required by law. Council may not be able to process your request unless sufficient information is given.

### Who is objecting?

I/We (Names in Block Letters)

Name(s) ALAN ..... Surname SNELL .....

Name(s) KATHLEEN ..... Surname SNELL .....

Address 2 KOROIT STREET .....

WARRENAMBOOL ..... VICTORIA ..... Post Code 3280 .....

Telephone (Home) ALAN: 0488 643489 ..... Telephone (Work) KATHY: 0432379662 .....

Mobile ..... Facsimile .....

Email kathysnell6@gmail.com .....

Signatures(s) *[Signature]* ..... Date 24/7/2016 .....

Signatures(s) *[Signature]* ..... Date 24/7/2016 .....

### Important notes about objections to permit applications

1. This form is to help you make an objection to an application in a way which complies with the Planning and Environment Act 1987, and which can be readily understood by the responsible authority. There is no requirement under the Act that you use any particular form.
2. Make sure you clearly understand what is proposed before you make an objection. You should inspect the application at the responsible authority's office.
3. To make an objection you should clearly complete the details on this form and lodge it with the responsible authority as shown on the Public Notice – Application for Planning Permit.
4. An objection must:
  - State the reasons for your objection: and
  - State how you would be affected if a permit is granted.
5. The responsible authority may reject an application which it considers has been made primarily to secure or maintain a direct or indirect commercial advantage for the objector. In this case, the Act applies as if the objection had not been made.
6. Any person may inspect an objection during office hours.
7. If your objection related to an effect on property other than at your address as shown on this form, give details of that property and of your interest in it.
8. To ensure the responsible authority considers your objection, make sure that the authority receives it by the date shown in the notice you were sent or which you saw in a newspaper or on the site.
9. If you object before the responsible authority makes a decision, the authority will tell you its decision.
10. If despite your objection the responsible authority decides to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An appeal must be made on a prescribed form (obtainable from the Victorian Civil & Administrative Tribunal) and accompanied by the prescribed fee. A copy must be given to the responsible authority. The closing date for appeals is 21 days of the responsible authority giving notice of its decision.
11. If the responsible authority refuses the application, the applicant can also appeal. The provisions are set out on the Refusal of Planning Application which will be issued at that time.





## Objection to Grant Planning Permit - Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

### What application do you object to?

Planning Application Number..... PP 2016-0062

What is the address of the land that is proposed to be used or developed? 4 KORBIT STREET  
WARRNAMBOOL, VICTORIA 3280

What is proposed? CONSTRUCTION OF A TOWN HOUSE AND  
TWO LOT SUBDIVISION

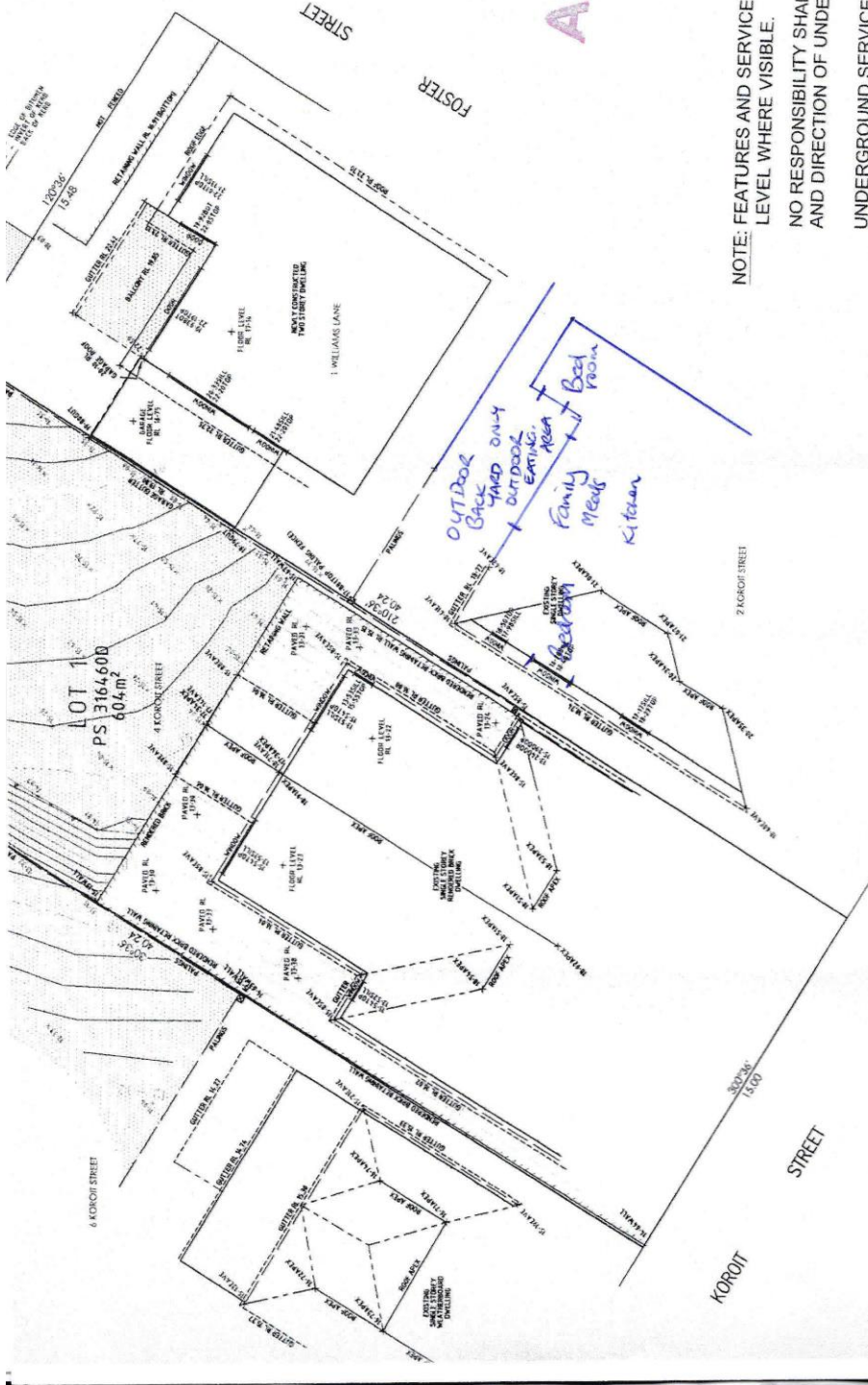
### What are the reasons for your objection? (If there is not enough room, attach a separate page.)

PREVENT OUR ACCESS TO WINTER WARMTH + SUNLIGHT, THROUGH SHADING. THIS HAS BEEN EVIDENT THROUGH THE CONSTRUCTION OF THE 2 STOREY DWELLING BEHIND US.  
ANOTHER PROPERTY WILL FURTHER RESTRICT OUR SUNLIGHT TO BEDROOM + FAMILY AREA + OUTDOORS  
THE SUNLIGHT STUDY WAS CARRIED OUT IN SEPTEMBER NOT WINTER WE NOW USE LIGHTS AND HEATERS DURING THE DAY.  
HEIGHT OF THE PROPOSAL - COMPROMISE OUR PRIVACY AND VIEW + SUNLIGHT DOES IT EXCEED 9MTRS?  
FURTHER DECREASE THE VALUE OF OUR HOME - PROPERTY VALUER AS ADVISED THAT OUR PROPERTY HAS DEVALUED BECAUSE OF THE 2 STOREY DEVELOP' BEHIND-THIS MAY CONTINUE SOIL SINKING ON OUR PROPERTY - DAMAGE TO OUR PROPERTY.  
AS WE NOW HAVE THE HIGHEST BACK YARD, ALREADY SOIL IS SINKING ON THE NORTH WEST SIDES

### How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

BY PREVENTING OUR ACCESS TO WINTER SUNLIGHT - THROUGH SHADING ON BED ROOM WINDOWS, FAMILY AREA, PAT-DOOR AREA - CAUSING MOSS ON CONCRETE  
ASTHETICS OF THE AREA - MOSTLY 50's, 60's, 70 HOUSING - BUILDING SHOULD BE IN KEEPING WITH THE STYLE.  
PRIVACY - OUR OUT DOOR ENTERTAINING WILL BE WITNESSED BY NEIGHBOURS WE WILL NOT HAVE ANY VIEWS / ASTHETICS LEFT IN OUR BACK AREA.  
BEDROOMS WILL BE VIEWED AND FURTHER SUN CUT FROM THEM.  
\* SEE ATTACHED PLAN  
WE HAVE BEEN ADVISED VALUE HAS GONE DOWN BECAUSE OF 2 STOREY DEVELOP'  
POSSIBLE DECREASE IN VALUE - OUR HOME IS A CLASSIC EXAMPLE OF A MID CENTURY HOME AND MAY HAVE FUTURE HISTORIC VALUE - THIS NEEDS TO BE PRESERVED FOR FUTURE GENERATIONS.

ADVERTISED



NOTE: FEATURES AND SERVICES HAVE BEEN LOCATED AT GROUND LEVEL WHERE VISIBLE.  
 NO RESPONSIBILITY SHALL BE TAKEN FOR THE POSITION AND DIRECTION OF UNDERGROUND SERVICES.  
 UNDERGROUND SERVICES TO BE DETERMINED BY OTHERS.

**SURVEY AND FEATURE PLAN**  
 SIMON MIDDLETON  
 4 KOROI STREET  
 WARRNAMBOOL 3290  
 LOT 1 ON RESTRIKED  
 VOL 10761 FOL 101  
 PARISH OF WARRNAMBOOL  
 TOWNSHIP OF WARRNAMBOOL

**LEGEND**

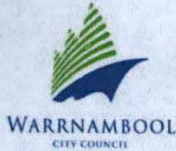
⊙ ELECTRICITY (PT)	ROOF APX	EDGE OF BRIMEN
▨ BRICK	EAVE	TOP OF BANK
⊙ SEWERAGE (PT)	GUTTER	IDE OF BANK
▨ BUILDING	WALL	BACK OF BANK
▨ DRIVEWAY	PAVING	INVERT OF KERB
▨ ROOF EDGE	DRIVEWAY	
	ROOF EDGE	

PROJECT NAME  
**Williams lane townhouse**  
 CLIENT  
 Middleton

ISSUE HISTORY  
 ISSUE NO. 1  
 DATE 10/07/2016  
 BY Simon Middleton  
 DESCRIPTION  
 1. Original Survey  
 2. Proposed Documents  
 3. Issue for Sale  
 4. Exchange of Contracts  
 5. Exchange of Documents  
 6. Exchange of Documents  
 7. Exchange of Documents  
 8. Exchange of Documents  
 9. Exchange of Documents  
 10. Exchange of Documents

INTERVALS: 0.20m  
 10/7/2016  
 THIS REF  
**351**  
 SCALE  
**1:100**  
 SHEET  
**A1**  
 SIZE





25 JUL 2016 JF

**Objection to Grant Planning Permit – Part A**

The information requested on this page will be used solely by the Warrnambool City Council. Council will not use your personal information for any other purpose without first seeking your consent, unless authorised or required by law. Council may not be able to process your request unless sufficient information is given.

**Who is objecting?**

I/We (Names in Block Letters)

Name(s) Ferdinando Surname Sanelli Ref.N#Name(s) Lisa Surname Sanelli OfficerAddress 43 Barkly Street Searched Yes / No Ch:Warrnambool Post Code 3280

Telephone (Home) Telephone (Work)

Mobile Facsimile

Email

Signatures(s) Ferdinando Sanelli Date 26/7/2016Signatures(s) Lisa Sanelli Date 26/7/2016**Important notes about objections to permit applications**

1. This form is to help you make an objection to an application in a way which complies with the Planning and Environment Act 1987, and which can be readily understood by the responsible authority. There is no requirement under the Act that you use any particular form.
2. Make sure you clearly understand what is proposed before you make an objection. You should inspect the application at the responsible authority's office.
3. To make an objection you should clearly complete the details on this form and lodge it with the responsible authority as shown on the Public Notice – Application for Planning Permit.
4. An objection must:
  - State the reasons for your objection: and
  - State how you would be affected if a permit is granted.
5. The responsible authority may reject an application which it considers has been made primarily to secure or maintain a direct or indirect commercial advantage for the objector. In this case, the Act applies as if the objection had not been made.
6. Any person may inspect an objection during office hours.
7. If your objection related to an effect on property other than at your address as shown on this form, give details of that property and of your interest in it.
8. To ensure the responsible authority considers your objection, make sure that the authority receives it by the date shown in the notice you were sent or which you saw in a newspaper or on the site.
9. If you object before the responsible authority makes a decision, the authority will tell you its decision.
10. If despite your objection the responsible authority decides to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An appeal must be made on a prescribed form (obtainable from the Victorian Civil & Administrative Tribunal) and accompanied by the prescribed fee. A copy must be given to the responsible authority. The closing date for appeals is 21 days of the responsible authority giving notice of its decision.
11. If the responsible authority refuses the application, the applicant can also appeal. The provisions are set out on the Refusal of Planning Application which will be issued at that time.





## Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

### What application do you object to?

Planning Application Number..... PP2016 - 0062

What is the address of the land that is proposed to be used or developed?.....

4 Koroit Street, Warrnambool

What is proposed? Construction of one additional dwelling and

two (2) lot subdivision.

### What are the reasons for your objection? (If there is not enough room, attach a separate page.)

Please refer to attached pages. Thank you.

### How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

Please refer to attached pages.



**OBJECTION TO PLANNING PERMIT**

**Planning Permit Application Number:** PP2016-0062

**Address of the land:** 4 Koroit Street, Warrnambool.

**Application:** Construction of one additional dwelling and two (2) lot subdivision

**Reasons for your Objection****1. The proposal does not respect the character of the area***The Proposal does not respect the 'open rear yard' character of the area*

- VCAT have previously emphasised that the neighbourhood of Koroit Street, Williams Lane and Barkly Street is characterised by "open rear yards". In the VCAT decision to refuse a permit at 45-47 Barkly Street (2014), the Senior Member commented:

***"In this neighbourhood context, in which open rear yards are a significant feature and contribute to the amenity of the area ..."***

- Consequently, the "open rear yard" character should be respected and given appropriate consideration as it has been recognised as an integral component to the amenity of the area.
- The proposal's built form does not respond appropriately to this context. The development proposes extensive walls on boundaries, no side setbacks, minimal rear setbacks, extensive site coverage and built form over three levels. The intensity of this development is inconsistent with the "open rear yard" character of the area. This proposal would compromise the character and the amenity that VCAT have regarded as "significant."

*The Proposal does not respect the neighbourhood character*

- The proposed three-level dwelling is built boundary to boundary along Williams Lane. The height and extent of walls on boundaries and excessive site coverage demonstrates that the proposal has not responded appropriately to the context of the site and its overall character. The immediate area is characterised predominantly by single storey detached dwellings set in relatively spacious surrounds. VCAT have previously described the neighbourhood as:

***"Characterised almost exclusively by single storey housing located on relatively large single lots. Setbacks and landscaping are mainly generous, and together with the size of the houses creates a low intensity, suburban residential character."***



- Regarding an application at 44 Japan Street (2003), VCAT refused a permit, as it did not respect the neighbourhood character. The VCAT member commented:

*"I am of the opinion that the proposal before me does not fully respond to the character of the neighbourhood...I consider that it is the overall scale and bulk of the proposed development that does not adequately reflect the neighbourhood character.*

*I have found that the proposal... is **not in keeping with the neighbourhood character in that it represents a development that is inconsistent in terms of visual mass, scale and bulk. I have particular concerns relating to proximity of buildings to boundaries, adequacy of landscaping including the practicality and useability of private open space areas.**"*

- These comments are relevant to the assessment of this application. The scale and mass of this three-level proposal does not respect the spacious and open character of the area. The extent of built form on boundaries is inconsistent with the neighbourhood character; consequently, it will negatively affect the amenity of the area.

## 2. The proposal's design has major shortcomings

- The proposal's design has major shortcomings and fails to meet several ResCode Objectives and Standards.

### Side and rear setbacks

- The proposal does not meet the objective and standard relating to "side and rear setbacks" of which the objective is:

*"To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings."*

- This proposal is a three-level dwelling built boundary to boundary on Williams Lane. The lack of side setbacks accentuates the mass of the proposal; therefore, it does not respect the existing neighbourhood character and will have a detrimental impact upon adjacent dwellings.
- Significantly, VCAT refused a permit for a double storey development at 45-47 Barkly Street, as it did not meet the objective for side and rear setbacks.

### Walls on Boundaries

- The height and extent of walls on boundaries does not meet the "Walls on boundaries" objective, which is:



*"To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings."*

- This application proposes substantial walling to the eastern and western boundaries. The height of the wall on the western boundary is well over 5 metres (including screening). Due to the slope of the land, this wall will have a greater effective height when viewed from 6 Koroit Street. The height of this wall does not comply with Standard B18, which states that:

*"The height of a new wall constructed on or within 200 mm of a side or rear boundary ... should not exceed an average of 3.2 metres with **no part higher than 3.6 metres...**"*

- The height and extent of walls on boundaries will have a detrimental impact on the amenity of neighbouring land and the "open rear yard" character of the neighbourhood. The proposal's extensive walling will undermine the "open rear yard" character of the area.

#### Site Coverage

- The lack of side setbacks, the reduced rear setback and minimal amount of private open space suggests that the site has been overdeveloped. The proposal's excessive site coverage does not respect the "open" character of the area; consequently, it does not meet the "Site Coverage" objective, which is:

*"To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site."*

#### Landscaping

- A detailed landscaping plan has not been provided as part of this application; furthermore, the proposal's design limits the opportunities for reasonable landscaping. The proposal does not respect or contribute to the landscape character of the area.

#### Private Open Space

- The development does not provide sufficient secluded private open space to the proposed dwelling. The courtyard and balcony are located at the front of the property; therefore, these areas cannot be considered secluded. The private open space provided in the courtyard is not practical, as it cannot be directly accessed from the dwelling.

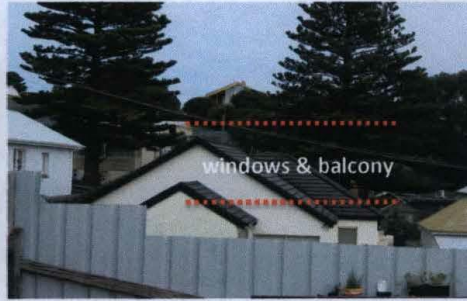


### 3. The Proposal will have direct views into our secluded private open space

- The proposed dwelling is located directly opposite our principal secluded private open space; therefore, it will obtain direct views into our property.
- The proposed third level living areas and balcony will have extensive and direct views into our secluded private open space. This degree of overlooking is unreasonable and will impinge on the amenity of our property.
- The photographs below provide an indication of the degree of overlooking into the backyard of 43 Barkly Street from the rear of 4 Koroit Street. The proposal's balcony and extensive windows will have a direct line of sight into our secluded private open space.



View from rear of 4 Koroit Street into the backyard of 43 Barkly St.



View from backyard of 43 Barkly St to rear of 4 Koroit St. Approximate location of windows & balcony shown dashed.

### 4. The proposal does not provide for safe or efficient car parking

- The proposal has not been designed to provide for safe or efficient car parking. The garage is located 1 – 1.5 metres below street level; therefore, the parking space will be accessed via a steep driveway. Additionally, the walls located on the front boundary will reduce visibility to Williams Lane for reversing vehicles.
- Access to the eastern car parking space in the double garage fails to support safe or efficient vehicle movements to and from the development, as it requires a motorist to perform manoeuvres to enter and exit the garage.
- The inefficient and unsafe parking design will negatively affect the amenity of the area for other motorists, cyclists and pedestrians. It is also likely that the design will result in an increase of on-street parking, which Williams Lane is not well suited to accommodate due to the narrow road pavement.



**5. There are errors, inconsistencies and omissions in the documentation**

- The levels of the proposed dwelling appear to be incorrect. The permit applicant claims that level 1 will be at 14.00 AHD; however, this is 3 metres below the natural ground/street level (17.00 AHD). This suggests that level 1 would be an underground structure; therefore, it contradicts the applicant's claim that they are utilising the natural slope of the site. Additionally, the applicant has only provided one AHD level for levels 1 and 2.
- The application has been insufficiently documented, particularly in regards to overshadowing and overlooking.

**6. VCAT have refused permits for developments in this area**

- VCAT decisions to refuse permits for similar developments in the immediate area are relevant to this application. VCAT have refused permits at:
  - **45-47 Barkly Street** (2014), which is located diagonally opposite the subject land.
  - **44 Japan Street** (2003), which is located approximately 150m from the subject site.
- VCAT refused these permits due to:
  - failure to respect the "open rear yard" character of the area;
  - visual impact of the development from neighbouring properties;
  - failure to respect neighbourhood character;
  - failure to meet "Side and Rear Setbacks" Objective
  - amenity impacts on neighbouring land;
  - inadequate private open space and landscaping.
- This proposal has similar flaws.



*Map showing applications refused by VCAT in the immediate area. Permits refused are highlighted in red.*



**7. The proposal does not constitute a proper or orderly planning outcome for the area**

- This application at 4 Koroit Street coincides with a permit application for the property at 6 Koroit Street. Both of these proposals have treated the rear of the adjacent property as “vacant” land. This is reflected in their designs, which have sought to take advantage of the neighbouring “vacant” block. Therefore, the approach of this proposal is detrimental to the orderly planning of the area and the amenity of the neighbourhood.

**How you will be affected by the grant of a permit**

The granting of a permit would have a negative impact upon the amenity of our property and neighbourhood.

- The granting of a permit would have a detrimental impact upon the amenity and character of this locality. It will negatively affect the ‘open rear yard’ character of the neighbourhood that we currently enjoy. VCAT have previously recognised that this is a significant character element that contributes to the amenity of the area.
- The proposed development will have direct views into our property. The extensive third level windows and large balcony are located directly opposite our principal secluded private open space; therefore, the proposal will result in unreasonable overlooking and a reduction in our amenity.
- The proposal is likely to generate an increase in on-street parking, which is a concern for Barkly Street and Koroit Street residents with garage frontage to Williams Lane. There have been several instances where vehicles have parked directly in front or opposite our garage, impeding access. There is a legitimate concern that this problem will be exacerbated by the proximity and the nature of the proposal.



**Neighbourhood Character Photos**

Koroit Street and Williams Lane





TOWN PLANNING OFFICE



## Objection to Grant Planning Permit – Part A

The information requested on this page will be used solely by the Warrnambool City Council. Council will not use your personal information for any other purpose without first seeking your consent, unless authorised or required by law. Council may not be able to process your request unless sufficient information is given.

### Who is objecting?

I/We (Names in Block Letters)

Name(s) DOT Surname DOMAN

Name(s) ..... Surname .....

Address 38 A JAPAN ST

WBOOL Post Code 10 AUG 2016

Telephone (Home) 55 62 7881 Telephone (Work) .....

Mobile ..... Facsimile .....

Email .....

Signatures(s) ..... Date 8/8/16

Signatures(s) D. M. Doman Date .....

Warrnambool City Council	
Post Code	10 AUG 2016
Ref N*	
Officer	
Yes / No / Ch:	

### Important notes about objections to permit applications

1. This form is to help you make an objection to an application in a way which complies with the Planning and Environment Act 1987, and which can be readily understood by the responsible authority. There is no requirement under the Act that you use any particular form.
2. Make sure you clearly understand what is proposed before you make an objection. You should inspect the application at the responsible authority's office.
3. To make an objection you should clearly complete the details on this form and lodge it with the responsible authority as shown on the Public Notice – Application for Planning Permit.
4. An objection must:
  - State the reasons for your objection: and
  - State how you would be affected if a permit is granted.
5. The responsible authority may reject an application which it considers has been made primarily to secure or maintain a direct or indirect commercial advantage for the objector. In this case, the Act applies as if the objection had not been made.
6. Any person may inspect an objection during office hours.
7. If your objection related to an effect on property other than at your address as shown on this form, give details of that property and of your interest in it.
8. To ensure the responsible authority considers your objection, make sure that the authority receives it by the date shown in the notice you were sent or which you saw in a newspaper or on the site.
9. If you object before the responsible authority makes a decision, the authority will tell you its decision.
10. If despite your objection the responsible authority decides to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An appeal must be made on a prescribed form (obtainable from the Victorian Civil & Administrative Tribunal) and accompanied by the prescribed fee. A copy must be given to the responsible authority. The closing date for appeals is 21 days of the responsible authority giving notice of its decision.
11. If the responsible authority refuses the application, the applicant can also appeal. The provisions are set out on the Refusal of Planning Application which will be issued at that time.





## Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

**What application do you object to?**

Planning Application Number..... PP 2016-0062

What is the address of the land that is proposed to be used or developed?.....

4 KOROIT ST WARRNAMBOOL

What is proposed?..... TOWNHOUSE + 2 LOT SUBDIVISION

**What are the reasons for your objection?** (If there is not enough room, attach a separate page.)

CONCERNED ABOUT EXTRA TRAFFIC ENTERING  
NARROW WILLIAMS BANE.

**How will you be affected by the grant of a permit?** (If there is not enough room, attach a separate page.)

EXTRA TRAFFIC CREATES EXTRA NOISE





## Objection to Grant Planning Permit – Part A

The information requested on this page will be used solely by the Warrnambool City Council. Council will not use your personal information for any other purpose without first seeking your consent, unless authorised or required by law. Council may not be able to process your request unless sufficient information is given.

Warrnambool City Council	
Ref N*	
Officer	
Scanned Yes / No	Ch:

**Who is objecting?**

I/We (Names in Block Letters)

Name(s) John Surname O'Leary

Name(s)..... Surname.....

Address 17 HOTHAM STREET,  
WARRNAMBOOL Post Code 3280

Telephone (Home)..... Telephone (Work).....

Mobile..... Facsimile.....

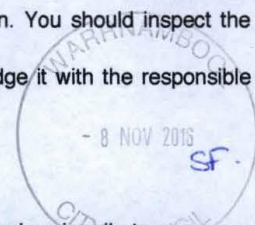
Email.....

Signatures(s) J. O'Leary Date 7/11/10

Signatures(s)..... Date.....

**Important notes about objections to permit applications**

1. This form is to help you make an objection to an application in a way which complies with the Planning and Environment Act 1987, and which can be readily understood by the responsible authority. There is no requirement under the Act that you use any particular form.
2. Make sure you clearly understand what is proposed before you make an objection. You should inspect the application at the responsible authority's office.
3. To make an objection you should clearly complete the details on this form and lodge it with the responsible authority as shown on the Public Notice – Application for Planning Permit.
4. An objection must:
  - State the reasons for your objection: and
  - State how you would be affected if a permit is granted.
5. The responsible authority may reject an application which it considers has been made primarily to secure or maintain a direct or indirect commercial advantage for the objector. In this case, the Act applies as if the objection had not been made.
6. Any person may inspect an objection during office hours.
7. If your objection related to an effect on property other than at your address as shown on this form, give details of that property and of your interest in it.
8. To ensure the responsible authority considers your objection, make sure that the authority receives it by the date shown in the notice you were sent or which you saw in a newspaper or on the site.
9. If you object before the responsible authority makes a decision, the authority will tell you its decision.
10. If despite your objection the responsible authority decides to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An appeal must be made on a prescribed form (obtainable from the Victorian Civil & Administrative Tribunal) and accompanied by the prescribed fee. A copy must be given to the responsible authority. The closing date for appeals is 21 days of the responsible authority giving notice of its decision.
11. If the responsible authority refuses the application, the applicant can also appeal. The provisions are set out on the Refusal of Planning Application which will be issued at that time.







## Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

**What application do you object to?**

Planning Application Number..... PP2016-0062

What is the address of the land that is proposed to be used or developed?.....  
4 KOROIT STREET WARRNAMBOOL

What is proposed? CONSTRUCTION OF AN ADDITIONAL 3 LEVEL DWELLING AND 2  
LOT SUBDIVISION

**What are the reasons for your objection?** (If there is not enough room, attach a separate page.)

- The development is not respectful of the neighbourhood character
- A 3 storey/level dwelling is not appropriate as a backyard development
- The building is bulky and is not in keeping with its surroundings. It will be prominent and visible from various vantage points.
- The balcony is not appropriate in a laneway and in a backyard development.

**How will you be affected by the grant of a permit?** (If there is not enough room, attach a separate page.)

If council grants a permit for this application it could set a precedent throughout Warrnambool for the approval of other 3 storey buildings in residential backyards.





## Objection to Grant Planning Permit - Part A

The information requested on this page will be used solely by the Warrnambool City Council. Council will not use your personal information for any other purpose without first seeking your consent, unless authorised or required by law. Council may not be able to process your request unless sufficient information is given.

Warrnambool City Council	
- 9 NOV 2016	
Ref N*	
Officer	
Scanned Yes / No	Ch:

**Who is objecting?**

I/We (Names in Block Letters)

Name(s) ALAN Surname SNELL

Name(s) KATHLEEN Surname SNELL

Address 2 KOROIT STREET  
WARRNAMBOOL VICT Post Code 3280

Telephone (Home) 0422 379 662 Telephone (Work) \_\_\_\_\_

Mobile 0422 379 662 Facsimile \_\_\_\_\_

Email Kathy.Snell.6@gmail.com Kathysnell.6@gmail.com

Signatures(s) [Signature] Date 9/11/2016

Signatures(s) Kathleen A. Snell Date 9/11/2016

### Important notes about objections to permit applications

1. This form is to help you make an objection to an application in a way which complies with the Planning and Environment Act 1987, and which can be readily understood by the responsible authority. There is no requirement under the Act that you use any particular form.
2. Make sure you clearly understand what is proposed before you make an objection. You should inspect the application at the responsible authority's office.
3. To make an objection you should clearly complete the details on this form and lodge it with the responsible authority as shown on the Public Notice – Application for Planning Permit.
4. An objection must:
  - State the reasons for your objection: and
  - State how you would be affected if a permit is granted.
5. The responsible authority may reject an application which it considers has been made primarily to secure or maintain a direct or indirect commercial advantage for the objector. In this case, the Act applies as if the objection had not been made.
6. Any person may inspect an objection during office hours.
7. If your objection related to an effect on property other than at your address as shown on this form, give details of that property and of your interest in it.
8. To ensure the responsible authority considers your objection, make sure that the authority receives it by the date shown in the notice you were sent or which you saw in a newspaper or on the site.
9. If you object before the responsible authority makes a decision, the authority will tell you its decision.
10. If despite your objection the responsible authority decides to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An appeal must be made on a prescribed form (obtainable from the Victorian Civil & Administrative Tribunal) and accompanied by the prescribed fee. A copy must be given to the responsible authority. The closing date for appeals is 21 days of the responsible authority giving notice of its decision.
11. If the responsible authority refuses the application, the applicant can also appeal. The provisions are set out on the Refusal of Planning Application which will be issued at that time.





## Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

### What application do you object to?

Planning Application Number..... PP2016-0062

What is the address of the land that is proposed to be used or developed?.....

4 KOROIT STREET, WARRNAMBOOL VIC 3280

What is proposed?..... 3 STOREY DWELLING

### What are the reasons for your objection? (If there is not enough room, attach a separate page.)

- We would like clarification of the height (overall)
- HEIGHT OF SOUTH FACING BALCONY
- CLARIFICATION OF THE HOWE BEING BUILT ON TOP OF EXISTING SOIL OR DUG IN. (THIS SOIL IS NOT NATURAL. IT WAS FILL FROM EXISTING DWELLING BUILT AT 4 KOROIT ST)
- CLARIFICATION OF SHADOWING TO OUR PROPERTY at 2 KOROIT STREET.
- CLARIFICATION OF EXTERNAL STAIRCASE ON SOUTH FACING SIDE.

### How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

- PRIVACY - FROM THEIR BALCONY ACCESS TO SEE INTO OUR SMALL REAR COURTYARD + FAMILY AREA.
- FURTHER LIGHT CUT OUT FROM OUR HOME - SINCE THE project behind us was built we now have mould + moss inside + outside. THIS AFFECTS OUR HEALTH BOTH PHYSICALLY + MENTALLY. We now only have sun in the house between 11am + 2pm.
- SHADOWING FROM TALL BUILDINGS - THIS CAUSES larger heating costs





## Objection to Grant Planning Permit – Part A

The information requested on this page will be used solely by the Warrnambool City Council. Council will not use your personal information for any other purpose without first seeking your consent, unless authorised or required by law. Council may not be able to process your request unless sufficient information is given.

Warrnambool City Council	
Ref N*	
Officer	
Scanned Yes / No	Ch:

### Who is objecting?

I/We (Names in Block Letters)

Name(s) GAETANO Surname REMINE

Name(s) ..... Surname .....

Address 11 LATROBE ST. W'BOOL

Post Code 3280

Telephone (Home) ..... Telephone (Work) .....

Mobile ..... Facsimile .....

Email .....

Signatures(s) Gaetano Remie Date 8-11-16

Signatures(s) ..... Date .....

### Important notes about objections to permit applications

1. This form is to help you make an objection to an application in a way which complies with the Planning and Environment Act 1987, and which can be readily understood by the responsible authority. There is no requirement under the Act that you use any particular form.
2. Make sure you clearly understand what is proposed before you make an objection. You should inspect the application at the responsible authority's office.
3. To make an objection you should clearly complete the details on this form and lodge it with the responsible authority as shown on the Public Notice – Application for Planning Permit.
4. An objection must:
  - State the reasons for your objection: and
  - State how you would be affected if a permit is granted.
5. The responsible authority may reject an application which it considers has been made primarily to secure or maintain a direct or indirect commercial advantage for the objector. In this case, the Act applies as if the objection had not been made.
6. Any person may inspect an objection during office hours.
7. If your objection related to an effect on property other than at your address as shown on this form, give details of that property and of your interest in it.
8. To ensure the responsible authority considers your objection, make sure that the authority receives it by the date shown in the notice you were sent or which you saw in a newspaper or on the site.
9. If you object before the responsible authority makes a decision, the authority will tell you its decision.
10. If despite your objection the responsible authority decides to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An appeal must be made on a prescribed form (obtainable from the Victorian Civil & Administrative Tribunal) and accompanied by the prescribed fee. A copy must be given to the responsible authority. The closing date for appeals is 21 days of the responsible authority giving notice of its decision.
11. If the responsible authority refuses the application, the applicant can also appeal. The provisions are set out on the Refusal of Planning Application which will be issued at that time.





## Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

### What application do you object to?

Planning Application Number PP 2016-062

What is the address of the land that is proposed to be used or developed?  
4 Koroit St. Warrnambool

What is proposed?  
Construction of an extra dwelling (3 level) and 2 lot subdivision

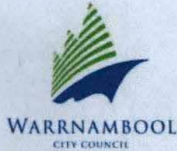
### What are the reasons for your objection? (If there is not enough room, attach a separate page.)

This design is too large and bulky for the extremely small site and will be conspicuous in the street. It is not acceptable for a three level dwelling with a very prominent balcony to be in this location close to people's backyards.

### How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

I am concerned that this will lead to a situation where extremely large, bulky 3 storey developments will become acceptable and commonplace in the backyards of Warrnambool's residential areas. It will have a negative impact on livability and amenity in Warrnambool.





## Objection to Grant Planning Permit – Part A

The information requested on this page will be used solely by the Warrnambool City Council. Council will not use your personal information for any other purpose without first seeking your consent, unless authorised or required by law. Council may not be able to process your request unless sufficient information is given.

### Who is objecting?

I/We (Names in Block Letters)

Name(s) Lisa ..... Surname Sanelli ..... Ref N\* .....

Name(s) ..... Surname .....

Address 43 Barkly Street .....  
Warrnambool Victoria ..... Post Code 3280 .....

Telephone (Home) ..... Telephone (Work) .....

Mobile ..... Facsimile .....

Email .....

Signatures(s) Lisa Sanelli ..... Date 8/11/2016 .....

Signatures(s) ..... Date .....

Warrnambool City Council

- 9 NOV 2016

Ref N\* .....

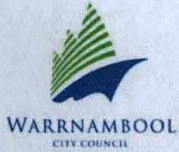
Officer

Scanned Yes / No | Ch:

### Important notes about objections to permit applications

1. This form is to help you make an objection to an application in a way which complies with the Planning and Environment Act 1987, and which can be readily understood by the responsible authority. There is no requirement under the Act that you use any particular form.
2. Make sure you clearly understand what is proposed before you make an objection. You should inspect the application at the responsible authority's office.
3. To make an objection you should clearly complete the details on this form and lodge it with the responsible authority as shown on the Public Notice – Application for Planning Permit.
4. An objection must:
  - State the reasons for your objection: and
  - State how you would be affected if a permit is granted.
5. The responsible authority may reject an application which it considers has been made primarily to secure or maintain a direct or indirect commercial advantage for the objector. In this case, the Act applies as if the objection had not been made.
6. Any person may inspect an objection during office hours.
7. If your objection related to an effect on property other than at your address as shown on this form, give details of that property and of your interest in it.
8. To ensure the responsible authority considers your objection, make sure that the authority receives it by the date shown in the notice you were sent or which you saw in a newspaper or on the site.
9. If you object before the responsible authority makes a decision, the authority will tell you its decision.
10. If despite your objection the responsible authority decides to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An appeal must be made on a prescribed form (obtainable from the Victorian Civil & Administrative Tribunal) and accompanied by the prescribed fee. A copy must be given to the responsible authority. The closing date for appeals is 21 days of the responsible authority giving notice of its decision.
11. If the responsible authority refuses the application, the applicant can also appeal. The provisions are set out on the Refusal of Planning Application which will be issued at that time.





## Objection to Grant Planning Permit – Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

### What application do you object to?

Planning Application Number..... PP2016-0062

What is the address of the land that is proposed to be used or developed?.....

4 Koroit Street, Warrnambool

What is proposed?..... Construct an additional dwelling and a

two (2) lot subdivision

### What are the reasons for your objection? (If there is not enough room, attach a separate page.)

Please refer to attached pages.

### How will you be affected by the grant of a permit? (If there is not enough room, attach a separate page.)

Please refer to attached pages. Thank you.

Erin Sonogo  
Town Planner  
Warrnambool City Council  
P.O. Box 198  
Warrnambool  
VIC 3280

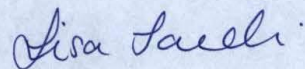
7<sup>th</sup> of November 2016.

Dear Erin,

Please find attached a further submission in regard to the re-notification of Planning Application Number PP2016-0062.

Before Council decides on this application, we would appreciate the opportunity to discuss our concerns about the revised plans; and invite you to visit our property so you can fully understand the impacts this development will have on our property's amenity.

Kind regards,





**OBJECTION TO PLANNING PERMIT**

**Planning Permit Application Number:** PP2016-0062

**Address of the land:** 4 Koroit Street, Warrnambool.

**Application:** Construction of one additional dwelling and two (2) lot subdivision

---

We are extremely disappointed with the revised plans (dated 27/09/2016), which have made matters worse. The revised plans demonstrate that the permit applicant has not given any consideration to the impacts this development will have on our property.

**1. The proposal will have direct and expansive views into our rear yard.**

- The changes made by the permit applicant have *increased* the proposal's viewing opportunities into our rear yard.
- The revised plan shows that the balcony has *increased* in area and that it has also been moved substantially *closer* to our secluded private open space. Furthermore, additional full-length glass sliding doors have been added to the north and west façades.
- The balcony's viewing opportunities are now primarily to the north and restricted to our backyard.
- The proposal's large north facing windows will also obtain direct and expansive views of our rear yard.
- This revised plan demonstrates that there has been no attempt to limit viewing opportunities into our secluded private open space.

**2. The proposal will have a negative impact upon the amenity of our property.**

- The proposal's extensive windows and balcony will greatly reduce the level of privacy in our backyard.
- The part of our backyard that will be affected by the proposal is the *only* area that is secluded, as the remaining area is largely overlooked by the neighbouring two-storey townhouse (please refer to attached photos).



- As our backyard is already overlooked by the adjacent two-storey townhouse, additional overlooking by the proposed development would result in a complete loss of privacy and a significant reduction in our amenity.
- In light of these existing overlooking conditions, it is imperative that we retain a reasonable level of privacy and amenity for the rear section of our backyard. Significantly, one of the decision guidelines of Clause 55.04-6 (Overlooking) that **must** be considered "is the existing extent of overlooking into the secluded private open space of existing dwellings."
- The proposal will be clearly visible from our backyard and it will create a sense of constant surveillance (Please refer to photo).
- Therefore, the proposal will have a detrimental impact upon the privacy, enjoyment and the use of our backyard.
- There are no other dwellings in this area that have their backyards and the rear of their property overlooked by this level of development.
- Additionally, the proposal's design is not consistent with the neighbourhood character.

**3. There are inaccuracies with the drawings themselves.**

- The permit applicant claims level 1 and level 2 are at 14.0 AHD. It is not possible for two different dwelling levels to be at the same AHD level.

**4. The built form remains unacceptable.**

- The additional points that we raised in our initial objection remain valid. These issues have not been addressed in the revised plan:
  - The proposal's built form and setbacks;
  - Excessive site coverage;
  - A failure to respect the existing neighbourhood character;
  - Landscaping inadequacies; and
  - Issues with car parking accessibility.



**PHOTOS**

The two-storey dwelling adjacent to our backyard. There are a total of *five windows* which look directly into our secluded private open space.





Approximate location of balcony and windows shown in red. It is obvious that this development will look *directly* into our backyard.



**Delegate Planning Assessment Report****Application Details:**

<b>Application is for:</b>	Construction of a townhouse and two (2) lot subdivision
<b>Applicant's/Owner's Name:</b>	Designers By Nature - Dean Picken Designs Po Box 634 WARRNAMBOOL VIC 3280
<b>Date Received:</b>	2 May 2016
<b>Application Number:</b>	PP2016-0062
<b>Land/Address:</b>	ALLOT Lot 1 PS 316460D TSH WARR 4 Koroit St WARRNAMBOOL VIC 3280
<b>Zoning:</b>	GRZ
<b>Overlays:</b>	None
<b>Under what clause(s) is a permit required?</b>	32.08
<b>Restrictive covenants on the title?</b>	No
<b>Current use and development:</b>	Residential / Accommodation

**Proposal**

The proposal is for the construction of one additional townhouse to the rear of the existing dwelling, and to subdivide the land into two lots.

The proposed dwelling is situated behind the existing dwelling, but will have frontage to Williams Lane. The dwelling is double storey, with the garage and bedrooms provided at lower level, and the living areas provided at the upper level. However due to the slope of the land the living areas will be at street level. The front door is to be accessed via a suspended walkway from the street.

Private open space is provided by balcony at the upper level, and a courtyard at ground level. Car parking is provided by a double garage, as well as one additional open car space within the driveway. On the first revision plans, the balcony was located directly adjacent to the western boundary of the site with a metal screen proposed to prevent overlooking into the adjoining property. The second revision relocates the balcony slightly, setting it back from the western boundary, and moving it closer to the front boundary.

The dwelling has a zero setback to both east and west boundaries, and a 4.7m setback to the street.

The dwelling is proposed to be constructed from a mix of masonry and metal cladding, with a colourbond roof. Colour finishes are not yet defined.

The proposed boundary is to be set back approximately 3.5m behind the existing dwelling, in line with the edge of the existing patio roof. Existing access from Koroit Street for the dwelling is to be maintained.

---

**Subject site & locality**

An inspection of the site and the surrounding area has been undertaken.

The site has a total area of 604 square metres and currently contains a single storey dwelling with frontage to Koroit Street. Vehicle access to this dwelling is also obtained via Koroit Street. The rear portion of the site is currently undeveloped with any structures. It is also clear of vegetation.

The area has a mixed character but is generally single storey residential. Dwellings include older style single dwellings, newer dwellings, and infill development of varying ages. The laneways in particular have a non-uniform character. The lots fronting Williams Lane have no particular pattern, historically it has been used for vehicle access to lots, however in more recent times a number of the lots have been subdivided and units constructed with frontage to the lane.

---

**Permit/Site History**

There is no recent planning permit history for the site. It has been used for the purpose of a single dwelling.

---

**Public Notification**

The application has been advertised pursuant to Section 52 of the *Planning and Environment Act 1987*, by:

Sending notices to the owners and occupiers of adjoining land.

and

Placement of a sign on site.

The notification has been carried out correctly. Council has received **6 objections** to date. The key issues that were raised in the objections are:

Increase in traffic in Williams Lane. Proposal does not provide for safe or efficient car parking.

The proposal does not respect the character of the area, including the “open rear-yard character”

The proposal fails to meet several ResCode standards, including:

- Side and rear setbacks – Eastern and western side setback requirements are not met.
- Site coverage – the site coverage does not respect the ‘open rear yard’ character of the area and is an over-development.
- Private open space – The balcony at the first floor level results in overlooking to the property to the west, and requires excessive amounts of screening to minimise the impact. The private open space at ground level, whilst meets dimension requirements of ResCode, is not accessible from any habitable rooms of the dwelling. The only access to the open space is from the garage, or from the street (access is not available via the front door). Open space is all at the front of the dwelling and therefore is not secluded.
- Overlooking – The location of the proposed balcony will result in overlooking to 6 Koroit Street and 43 Barkly Street. There will also be overlooking into the rear yard of 2 Koroit Street.
- Overshadowing – overshadowing impact on property to west has not been addressed.

**Response to objections as follows:****Traffic and Parking**

The proposal provides for a total of 3 spaces for the new dwelling, which complies with the requirements of Clause 55 that a minimum of 2 spaces must be provided for each 3 bedroom dwelling.

The traffic impact from one additional dwelling will not adversely impact on the capacity of Williams Lane, as it is an access lane and does not experience through-traffic.

**Neighbourhood character**

The proposed design is acceptable in the neighbourhood context. Although it is not the same style as surrounding dwellings, the design is considered to blend into its surrounds.



Due to the slope of the site and the excavation proposed, the dwelling will have the massing of a single storey dwelling towards the eastern side of the site, and 1.5m towards the western side. The massing when viewed from the street will result in a street presentation that is not visually overwhelming. Unlike many contemporary developments, the living areas are located to the front, therefore a high level of activation and passive surveillance will result from the proposal, making a positive contribution to the streetscape.

#### Compliance with Clause 55

Following the review of the objections, the applicant has made a number of amendments to the design. The revised plans were received on 27 September 2016, and were re-notified to the adjoining properties by letter. Three (3) additional submissions were received, two from new objectors and one from an existing objector. The amendments to the plans address the above concerns as follows:

- Balcony is moved away from the western boundary, remedying both issues with overlooking, as well as the height of the wall on the boundary. The revised balcony is now compliant with the standards.
- Overshadowing diagram addresses the impact on adjoining properties, and is within parameters of ResCode.
- The visual impact of the development when viewed from the west is reduced, as a result of moving the balcony from the boundary. The height of the wall on this boundary now complies.
- Access to the ground floor courtyard has been addressed through inclusion of a sliding door to the master bedroom. As the courtyard is below street level, it will be secluded.

Additionally, a condition will be included on the permit to ensure that all fencing to boundaries provides adequate screening of views to adjoining properties.

---

#### **Consultation**

Consultation occurred with an adjoining neighbour where concerns were raised about the height of wall on the boundary and overlooking from the proposed balcony. The objector made a number of suggestions regarding changes to plans. These suggestions have now been incorporated into the proposal, and were re-notified. No additional objections were received.

---

#### **Referrals**

##### **Section 55 Referrals:**

None required

##### **Section 52 Referrals:**

None required

##### **Internal Referrals:**

Building services: No objection.

Infrastructure services: Conditions required.

---

#### **Assessment**

##### **Zoning:**

The site is zoned General Residential. Pursuant to Clause 32.08-2 a permit is required to subdivide land, and under Clause 32.08-4 a permit is required to construct a dwelling if there is at least one dwelling on the lot.

The purpose of the zone includes:

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- To encourage development that respects the neighbourhood character of the area.
- To implement neighbourhood character policy and adopted neighbourhood character guidelines.
- To provide a diversity of housing types and moderate housing growth in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

The relevant decision guidelines include:

**General:**

- The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- The purpose of this zone.
- Any other decision guidelines specified in a schedule to this zone.

**Subdivision:**

- The pattern of subdivision and its effect on the spacing of buildings.
- For subdivision of land for residential development, the objectives and standards of Clause 56.

**Dwellings and residential buildings:**

- For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55.

*The proposal is consistent with the purpose of the zone. It promotes housing diversity whilst not impacting adversely on neighbourhood character. The placement of the open balcony and living areas at the front of the dwelling, level with the street, will provide for street activation and passive surveillance. The design quality is high, and will contribute to increased visual interest within the streetscape.*

**Overlays:**

None

**The State Planning Policy Framework (SPPF)**

Clause 11 – Settlement

11.02-1 Supply of urban land

**Objective:**

To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.

Strategies include:

- Ensure that sufficient land is available to meet forecast demand.
- Planning for urban growth should consider:
  - Opportunities for the consolidation, redevelopment and intensification of existing urban areas.
  - Neighbourhood character and landscape considerations.

11.04-2 Housing Choice and affordability

**Objective:**

To provide a diversity of housing in defined locations that cater for different households and are close to jobs and services.

Strategies include:

- Understand and plan for expected housing needs.
- Reduce the cost of living by increasing housing supply near services and public transport.
- Facilitate the supply of social housing.
- Facilitate the supply of affordable housing.



11.09 – Great South Coast regional growth11.09-2 Sustainable communities**Objective:**

To attract more people to the region

Strategies include:

- Support the provision of suitable housing for elderly people to cater for projected demographic change.
- Support and promote active and attractive towns through the provision and enhancement of open space, trails, streetscapes and gardens.

Clause 15 – Built Environment and Heritage15.01-1 Urban design**Objective:**

To create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity.

Strategies include:

- Promote good urban design to make the environment more liveable and attractive.
- Ensure new development or redevelopment contributes to community and cultural life by improving safety, diversity and choice, the quality of living and working environments, accessibility and inclusiveness and environmental sustainability.
- Require development to respond to its context in terms of urban character, cultural heritage, natural features, surrounding landscape and climate.
- Require development to include a site analysis and descriptive statement explaining how the proposed development responds to the site and its context.

15.01-5 Cultural identity and neighbourhood character**Objective:**

To recognise and protect cultural identity, neighbourhood character and sense of place.

Strategies include:

- Ensure development responds and contributes to existing sense of place and cultural identity.
- Ensure development recognises distinctive urban forms and layout and their relationship to landscape and vegetation.
- Ensure development responds to its context and reinforces special characteristics of local environment and place by emphasising:
  - The underlying natural landscape character.
  - The heritage values and built form that reflect community identity.
  - The values, needs and aspirations of the community.

*The proposal is consistent with the above strategies and objectives of the SPPF. The proposal provides an opportunity for intensification within the existing urban area. The design response is an acceptable outcome in the neighbourhood context, subject to a number of amendments to the design – specifically addressing the height of the wall on the western boundary, as well as the extent of screening required to prevent overlooking into adjoining properties.*

*The design will result in a positive contribution to the streetscape, with a high degree of visual interest and activation. This is a result of the large front windows and living areas facing the street, as well as the design characteristics that provide articulation and variation in materials.*

**Municipal Strategic Statement:**Clause 21.05 – Housing

Housing objectives include:

- To achieve a sustainable urban form.
- To achieve urban design of the highest standard.
- To provide opportunities for affordable housing.
- To provide for access and mobility
- To develop neighbourhoods with a strong focus on community access and safety.
- To provide a diverse housing stock to meet the range of household needs.
- To protect the city's natural and built heritage.
- To maintain neighbourhood character

Clause 21.05-3 Housing Strategies

Neighbourhood character

- Protect the character of the existing residential precincts.
- Ensure that new development responds to site context.
- Integrate new development with the existing architectural, historic and landscape character of Warrnambool.
- Ensure that building heights respect the scale and character of existing buildings.
- Encourage development that contributes to an active street frontage by use of porches, and low front fences.

Redevelopment areas – Inner Warrnambool

- Ensure that the selective redevelopment of sites for units and townhouses complements the area's heritage character and incorporates appropriate design standards.
- Improve streetscapes.
- Achieve high quality unit and townhouse development.
- Protect neighbourhood character.

*The proposal is generally consistent with the above objectives and strategies. Infill development contributes to the sustainability of urban form. The site is an appropriate location for infill development due to high level of accessibility to the city centre.*

*The proposal is acceptable in the neighbourhood context, subject to some amendments to the design as noted previously. The design addresses the identified strategy to improve streetscapes, by providing for increased activation and visual interest to this laneway.*

**Relevant Particular Provisions**

Clause 55 – two or more dwellings on a lot

The proposal has been assessed against Clause 55 and a detailed assessment has been undertaken.

The revised proposal meets the majority of the relevant standards, however several variations are required, including:

- Street setback. The minimum required setback is 4m, however the proposed setback is 3.2m. This encroachment is a result of the balcony projecting into the front setback. The setback of the front façade of the dwelling is 4.7m. The variation to 3.2m is required to accommodate the balcony, and is considered not to adversely impact on the streetscape. As the main part of the dwelling is set back more than 4m, this is generally uniform with existing development within the laneway.
- Side setback to eastern boundary. Due to the slope of the land, a variation is required for a small section of the wall abutting the boundary. Due to the location of the wall, adjoining a garage and service area, it is considered granting this variation would not impact adversely on the amenity or function of these areas.
- Landscape plan. A landscape plan was not supplied, however there is adequate area on site to accommodate landscaping, and a landscape plan can be required by a permit condition.



**Other matters:**

Cultural Heritage: A Cultural Heritage Management Plan (CHMP) is not required to be prepared, as small-lot development is exempt from the requirement under the regulations.

**Recommendation**

That Council: having caused notice of Planning Application No. PP2016-0062 to be given under Section 52 of the *Planning and Environment Act 1987* and or the planning scheme and having considered all the matters required under Section 60 of *the Planning and Environment Act 1987* decides to issue a Notice of Decision to Grant a Permit under the provisions of Clause 32.08 of the Warrnambool Planning Scheme in respect of the land known and described as Lot 1 PS 316460D TSH WARR, 4 Koroit St WARRNAMBOOL VIC 3280, for the Construction of a townhouse and two (2) lot subdivision in accordance with the endorsed plans & subject to conditions outlined in the Council report

Planner  
Responsible: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Delegate: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**APPENDIX F – APPLICANTS RESPONSE TO OBJECTIONS**

Enquiries to: Shaun Watson  
Telephone: 03 5562 9823  
Job: 15-033

Erin Sonogo  
Planning Department  
Warrnambool City Council  
PO Box 198  
Warrnambool VIC 3280

30<sup>th</sup> August 2016

Dear Erin,

**RE: Planning Permit Application Number: PP2016-0062  
Construction of a townhouse and two (2) lot subdivision  
4 Koroit St WARRNAMBOOL VIC 3280**

Please see below for a summary response to each of the objections received for the above application.

**OBJECTION #1 – Dot Doman (38a Japan Street Warrnambool)**

The proposed dwelling has provided off-street parking for two vehicles in the double garage as well as additional space on the driveway area. This development, of a single dwelling, will not significantly increase the volume of traffic to Williams Lane or detrimentally impact upon traffic noise. The development is residential in nature and as such will not create any additional noise as currently exists in the area.

Further, rear access to Williams Lane is an existing condition of the subject site, as off-street parking to the rear vacant portion of site already exists.

**OBJECTION #2 – Ferdinando and Lisa Sanelli (43 Barkly Street Warrnambool)**

This application is not related to the application at 45-47 Barkly Street Warrnambool and it is requested that this application be assessed on its own merits regardless of VCAT outcomes for other applications.

It is believed that the character of the Williams Lane area is mixed, where development is noted as being a combination of single dwellings with attached and detached garages built directly to the side and rear boundaries, unit developments built boundary to boundary with no side setbacks, full height fencing to the rear of various lots with minimal visual transparency to Williams Lane and infill development of vacant sites which have been subdivided. This is particularly evident when looking at the neighbouring properties to both the east and west (proposed) boundaries of the subject site. It is argued that the built form of this proposal does in fact respond appropriately to the sites context.

32.08 General Residential Zone Schedule 1 of the Warrnambool Planning Scheme does not specify requirements for walls on boundaries, side and rear setbacks, site coverage or compositions of built form, including levels of the design.

A Clause 55 Rescode report was submitted with the application and, as outlined, most of the objectives and standards have been achieved.

Site Coverage is compliant and is not considered to be excessive.

With regards to Landscaping, if requested, a landscape plan could be provided, as would usually be the case as a condition of a planning permit. The compact site will be landscaped to respect the character of the neighbourhood and to provide a safe, attractive and functional environment for the residents.

Private Open Space (POS) areas are compliant.



The exceptions, where variations are required are, **55.04-1 Side and Rear Setbacks Objective** and **55.04-2 Walls On Boundaries Objective**. Please refer to the previously submitted Clause 55 report for further details. In addition, the adjoining property owner at #6 Koroit Street has requested minor amendments to the balcony screening and wall to the west boundary. We are happy to accommodate these changes and request that these changes become a condition, should a planning permit be granted. As a result of these potential changes, there will be variations to the wall height at the west boundary and therefore variations to what has previously been noted in the Clause 55 report.

Concerns regarding overlooking into the rear secluded open space of #43 Barkly Street are questioned. As per Standard B22:

*A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio.*

The secluded open space of #43 Barkly Street, screened via an existing full height boundary fence, is more than 9m (approximately 10.5m to #43 boundary fence) from the balcony and façade of the proposed dwelling and therefore set a significant distance apart. Further, it should be noted that whilst the dwelling has three levels, it is effectively a split level design and the dwelling essentially will only appear as two levels, particularly when viewed from Williams Lane. It could also be argued that the majority of the streetside façade will actually appear not much greater than single storey in height and as the land falls to the west, the garage below becomes evident from the streetscape. Please refer to Street Elevation and North Elevation for clarification. In addition, whilst noted as 'approximate', the accuracy of the areas noted as 'windows and balcony' on the image provided by this objector are questionable.

The proposed car parking and vehicular access is compliant. The proposal has been designed with regard to safe access, and is not considered to be a detrimental outcome for Williams Lane. The length of driveway allows for adequate ramp down to the garage and is not considered an excessively steep gradient. Traffic will not be significantly increased as a result of this single dwelling development. In addition, it should be noted that rear vehicular access is an existing condition of the subject site as is the case with several neighbouring properties along Williams Lane. Potentially the subject site could have an existing double garage with rear access to Williams Lane and therefore, there would be no difference to the traffic outcome of what is proposed.

The levels of the subject site and proposed dwelling are correct. The north eastern corner of the site is the highest point at approx. 16.99m ahd. The street level is not flat or the same level the entire boundary length. The site then falls approx. 2.66m to the northern corner to approx. 14.33m ahd, and a further 1.18m to the south west corner. There is a fall of approx. 1.96m from the highest north eastern corner of the site to the south east corner of the site.

The proposed dwelling levels are as follows:

Lower Level One	- 14,000 AHD
Mid (Split) Level Two	- 15,350 AHD
Upper Level Three	- 16,700 AHD

The natural fall of the land has been utilized as the upper level is accessed at street level at the north east corner of the site and the lowest level, which is partially cut into the site, is accessed via the lowest streetside level at the north west corner down to the garage below. The Sun Diagrams have been appropriately documented, as would typically be the case. Obviously there would be no impact on #43 Barkly Street due to the subject site being located to their south.

Whilst issues relating to overlooking have been addressed, overlooking diagrams can be provided if requested by council.

As mentioned previously, this application should be assessed on its own merits as it is unrelated to VCAT decisions of different applications at different sites. This application is not a prohibited use and the owners of the land have a right to submit an application to subdivide and develop their land as proposed. At present, the adjoining rear lot of #6 Koroit Street is vacant garden area, as is the existing conditions to the rear of the subject site. As is standard practice, the proposed design for the subject site can only take into account what is actually located on adjoining sites, not what may or may not be present in the future.

#### **OBJECTION #3 – Alan and Kathleen Snell (2 Koroit Street Warrnambool)**

Whilst it is unfortunate that the residents of #2 Koroit Street advise that they experience overshadowing from #1 Williams Lane, this will not be the case with this proposed dwelling. As per Standard B21, 22 September is used to assess overshadowing. The diagrams submitted with this application are correct and indicate that #2 Koroit Street will not be detrimentally affected.

The maximum building height is compliant where maximum heights are reasonable and not excessive and are well below the maximum allowable height. From the south east corner of the subject site, the proposed dwelling is stepped and graduated in height to reduce the impact of verticality. The rear component of the proposed dwelling consists of bedrooms and a bathroom with floor levels close to natural ground level and as a result, any potential overlooking from these rooms would be screened via boundary fencing. The upper level glazing to the south are hi-lite windows with raised sill levels and therefore will not present any issues of overlooking. There will be no issues regarding overlooking to #2 Koroit Street from this proposed dwelling.

With regards to viewing to the north from #2 Koroit Street, the amenity and privacy of all lots should be considered. The proposed development is not prohibited and there is always the potential for this private lot to be developed in some way and therefore not remain vacant and providing outlook for adjoining properties.

The area of the subject site to be developed is currently vacant and does not contain an existing building of any architectural significance. The surrounding streetscape of Williams Lane consists of a mixed style of built form, of varying styles and material use. The proposed dwelling has been designed to integrate with the area where the built form is contemporary in style and does not seek to mock or replicate any particular architectural style. It is believed that the proposed built form is in keeping with the character of the area.

#### **OBJECTION #4 – Michael Wesley 1/39 Granter Street Warrnambool**

Our client is happy to accommodate this request regarding balcony screening and the rendered, white painted finish to the western boundary wall.

We request that these changes become a condition, should a planning permit be granted. As mentioned, as a result of these potential changes, there will be variations to the wall height at the west boundary and therefore what has previously been noted in the Clause 55 report.

As a result, the western wall height will be increased to provide balcony screening which will be achieved via a perforated metal screen where an additional approximately 800mm will be added to the proposed boundary wall. The south of the proposed balcony will have a 1.8m high perforated screen which will tie in with the overall design and will also prevent any issues relating to overlooking. As per Standard B22, the proposed permanently fixed screens will be compliant. This outcome is considered reasonable and satisfies this neighbour. The screening is not detrimental to the neighbouring character and will alleviate any overlooking to the proposed neighbouring development to the west and the existing dwelling to the south at #6 Koroit Street.



In concluding, it is believed that each of the objectors concerns have been satisfactorily addressed. Please advise if any further information is required.

Thank you

Regards

Regards,

Shaun Watson  
Designers by Nature

4 Walter Crescent  
PO Box 634  
Warrnambool 3280  
Telephone Q3 5562 9823

ABN: 2809/9293/2  
dean@designersbynature.com.au  
www.designersbynature.com.au



**5.4 PLANNING PERMIT PP2016-0201 – 94 MERRI STREET, WARRNAMBOOL****PURPOSE**

*This report provides an assessment of a planning permit application relating to 94 Merri Street, Warrnambool (PP2016-0201) for construction of extensions to the existing dwelling and recommends that a Notice to Refuse to Grant a Permit be issued pursuant to Section 65 of the Planning & Environment Act 1987.*

**EXECUTIVE SUMMARY**

- The application is for extensions to the existing dwelling at third floor level.
- The application was notified and One (1) objection has been received.
- For the reasons detailed in the officer report the planning permit application is not supported.

**MOVED: CR. OWEN**  
**SECONDED: CR. HULIN**

**That a Notice of Refusal to Grant a Permit be issued under Section 65 of the Planning and Environment Act 1987 on the following grounds:**

- 1. The proposed development fails to satisfy the objectives of Clause 21.06 of the Warrnambool Planning Scheme. Particularly in regards to protection of the character of the existing residential precinct, ensuring building heights maintain view lines to the coast and ensuring building heights respect the scale and character of existing buildings.**
- 2. The proposed development fails to meet the design objectives of Schedule 15 to the Design and Development Overlay, Clause 43.02 of the Warrnambool Planning Scheme, particularly when considering the building height, form and setback requirements.**
- 3. The proposed development does not satisfy the relevant provisions of Clause 55.02-1 of the Warrnambool Planning Scheme (Neighbourhood Character) as the proposal does not respect the existing or preferred neighbourhood character in regards to height and scale.**

**CARRIED – 5:2**

**Crs. Owen, Hulin, Gaston, Anderson & Cassidy voting for the motion**

**Crs. Herbert and Neoh voting against the motion**

**PROPOSAL**

The application proposes buildings and works for the construction of an extension to the existing dwelling at third floor. The plans which have been considered in this assessment are those dated as received by Council on 17 November 2016 and which can be found at **Appendix A – Application Documentation and Proposed Plans**.

The subject site is located at 94 Merri Street, Warrnambool. **Refer Appendix B – Subject Site Plan.**

The proposed buildings and works include:

- Extension of third floor roof line by 3m south and 1.5m east increasing the area by 9m<sup>2</sup>.
- Infill of existing roof terrace at third floor to create siting/ viewing room. External finish to comprise mix of acrylic texture coat and floor to ceiling glazing.
- Construction of an additional room at third floor to create w.c and shower.
- Extension of third floor balcony toward the south by approximately 800mm with the inclusion of a glass balustrade.



## BACKGROUND

The subject site is located within the General Residential Zone (GRZ) and the Design Development Overlay Schedule 15 (DDO15) applies.

Schedule 15 is specific to Merri Street east and has a focus on foreshore design and view sharing. **Refer Appendix C – Zone and Overlay Map.**

Pursuant to Clause 32.08-4 of the General Residential Zone a planning permit is required to extend a dwelling if there are two or more dwellings on the lot.

Pursuant to Clause 43.02-2 of the Design Development Overlay a planning permit is required to construct a building or carry out works.

### Site history

There are several applications relating to the site. Of particular relevance to the planning permit application currently under consideration, is planning permit PP2012-0241, issued 16 May 2013, which allowed for the construction of a dwelling and three lot subdivision (including the creation of common property) at 94 Merri Street.

Planning application PP2012-0241 was considered and approved at Councils Ordinary meeting on 15 April 2013. The Council report provided a planning assessment where it outlined that:

*“The proposal meets the requirements and outcomes of the Design and Development Overlay Schedule 15. However, it is considered that the canopy which is located over the lift shaft and roof top decking adds overall bulk to the building, particularly when viewed from the east and west perspectives. The overall height (7.5m) of the building meets the design guidelines. The lift shaft and canopy project beyond the 7.5m height, therefore, it is appropriate that the canopy be required to be removed”.*

As a result Council supported the issue of a permit subject to a condition that the proposal be amended to provide a number of changes, including that the canopy over the roof terrace be deleted (Condition 1a).

Since this time the permit has been amended to allow a two lot subdivision and removal of conditions in relation to public open space contributions and revision of conditions to reflect a two lot subdivision.

The following additional planning permits have been issued for the application site and include:

- The extension of the rooftop canopy (reference P2012-177 issued )
- Construction of a front fence (reference P2014-032 issued )

A similar application for extensions at third floor (PP2015-0188) was refused by Council at the June 2016 ordinary meeting.

## ISSUES

The current planning permit application was notified to adjoining properties pursuant to Section 52 of the *Planning and Environment Act 1987*. One (1) objection was received. The issues raised in the objection relate to:

- The need for consistency indecision making,
- The dominating height of the proposal on Merri Street and impact on nearby heritage and tourism area (Flagstaff Hill)
- That the third floor will become a private rental unit
- Overdevelopment by stealth, as owner seeks approval for development in excess of the compromises made to the original development
- Affected by visual impact of extension

**Refer Appendix D – Objection.**

A detailed response to the objections is provided in the delegate report. **Refer Appendix E – Officer Report.**

The key areas of consideration in the assessment of the application, in addition to the decision guidelines of Clause 65, include whether the proposal meets the objectives of the Design Development Overlay Schedule 15 in addition to the State Planning Policy Framework, Municipal Strategic Statement and Local Planning Policy Framework.

A detailed planning assessment is found in the officer report. **Refer Appendix E – Officer Report.**

### **ASSESSMENT SUMMARY**

The incremental development, including the extension to the rooftop canopy in 2013 and the current planning permit application for the extension to the dwelling at third floor, transforms the development beyond what was intended by that originally considered and approved by Council in 2013.

An assessment of the current proposal finds that there has been no significant change in planning policy since the decision of Council last June in regard to a similar proposal. Therefore there continues to be planning grounds for refusing the application based on the visual impact the extension and infill of the terrace would have on the existing and preferred neighbourhood character.

Having regard to the relevant State and Local planning policy framework, the objectives of Schedule 15 to the Design Development Overlay and Clause 65 of the Warrnambool Planning Scheme, it is considered that this proposal would result in an unacceptable planning outcome.

### **CONSULTATION/COMMUNICATION**

Formal notification of the application was undertaken and included written notification to adjoining properties and the posting of a notice on site. The notification was carried out appropriately and in accordance with the *Planning and Environment Act 1987*.

The applicant has provided a written response to objections. **Refer Appendix G – Applicants Response to Objections.**

The application was referred to City Building Services in relation to compliance with building regulations. Advice has been provided to the effect that a Registered Building Surveyor must assess the proposal against the Building Code of Australia.

### **FINANCIAL IMPACT**

The costs associated with the assessment of the application and any subsequent reviews have been allowed for in the City Strategy and Development budget.

### **ENVIRONMENTAL/RISK IMPACT**

The proposal has been assessed against all relevant requirements of the Planning Scheme and the *Planning and Environment Act 1987*.



**APPENDIX A – APPLICATION DOCUMENTS**



Planning Enquiries  
Phone: 03 5559 4800  
Web: <http://www.warrnambool.vic.gov.au>

16 NOV 2016 UF

**Office Use Only**

Application No.: \_\_\_\_\_ Date Lodged: / /

# Application for Planning Permit

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

**⚠** Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

**⚠** Questions marked with an asterisk (\*) are mandatory and must be completed.

**⚠** If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

## The Land **i**

**ADVERTISED**

1 Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

**Street Address \***

Unit No.:	St. No.: 94	St. Name: MERRI STREET
Suburb/Locality: WARRNAMBOOL		Postcode: 3280

**Formal Land Description \***  
Complete either A or B.

**⚠** This information can be found on the certificate of title.

A  Lot No.: 1     Lodged Plan     Title Plan     Plan of Subdivision    No.: 021880K

OR

B  Crown Allotment No.: \_\_\_\_\_     Section No.: \_\_\_\_\_

Parish/Township Name: \_\_\_\_\_

If this application relates to more than one address, please click this button and enter relevant details. **Add Address**

## The Proposal

**⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

2 **For what use, development or other matter do you require a permit? \***

If you need help about the proposal, read:  
*How to Complete the Application for Planning Permit Form*

Select the focus of this application and describe below: Other

ALTERATIONS AND ADDITION TO THE EXISTING RESIDENCE

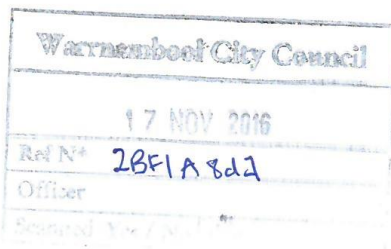
Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

3 **Estimated cost of development for which the permit is required \***

Cost \$90,000

**⚠** You may be required to verify this estimate.

Insert '0' if no development is proposed (eg. change of use, subdivision, removal of covenant, liquor licence)



**Existing Conditions** 

- ④ Describe how the land is used and developed now \*  
eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

EXISTING RESIDENCE

Provide a plan of the existing conditions. Photos are also helpful.

**Title Information** 

- ⑤ Encumbrances on title \*  
If you need help about the title, read: [How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)

No

Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

**Applicant and Owner Details** 

- ⑥ Provide details of the applicant and the owner of the land.

**Applicant \***

The person who wants the permit.

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Please provide at least one contact phone number \*

**Name:**  
Title: Mr  First Name: NATHAN Surname: DIVALL

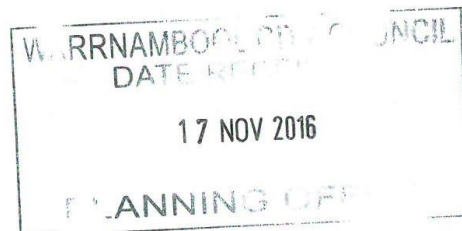
Organisation (if applicable): DESIGNING SPACES

**Postal Address:** If it is a P.O. Box, enter the details here:  
Unit No.: 7/1 St. No.: 24- 36 St. Name: FAIRY STREET  
Suburb/Locality: WARRNAMBOOL State: VIC  Postcode: 3280

**Contact person's details \*** Same as applicant (if so, go to 'contact information')   
Name:  
Title:  First Name: Surname:  
Organisation (if applicable):  
Postal Address: If it is a P.O. Box, enter the details here:  
Unit No.: St. No.: St. Name:  
Suburb/Locality: State:  Postcode:

**Contact information**  
Business Phone: 5562 5229 Email: nathan@designingspaces.net.au  
Mobile Phone: Fax:

**ADVERTISED**





**Owner \***

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:		Same as applicant <input type="checkbox"/>	
Title: Mr <input type="checkbox"/>	First Name: TERRANCE	Surname: BOARD	
Organisation (if applicable):			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.:	St. No.: 21	St. Name: HAYES ROAD	
Suburb/Locality: STRATMORE		State: VIC <input type="checkbox"/>	Postcode: 3041
Owner's Signature (Optional):		Date:	
		day / month / year	

**Declaration **

7 This form must be signed by the applicant \*

**⚠** Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: 	Date: 16- NOV.- 2016
	day / month / year

**ADVERTISED**

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
17 NOV 2016  
PLANNING OFFICE

### Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)  
General information about the planning process is available at [www.dpcd.vic.gov.au/planning](http://www.dpcd.vic.gov.au/planning)

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 **Has there been a pre-application meeting with a Council planning officer?**


No  Yes

If 'yes', with whom?:

Date:  day / month / year

### Checklist

9 **Have you:**

- Filled in the form completely?
- Paid or included the application fee?  Most applications require a fee to be paid. Contact Council to determine the appropriate fee.
- Provided all necessary supporting information and documents?
  - A full, current copy of title information for each individual parcel of land forming the subject site
  - A plan of existing conditions.
  - Plans showing the layout and details of the proposal
  - Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.
  - If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).
- Completed the relevant Council planning permit checklist?
- Signed the declaration (section 7)?

### Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Warrnambool City Council  
PO Box 198 Warrnambool VIC 3280  
25 Liebig Street Warrnambool VIC 3280

**Contact information:**

Telephone: 61 03 5559 4800  
Email: [wbool\\_city@warrnambool.vic.gov.au](mailto:wbool_city@warrnambool.vic.gov.au)  
DX: Ausdoc 28005

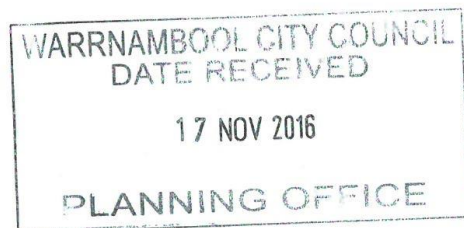
**Deliver application in person, by fax, or by post:**

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

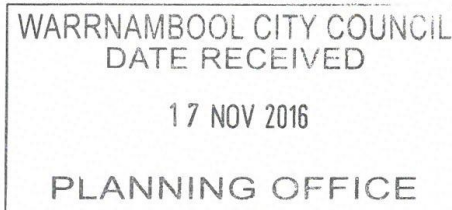
**Save Form:**

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

**ADVERTISED**







16<sup>th</sup> November 2016  
Town Planning Department  
Warrnambool City Council  
25 Liebig Street  
WARRNAMBOOL 3280

**PROPOSAL – TO UNDERTAKE ALTERATIONS AND ADDITIONS TO THE EXISTING RESIDENCE AT 94 MERRI STREET, WARRNAMBOOL**

**Proposal:** To complete an alteration and addition to the terrace level of the existing dwelling at 94 Merri Street, Warrnambool.

The dwelling is located within the general residential zone and contains a Design and Development Overlay (DDO15) therefore triggering a planning permit.

ADVERTISED

The proposed works will see the existing roofed terrace area enclosed to create a protected sitting area. An additional balcony area is also being proposed to the south and powder room to the east.

The additional works has incorporated large amounts of glass both in enclosed terrace area and balcony to maintain the open and transparent nature of the area. This will ensure the space maintains a similar visual impact to that which currently exists.

These works will ensure the space is more usable for occupant, whilst ensuring minimal additional visual impact is encounter by neighbouring property owners.

The proposed works will see 20.85 m<sup>2</sup> of existing terrace enclosed to for a sitting/ viewing room and 6.22m<sup>2</sup> of additional building to accommodate a powder room. The works will utilise the existing terrace along with an additional 2.76m<sup>2</sup> of balcony space located to the south of the existing terrace area.

The proposed addition will be constructed from large sections of glazing along with a small extension to the existing non-intrusive iron sheet roof (Refer to floor plans and elevations).

This application has been revised from a previously submitted and refused application with amendments including

- Significant increase in glazing to provide a more open and transparent space.

We believe these amendments will reduce the perceived visible impact of enclosing the upper level space whilst making it a useable and practical area protected from the harsh southern weather.

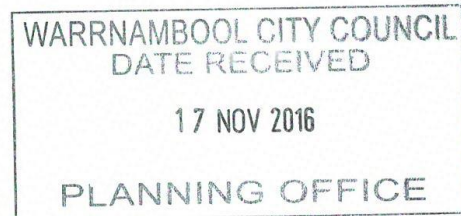


The site has existing 3 Lot sub-division approval, but is yet to be completed. It is anticipated that these works will have no impact on that approval as all boundaries and setbacks will be maintained.

Overall this revised development should be considered appropriately located and in a style that will be consistent with the existing built structures and streetscape; whilst providing a subtle and low impact solution to making the terrace space usable for the occupant. If you have any further concerns or require any additional correspondence on this application please feel free to contact me on 5562 5229.

Regards,

Nathan Divall  
Designing Spaces Pty Ltd



**ADVERTISED**





© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 (Vic) or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA REGD TM System. The State of Victoria accepts no responsibility for any subsequent release, publication or reproduction of the information.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 10581 FOLIO 899

Security no : 124063312437M  
Produced 16/11/2016 09:24 am

**LAND DESCRIPTION**

Lot 1 on Title Plan 021880K.  
Created by Application No. 087845B 08/03/2001

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
TERRENCE JAMES BOARD of 21 HAYES ROAD STRATHMORE 3041  
Application No. 087845B 08/03/2001

**ENCUMBRANCES, CAVEATS AND NOTICES**

MORTGAGE AH452750Y 25/08/2010  
WESTPAC BANKING CORPORATION

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**Warning as to Dimensions**

Any dimension and connecting distance shown is based on the description of the land as contained in the General Law Title and is not based on survey information which has been investigated by the Registrar of Titles.

**DIAGRAM LOCATION**

SEE TP021880K FOR FURTHER DETAILS AND BOUNDARIES

**ADVERTISED**

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

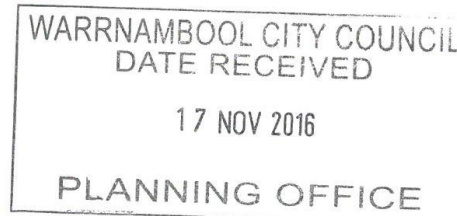
Additional information: (not part of the Register Search Statement)

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 16320Q WESTPAC BANKING CORPORATION  
Effective from 23/10/2016

DOCUMENT END





## Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Land Victoria.

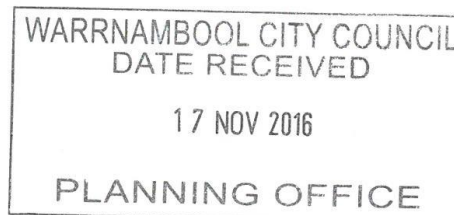
Document Type	<b>plan</b>
Document Identification	<b>TP021880K</b>
Number of Pages (excluding this cover sheet)	<b>1</b>
Document Assembled	<b>16/11/2016 09:25</b>

**Copyright and disclaimer notice:**

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. The State of Victoria accepts no responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

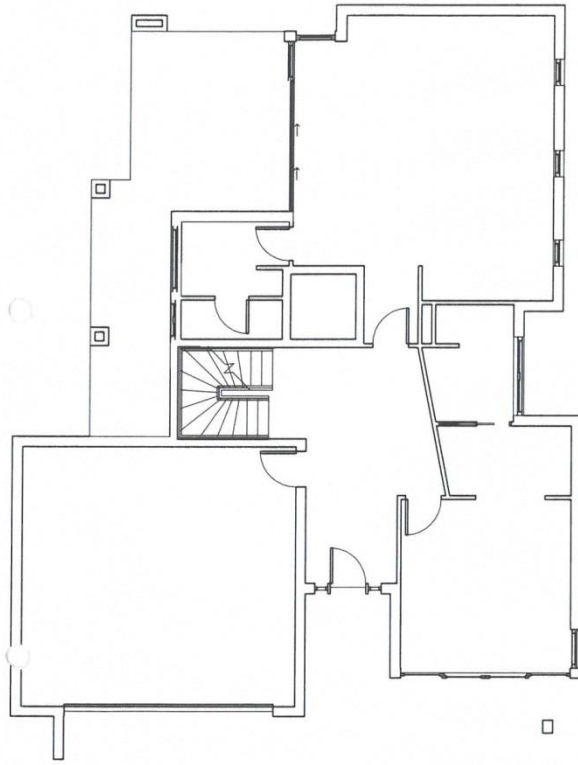
**ADVERTISED**





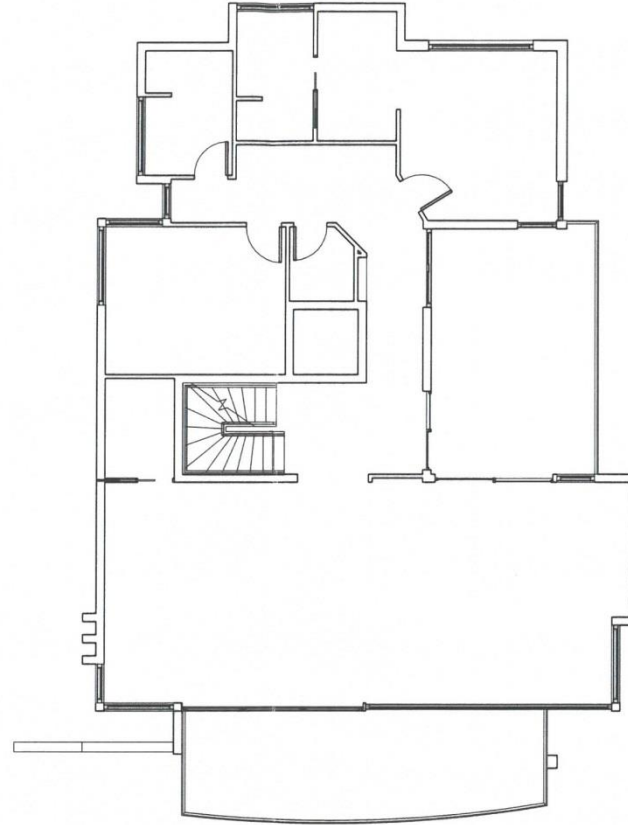
Delivered by LANDATA®. Land Victoria timestamp 16/11/2016 09:25 Page 1 of 1

<b>EDITION 1</b>	<b>TITLE PLAN</b>			<b>TP21880K</b>
Location of Land Parish: WANGOOM Township: CITY OF WARRNAMBOOL Crown Allotment: 1 (PT) Section: 6 Crown Portion: -  LTO base record: SDMB-C (RURAL) Last plan Reference: Title Reference: Depth Limitation: NIL		Notations  Warning as to dimensions : Any dimension and connection distance shown is based on the description of the land as contained in the General Law Title and is not based on survey information which has been investigated by the Registrar of Titles.		
Easement Information  E - Encumbering Easement R - Encumbering Easement (ROAD) A - Appurtenant Easement				THIS PLAN HAS BEEN PREPARED BY LAND REGISTRY, LAND VICTORIA FOR TITLE DIAGRAM PURPOSES
Easement Reference	Purpose/Authority	Width	Origin	Land benefitted/in favour of
NIL				
				Checked by <i>[Signature]</i>  Date 10 MAY 2001  Assistant Registrar of Titles
<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">                     WARRNAMBOOL CITY COUNCIL                      DATE RECEIVED                      17 NOV 2016                      PLANNING OFFICE                 </div> <p style="text-align: center; color: red; font-weight: bold; font-size: 1.2em;">ADVERTISED</p>				
LENGTHS ARE IN METRES	NOT TO SCALE	SHEET SIZE A3	DEALING No: <b>AP87845B</b> DEALING CODE: 14	
Sheet 1 of 1 Sheets				



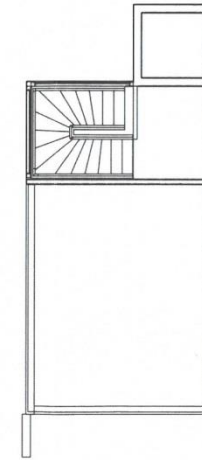
EXT. GROUND FLOOR

1 : 100



EXT. FIRST FLOOR

1 : 100



EXT. ROOF TERRACE

1 : 100



WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
17 NOV 2016  
PLANNING OFFICE

NATHAN DIVALL  
AUGUST 2015  
REVISION: B (NOV. 2016)

15-088

REGISTRATION No. DP-AD2963

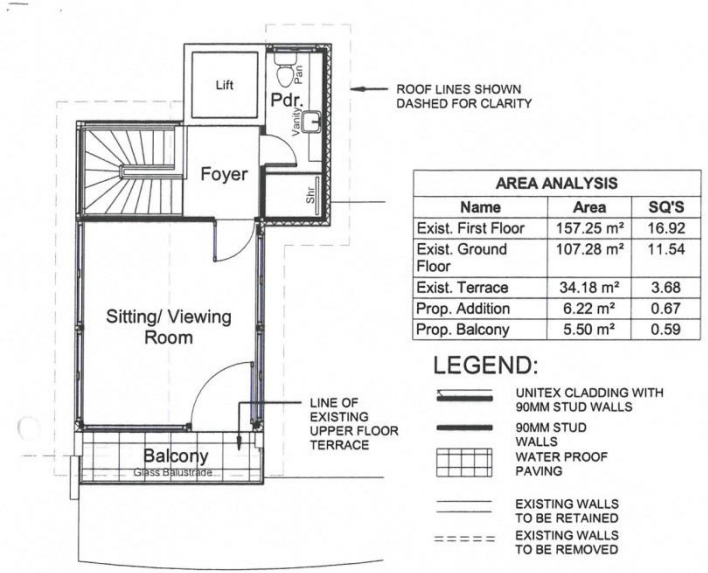
**designing spaces**  
NATHAN DIVALL

BOARD, 94 MERRI STREET, WARRNAMBOOL

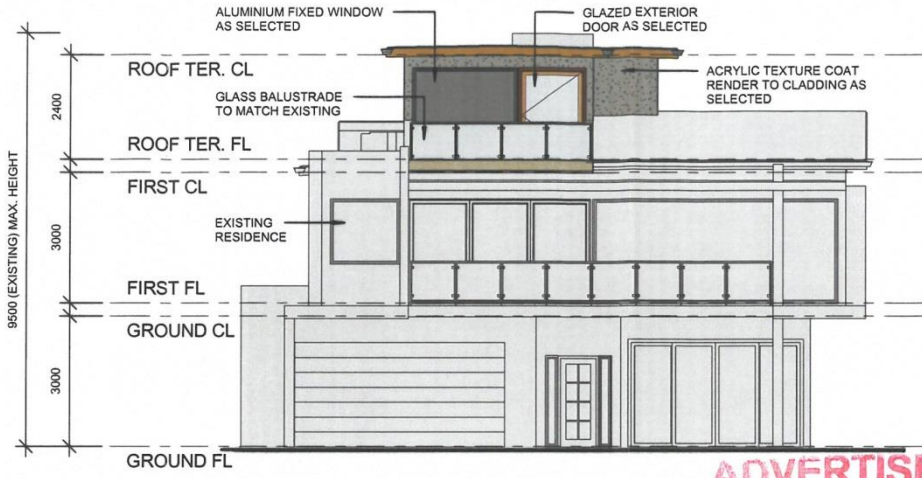
OFFICE 7, LEVEL 1, BAYSIDE CITY PLAZA, 24-36 FAIRY STREET, WARRNAMBOOL - T:0355525229 - M:0418503759 - E:nathan@designingspaces.net.au

ADVERTISED





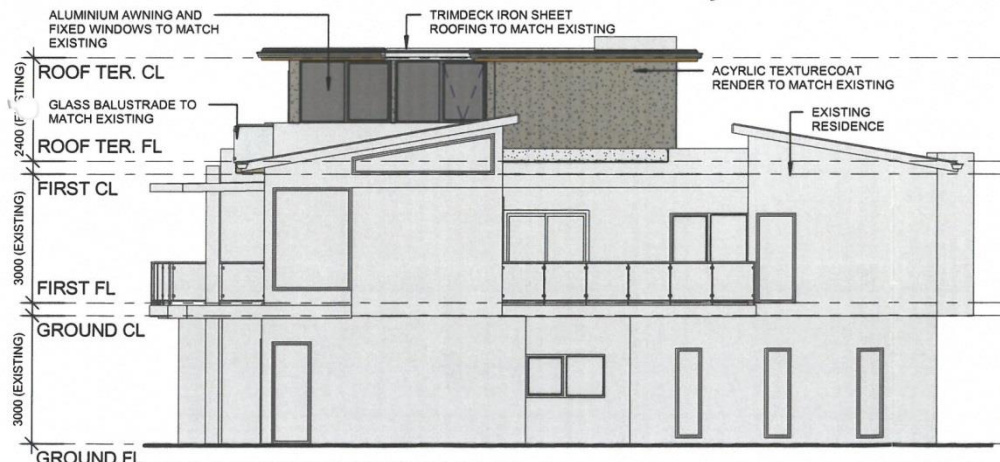
**ROOF TER. FL**  
1 : 100



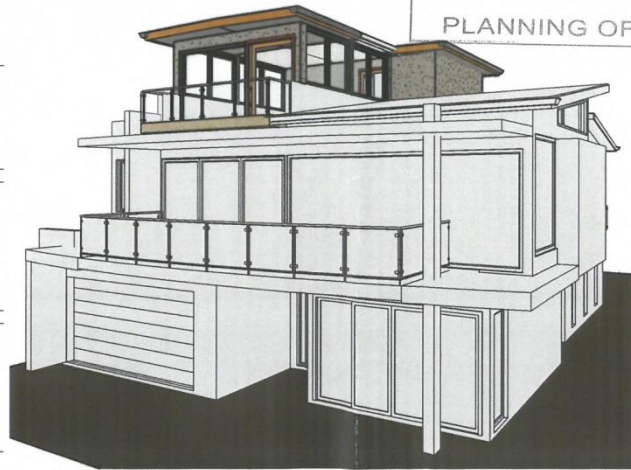
**SOUTH ELEVATION**  
1 : 100

**ADVERTISED**

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
17 NOV 2016  
PLANNING OFFICE



**EAST ELEVATION**  
1 : 100



**SOUTH PERSPECTIVE**

SHEET No.  
**2**

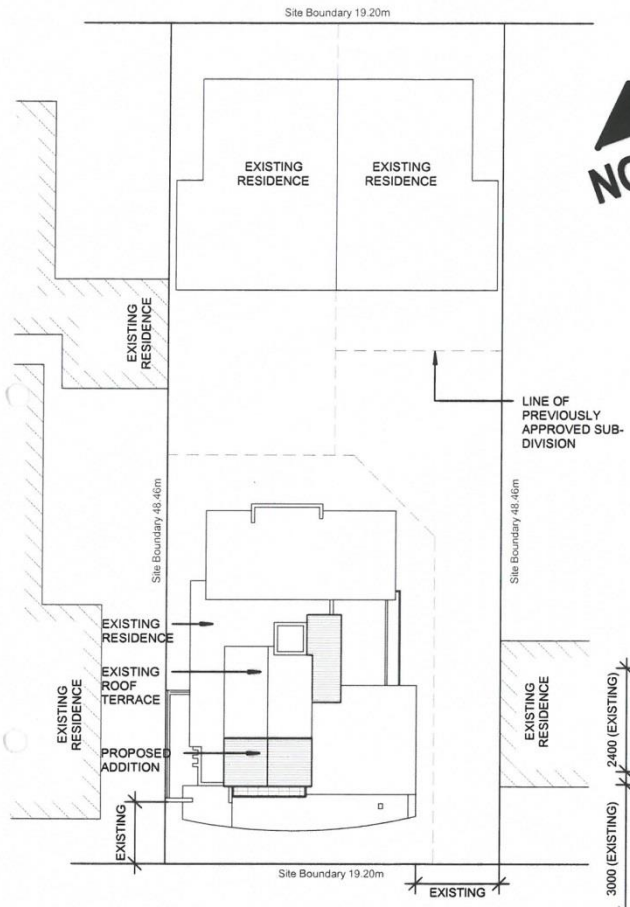
NATHAN DIVALL  
AUGUST 2015  
REVISION: B (NOV. 2016)

15-088A

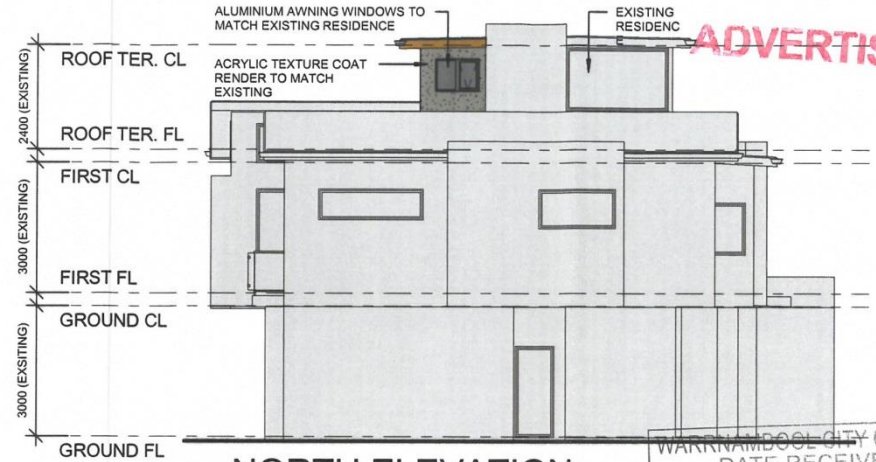
OFFICE 7, LEVEL 1, BAYSIDE CITY PLAZA, 24-36 FAIRY STREET, WARRNAMBOOL. T:0355652529 - M:0118503759 - E:nathan@designingspaces.net.au - REGISTRATION No. DP-AD32963

**designingspaces**  
NATHAN DIVALL

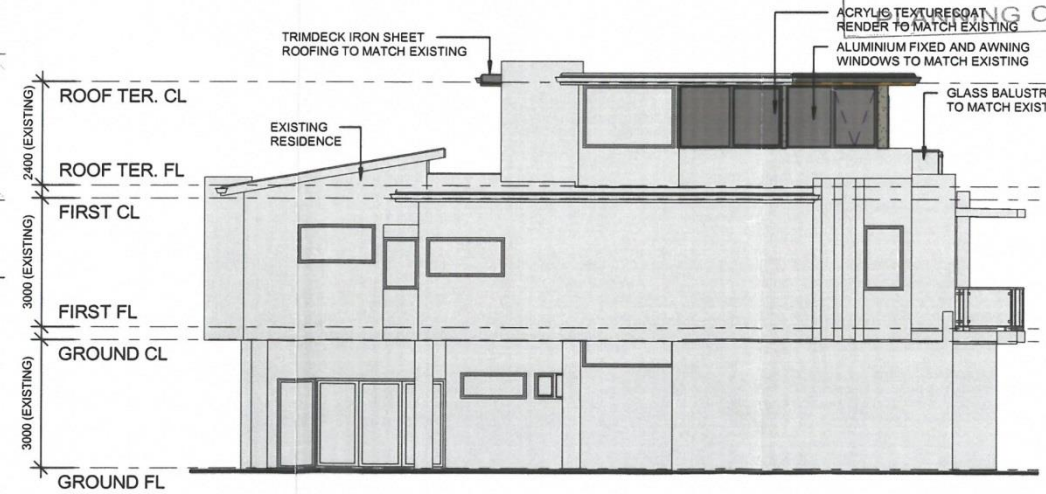
BOARD, 94 MERRI STREET, WARRNAMBOOL



**MERRI STREET**  
**SITE PLAN**  
1 : 250



**NORTH ELEVATION**  
1 : 100



**WEST ELEVATION**  
1 : 100

**ADVERTISED**

WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
17 NOV 2016

WORKING OFFICE

SHEET No.  
**3**

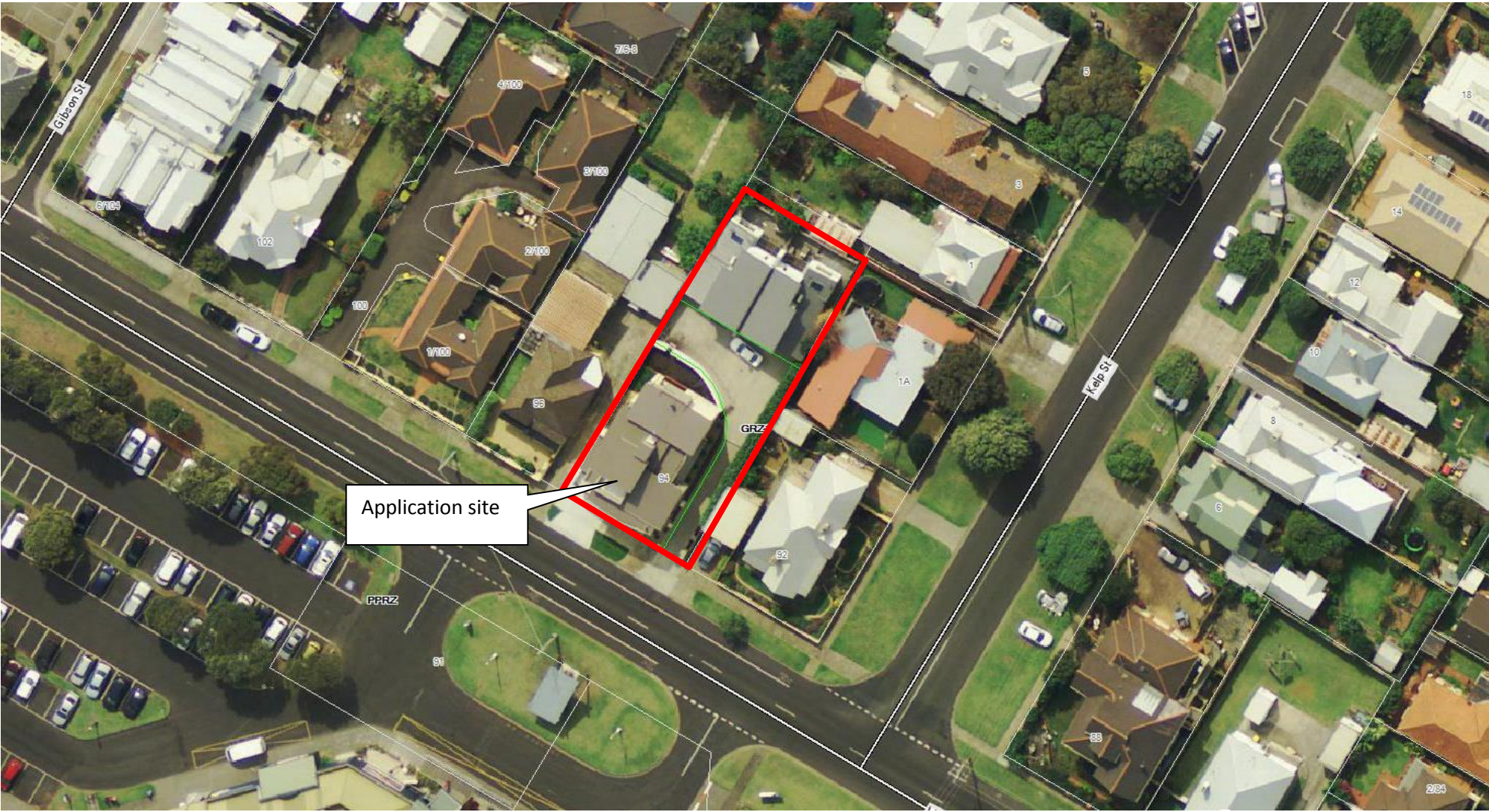
NATHAN DIVALL  
AUGUST 2015  
REVISION: B (NOV. 2016)

15-088A

designingspaces  
NATHAN DIVALL  
BOARD, 94 MERRI STREET, WARRNAMBOOL  
OFFICE 7, LEVEL 1, BAYSIDE CITY PLAZA, 24-36 FAIRY STREET, WARRNAMBOOL - T:0356525229 - M:0418603756 - E:nathan@designingspaces.net.au - REGISTRATION No. DP-AD32963

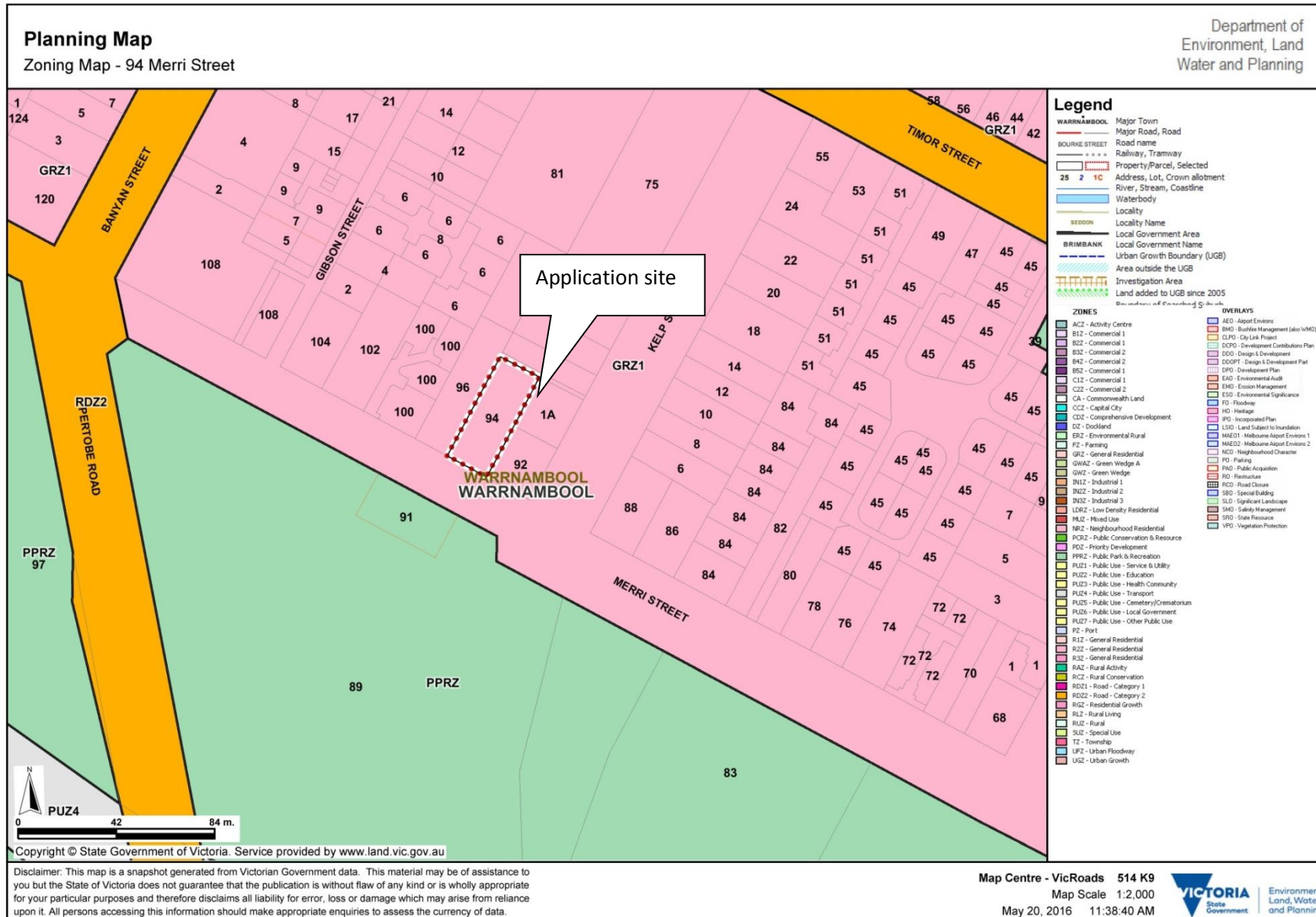


**APPENDIX B – SUBJECT SITE PLAN**





**APPENDIX C – ZONE & OVERLAY MAP**







## APPENDIX D – OBJECTIONS



## Objection to Grant Planning Permit - Part A

Warrnambool City Council	
14 FEB 2017	
Ref N*	8CE11129
Officer	Planning
Checked Yes/No	Ch.

The information requested on this page will be used solely by the Warrnambool City Council. Council will not use your personal information for any other purpose without first seeking your consent, unless authorised or required by law. Council may not be able to process your request unless sufficient information is given.

### Who is objecting?

I/We (Names in Block Letters)

Name(s) Malcolm CREVES Surname CREVES

Name(s) DIANNE Surname CREVES

Address 2 CASUARINA COURT ALB

(1 KEYP ST) Post Code.....

Telephone (Home) 55621772 Telephone (Work).....

Mobile 0409453954 Facsimile.....

Email mgr68622@bigpond.net.au

Signatures(s) [Signature] Date 14.02.2017

Signatures(s) [Signature] Date 14.02.2017

### Important notes about objections to permit applications

1. This form is to help you make an objection to an application in a way which complies with the Planning and Environment Act 1987, and which can be readily understood by the responsible authority. There is no requirement under the Act that you use any particular form.
2. Make sure you clearly understand what is proposed before you make an objection. You should inspect the application at the responsible authority's office.
3. To make an objection you should clearly complete the details on this form and lodge it with the responsible authority as shown on the Public Notice – Application for Planning Permit.
4. An objection must:
  - State the reasons for your objection; and
  - State how you would be affected if a permit is granted.
5. The responsible authority may reject an application which it considers has been made primarily to secure or maintain a direct or indirect commercial advantage for the objector. In this case, the Act applies as if the objection had not been made.
6. Any person may inspect an objection during office hours.
7. If your objection related to an effect on property other than at your address as shown on this form, give details of that property and of your interest in it.
8. To ensure the responsible authority considers your objection, make sure that the authority receives it by the date shown in the notice you were sent or which you saw in a newspaper or on the site.
9. If you object before the responsible authority makes a decision, the authority will tell you its decision.
10. If despite your objection the responsible authority decides to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An appeal must be made on a prescribed form (obtainable from the Victorian Civil & Administrative Tribunal) and accompanied by the prescribed fee. A copy must be given to the responsible authority. The closing date for appeals is 21 days of the responsible authority giving notice of its decision.
11. If the responsible authority refuses the application, the applicant can also appeal. The provisions are set out on the Refusal of Planning Application which will be issued at that time.





WARRNAMBOOL CITY COUNCIL  
DATE RECEIVED  
14 FEB 2017

### Objection to Grant Planning Permit - Part B

Please be aware that this page and any attachments of your objection/submission may be made available to any person for the purpose of consideration as part of the planning process.

**What application do you object to?**

Planning Application Number..... P P 2016 - 0201

What is the address of the land that is proposed to be used or developed?.....  
94 MERRI ST

What is proposed?..... ADDITIONS TO THIRD FLOOR

**What are the reasons for your objection?** (If there is not enough room, attach a separate page.)

I understand the current 3rd floor balcony on this property was a compromise (the owner wanted a 3rd floor). We must be consistent and not allow these additions to be built some years after the initial design was rejected and 12 months since a previous application was rejected. This site is virtually the highest point along Merri St and a 3 story (8.4m) building will dominate this section of Merri St. Would it set a precedent for 3 story buildings opposite Flagstaff Hill. How many balconies do you need on a house? There is already one on the second floor? Is the owner trying to trick the council? I find it interesting that the

**How will you be affected by the grant of a permit?** (If there is not enough room, attach a separate page.)

I will be affected by the visual impact of this building (8.4m) in such a sensitive part of Warrnambool

owner built an elevator to the third floor when the building was first constructed. I am guessing this will be used for short term rental (holiday) accommodation. This is over development by stealth. First the original old (historic) house is burnt down. Next the old house does not have to be repaired. Next the current building and now a further attempt

Civic Centre 25 Liebig Street  
Warrnambool Victoria Australia  
PO Box 198 Warrnambool VIC 3280

Telephone (03) 5559 4800  
Facsimile (03) 5559 4900  
AUSDOC DX 28005

Website www.warrnambool.vic.gov.au  
ABN 44 594 264 321

to get this overdevelopment through the council. It should not be allowed to happen.

**APPENDIX E– DELEGATE REPORT**

<b>DELEGATE REPORT</b>	94 Merri Street Warrnambool
<b>PROPOSAL</b>	Buildings and works for the construction of extensions to the existing dwelling at third floor

**SUBJECT SITE AND SURROUNDS****Subject site**

The subject site is located at 94 Merri Street, Warrnambool. **Refer Appendix B – Subject Site Plan.** The site is 917.3m<sup>2</sup> in area and currently contains three dwellings.

A permit exists that allows the subdivision of the site, but this has not yet been enacted and as such all dwellings are on a single title.

The site is located on the north side of Merri Street and has a street frontage of 19.2 metres.

The three existing dwellings located on site have been constructed over the last 10 years and include a mixture of materials, colours and building forming a modern design.

**Surrounds**

The site is located in 'Inner Warrnambool', approximately 500m from the Warrnambool Foreshore and the Warrnambool town centre (CBD). The area is primarily residential and the site is bounded by four adjoining properties each containing a dwelling. The site is also located directly opposite Flagstaff Hill Maritime Village.



Photo of application site from Merri Street



Photo of application site from Timor Street

The character of the surrounding dwellings demonstrates a mixture of styles and is predominately single storey, however a number of two storey dwellings have been constructed to capture views of the coastline.



## BACKGROUND

### Planning Permit History

Planning permit PP2012-0241 which allowed for the construction of a dwelling and three lot subdivision (including the creation of common property) at 94 Merri Street.

This permit (PP2012-0241) allowed for the construction of the existing three (3) floor dwelling which fronts Merri Street, in the location of the former 94 Merri Street 'heritage residence' (since demolished). Subsequently the site is no longer included on the Victorian Heritage Register or covered by the Heritage Overlay in the Warrnambool Planning Scheme.

Planning application PP2012-0241 was considered and approved at Councils Ordinary meeting on 15 April 2013. Given that objections had been received a Notice of Decision to grant a permit was issued. No objector appeal was lodged at VCAT and therefore a permit was issued under delegation on 16 May 2013.

Since this time the permit has been amended to allow a two lot subdivision and removal of conditions in relation to public open space contributions and revision of conditions to reflect a two lot subdivision.

The following additional planning permits have been issued for the application site and include:

- The extension of the rooftop canopy (reference P2012-177 issued )
- Construction of a front fence (reference P2014-032 issued )

The subdivision of the land approved by permit PP2012-0241 has not yet occurred. Requests for extensions of time to the permit have been approved and currently allow for the approved plan of subdivision to be certified no later than May 2017.

A similar application for extensions at third floor (PP2015-0188) was refused by Council at the June 2016 ordinary meeting.

## ABORIGINAL CULTURAL HERITAGE

The site is in a mapped area of potential Aboriginal cultural heritage sensitivity. The proposed development is an exempt activity under the Aboriginal Heritage Regulations 2007. A cultural heritage management plan is not required.

## PROPOSAL

The plans which have been considered in this planning assessment are located at **Appendix A – Proposed Plans**.

The application proposes buildings and works for the construction of extension to the existing dwelling at third floor.

The proposed buildings and works include:

- Extension of third floor roof line by 3m south and 1.5m east,
- Infill of existing roof terrace at third floor to create siting/ viewing room. External finish to comprise mix of acrylic texture coat and floor to ceiling glazing.
- Construction of an additional room at third floor to create w.c and shower.
- Extension of third floor balcony toward the south by approximately 800mm with the inclusion of a glass balustrade.

A series of plans follow that show a comparison of what currently exists at 94 Merri Street versus what Council refused in June 2016 and what is currently proposed in this application.



Figure 1. Existing approved third floor buildings.



Figure 2. Previous proposed extensions refused by Council



Figure 3 This proposal





Figure 4. Existing conditions

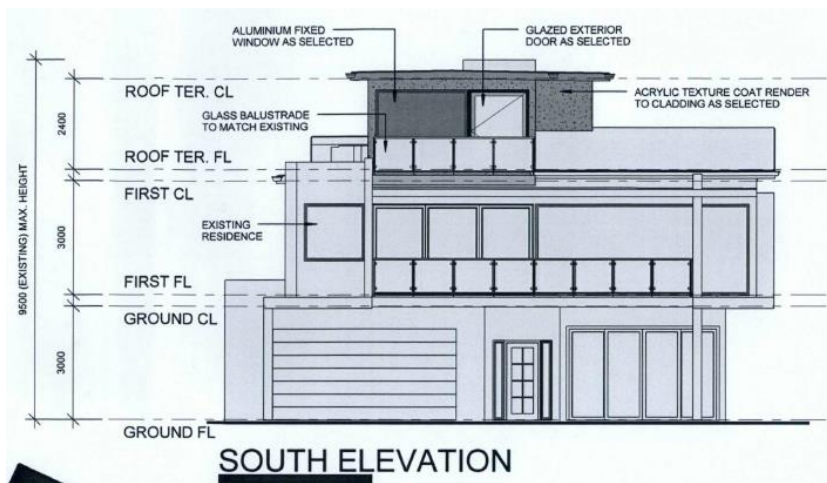


Figure 5. Previous proposed extensions refused by Council

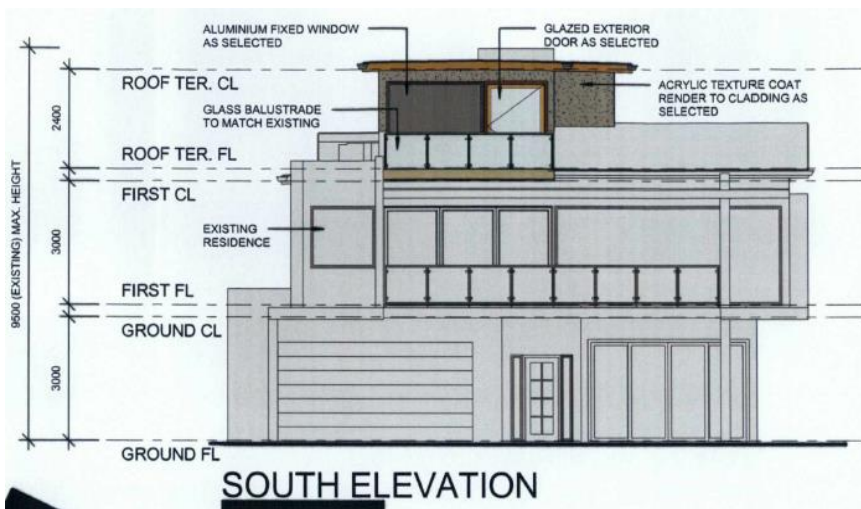


Figure 6. This proposal

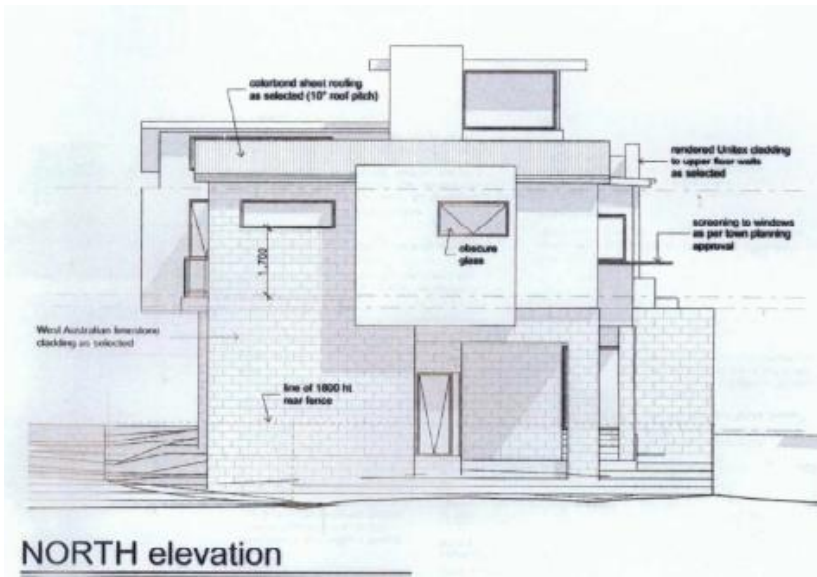


Figure 7. Existing conditions

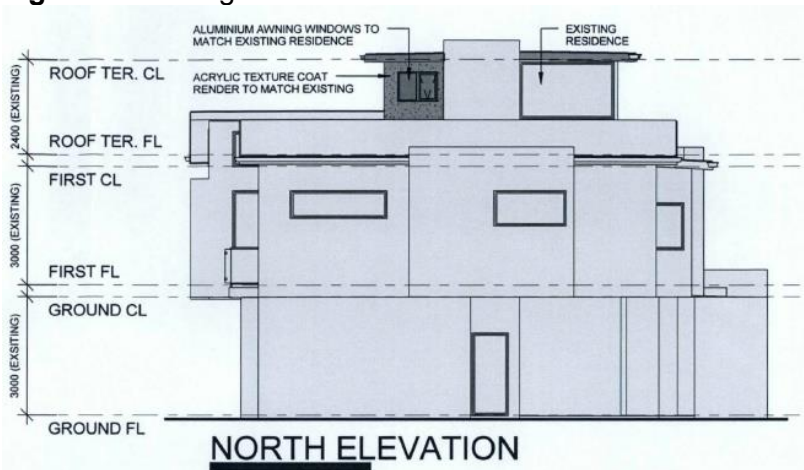


Figure 8. Previous proposed extensions refused by Council

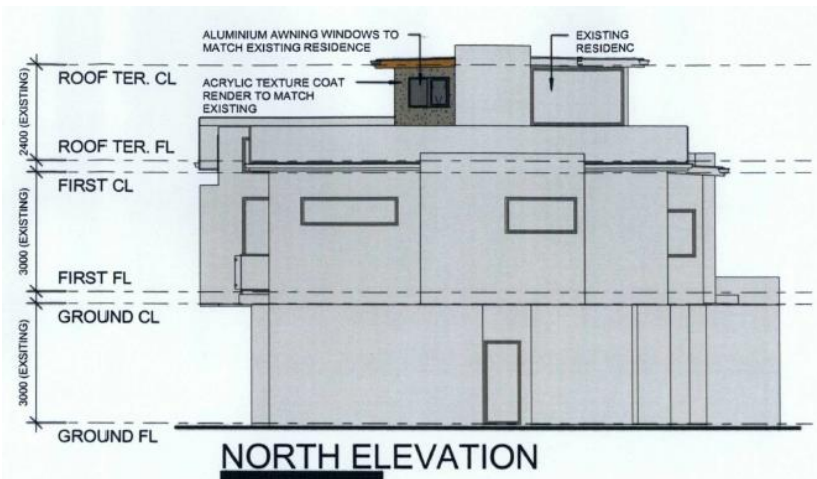


Figure 9. This proposal



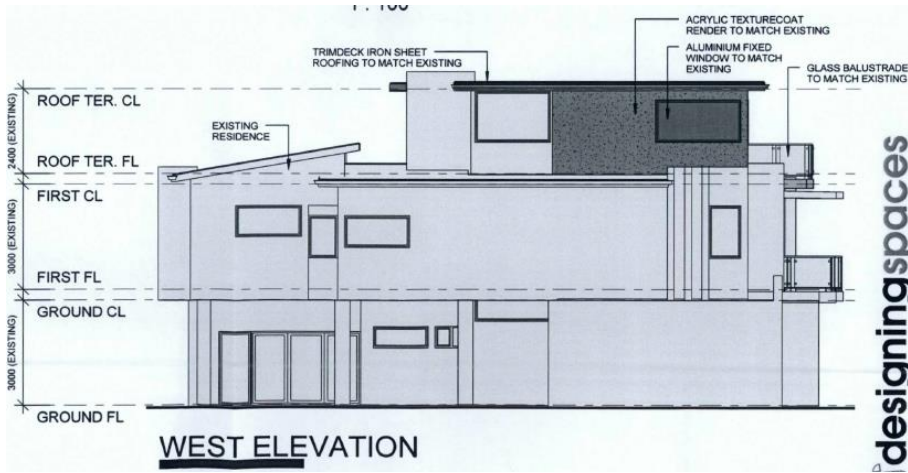


Figure 10. Previous proposed extensions refused by Council

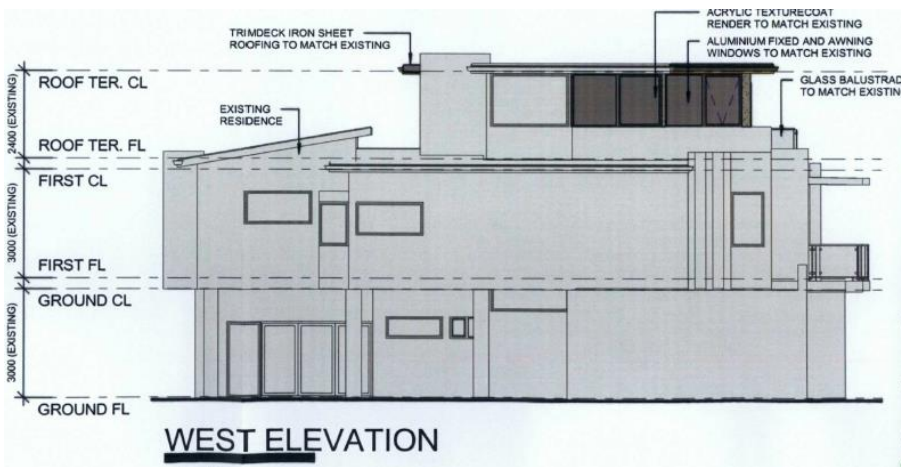


Figure 11. This proposal

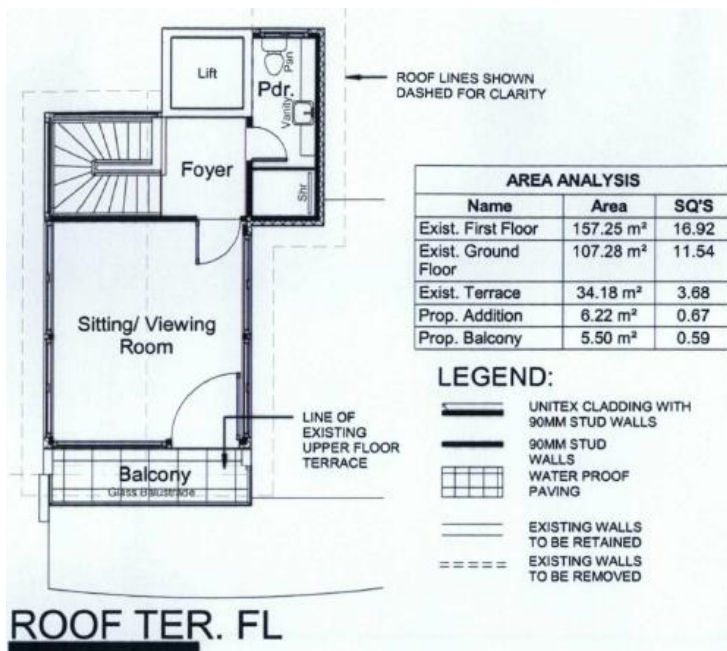


Figure 12. Proposed floor plan in this application.

## STATUTORY CONTROLS

The subject site is located within the General Residential Zone (GRZ) and the Design Development Overlay Schedule 15 (DDO15) applies. **Refer Appendix C – Zone and Overlay Map.**

### General Residential Zone

Pursuant to Clause 32.08-4 of the General Residential Zone a planning permit is required to extend a dwelling if there are two or more dwellings on the lot.

The purpose of the General Residential Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To implement neighbourhood character policy and adopted neighbourhood character guidelines.*
- *To provide a diversity of housing types and moderate housing growth in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

The GRZ at Clause 32.08-10 directs that before deciding on an application, in addition to the decision guidelines in Clause 65, the Responsible Authority must consider the following:

#### General

- The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- The purpose of this zone.
- Any other decision guidelines specified in a schedule to this zone.

#### Dwellings and residential buildings

- For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55.

An assessment against the relevant provisions of Clause 55 has been undertaken and is detailed further within this report.

### Design Development Overlay

Pursuant to Clause 43.02-2 of the Design Development Overlay a planning permit is required to construct a building or carry out works.

The purpose of the Design Development Overlay is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To identify areas which are affected by specific requirements relating to the design and built form of new development.*

Schedule 15 to the Design Development Overlay – Foreshore Design Character and Viewsharing: Merri Street East, outlines a number of design objectives for each precinct. An assessment of the proposal against the objectives of the DDO15 is detailed at **Appendix F – DDO15 Assessment.**



The DDO15 at Clause 43.02-5 directs that before deciding on an application, in addition to the decision guidelines in Clause 65, the Responsible Authority must consider the following:

- The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- The design objectives of the relevant schedule to this overlay.
- The provisions of any relevant policies and urban design guidelines.
- Whether the bulk, location and appearance of any proposed buildings and works will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.
- Whether the design, form, layout, proportion and scale of any proposed buildings and works is compatible with the period, style, form, proportion, and scale of any identified heritage places surrounding the site.
- Whether any proposed landscaping or removal of vegetation will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.
- The layout and appearance of areas set aside for car parking, access and egress, loading and unloading and the location of any proposed off street car parking
- Whether subdivision will result in development which is not in keeping with the character and appearance of adjacent buildings, the streetscape or the area.
- Whether the proposed development achieves the design requirements and the outcomes to be achieved in Table 1 of this schedule.

## STRATEGIC FRAMEWORK

### State Planning Policy Framework (SPPF)

**Clause 11.02 Urban Growth** aims to ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.

**Clause 11.05 Regional Settlement Networks** identifies Warrnambool as a Regional City and identifies it as facilitating major growth. The strategies direct urban growth into the major regional cities including Warrnambool.

This clause supports the development of distinct and diverse regional settlements by encouraging high-quality urban and architectural design which respects the identity of each settlement as well as limiting urban sprawl and directing growth into existing settlements, promoting and capitalising on opportunities for urban renewal and redevelopment.

**Clause 11.09 Great South Coast Regional Growth Plan** reinforces Warrnambool's role as a Regional City. This clause recognises the supporting role Warrnambool plays as the key population and employment centre for the region along with the key links to Geelong and Melbourne and its role in facilitating major development in designated growth areas.

**Clause 15 Built Environment and Heritage** identifies that planning should ensure all new land use and development appropriately responds to its landscape, valued built form and cultural context, and protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.

This clause also outlines that planning should achieve high quality urban design and architecture that:

- Contributes positively to local urban character and sense of place.
- Reflects the particular characteristics, aspirations and cultural identity of the community.
- Enhances liveability, diversity, amenity and safety of the public realm.
- Promotes attractiveness of towns and cities within broader strategic contexts.
- Minimises detrimental impact on neighbouring properties.

**Clause 15.01 Urban Design** provides the objective to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity. Strategies aim to:

- Promote good urban design to make the environment more liveable and attractive.
- Ensure new development or redevelopment contributes to community and cultural life by improving safety, diversity and choice, the quality of living and working environments, accessibility and inclusiveness and environmental sustainability.
- Require development to respond to its context in terms of urban character, cultural heritage, natural features, surrounding landscape and climate.

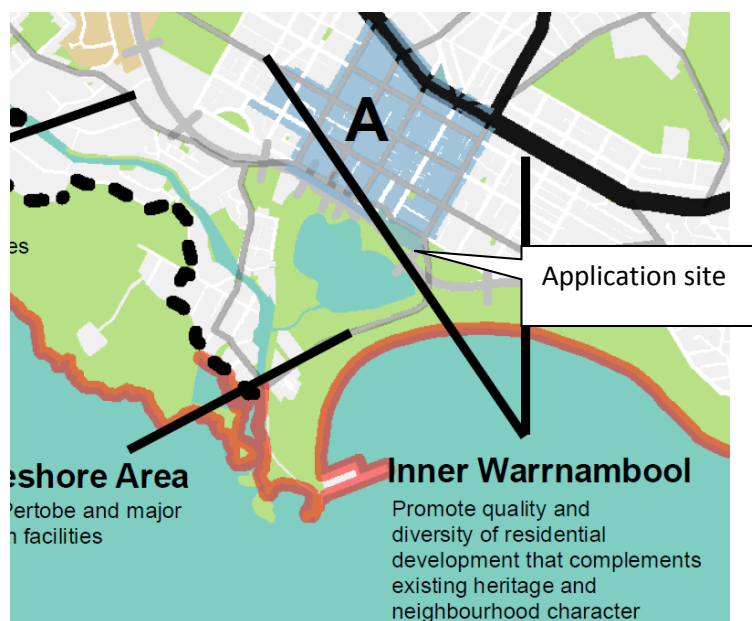
**Clause 15.01-5 Cultural Identity and Neighbourhood Character** seeks to recognise and protect cultural identity, neighbourhood character and sense of place by ensuring development responds to and contributes to existing sense of place and ensuring development recognises distinctive urban forms and layout and their relationship to landscape and vegetation.

**Clause 16 Housing** requires planning to provide for housing diversity and ensure the efficient provision of supporting infrastructure, new housing should have access to services and be planned for long term sustainability, including walkability to activity centres, public transport, schools and open spaces and housing should be affordable.

### Local Planning policy Framework including Municipal Strategic Statement

#### Clause 21 Municipal profile

The Warrnambool Strategic Framework Plan within this Clause identifies the application site as being within 'Inner Warrnambool'.



**Figure 13** – Extract of the Warrnambool Strategic Framework Plan



## **Clause 21.06 Built Environment and Heritage**

### **21.06-1 Urban environment**

#### Urban design

- The appearance of residential, commercial and industrial areas is considered important in maintaining a strong level of civic pride.
- The siting and design of buildings can have a critical impact on visual appearance within urban streetscapes. Council is also committed to ensuring that ecologically sustainable development (ESD) principles influence the design, siting and servicing of all buildings.

#### Key issues

- High quality urban design outcomes.
- Consideration of view sharing.
- Providing for advertising signs that are in context with the scale of development, the surrounding environment and with the surrounding signage patterns.

#### Objective 1

##### **To achieve urban design of the highest standard.**

#### Strategies

- 1.1 Support development that provides an appropriate degree of visual interest and design articulation and a high standard of amenity for residents.
- 1.2 Require the siting (including setbacks and site coverage) of new development to respond to the opportunities, constraints and features of the site.
- 1.3 Require new development to present integrated building forms that have a sense of address.
- 1.4 Support new development that applies design techniques (including façade variation, contrast/repetition, colour, texture and detail) that will integrate a building with its surrounds and create attractive and interesting forms.
- 1.5 Require that new development highlights key corners or intersections through the use of design projections, detailing and massing that presents to its surroundings and street frontages.
- 1.6 Require landscaped areas as part of new development proposals which positively contributes to the appearance of built form and integrates development into the surrounds.
- 1.7 Require advertising signage to be controlled in a manner that achieves its commercial objectives and makes a positive contribution to the overall presentation of the general streetscape.
- 1.8 Industrial development should meet high standards of amenity and urban design that promote the attractiveness of the municipality.

#### Objective 3

##### **To ensure that building heights maintain view lines to the coast.**

#### Strategies

- 3.1 Limit development heights to maintain coastal view lines from public spaces and respect scale and character.
- 3.2 Promote view sharing between properties.

#### Objective 4

##### **To protect the City's natural environment and built heritage.**

## Strategies

- 4.1 Ensure that the selective redevelopment of sites for units and townhouses complements the area's heritage character, incorporates appropriate design standards and achieves high quality development.
- 4.2 Ensure that infill development and redevelopment proposals are complementary to the inherent values of the sensitive landscape areas of the City.
- 4.3 Maintain the current average lot size for lots within Rodger Place to ensure the semi-rural aspect and environmental quality of the area.
- 4.4 Encourage limited rural living and low-density residential development within existing zoned areas around Bushfield and Woodford.
- 4.5 Limit the impact of residential development upon adjacent farmland, with the Rural Living Zone being maintained as an effective buffer between residential areas and surrounding farms in Bushfield and Woodford.
- 4.6 Limit further development on the northern side of the Merri River from the main area of Bushfield and Woodford.

Future Strategic Work includes to prepare urban design guidelines for the established residential precincts to promote high quality design responses that recognise neighbourhood character.

### **Cultural identity and neighbourhood character**

Central Warrnambool has increasingly become the focus for medium density redevelopment as urban consolidation is recognised as delivering important environmental, social and economic benefits. Within the inner residential areas there are buildings and streets of historic value and areas that combine a mix of housing, some of which makes a substantial contribution to the overall quality and character of the area.

It is acknowledged that failure to consider neighbourhood character has resulted in some development within the inner areas of Warrnambool being out of character with the area.

Maintaining the overall character requires that new development respond to the site context and be effectively integrated with the existing architectural, historic and landscape character of the neighbourhood. Heritage and character considerations do not preclude infill development rather they add to the range of design considerations that should be considered and responded to.

### Key issues

- Ensuring that the quality of the built environment is protected and enhanced.

### Objective 1

To maintain neighbourhood character.

### Strategies

- 1.1 Protect the character of the existing residential precincts.
- 1.2 Require that new development responds to site context.
- 1.3 Require that new development integrates with the existing architectural, historic and landscape character of the neighbourhood.
- 1.4 Require that building heights respect the scale and character of existing buildings.

### Objective 2

To develop neighbourhoods with a strong sense of place with well designed attractive built form and landscape character.



## Strategies

- 2.1 Ensure development contributes to the character, identity and sense of place of the area, particularly in newly developing areas.
- 2.2 Ensure new development is designed to address public spaces and enhance the public realm.

## PARTICULAR/GENERAL PROVISIONS

**Clause 55 Two or more dwellings on a lot and residential** buildings applies to the application. This Clause aims to:

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.
- To encourage residential development that provides reasonable standards of amenity for existing and new residents.
- To encourage residential development that is responsive to the site and the neighbourhood.

A development:

- Must meet all of the objectives of this clause.
- Should meet all of the standards of this clause.

An assessment against the relevant provisions of Clause 55 has been undertaken. The proposal does not meet a number of objectives and does not comply with the relevant standards. This includes:

### **Neighbourhood Character (Standard B1)**

The existing roof terrace is prominent from all surrounding streets; including Timor Street therefore the proposed extension will increase the prominence and bulk of the built form at the third floor.

There are no other examples of three-storey development in the area. The prevailing built form is single storey; however more recent development is double-storey. Traditional roof forms are pitched and as such the proposed a flat roof at third level is already at odds with the prevailing character of the area.

### **Residential Policy (Standard B2)**

The applicant has not provided a written statement that explains the proposals consistency with relevant housing policy within the Warrnambool Planning Scheme (SPPF, LPPF and MSS).

The applicant has stated that 'the proposed is a quality residential development complying with SPPF, LPPF and MSS as well as supporting a medium density development with community infrastructure, public transport and services.

### **Street Setback (Standard B6)**

The objective seeks to achieve a street setback of buildings from a street which respects the existing or preferred neighbourhood character. A setback variation was granted for the original development and it is not considered appropriate for a third floor extension to further encroach within this reduced setback. The proposed street setback of the extension from Merri Street is 4.95m, while the required setback is 6.1m.

**Building Height (Standard B7)**

Building height should respect the existing or preferred neighbourhood character. The preferred maximum building height under the DDO15 is 7.5m. The proposed height of the extension is 9.5m which matches the existing canopy height. Due to the site's prominence, it is not possible to screen or soften the appearance of the extension, or alter the design to reduce its impact in terms of bulk and scale.

**Side and Rear Setbacks (Standard B1)**

The objective seeks to ensure the height and setback of the proposal respects the existing or preferred neighbourhood character and limits the amenity impacts on existing dwellings. The proposal does not comply with the standard as the proposed side setback of 3m exceeds the required 4.5m setback from the western boundary.

**Clause 65 Decision Guidelines**

Because a permit can be granted does not imply that a permit should or will be granted. The responsible authority must decide whether the proposal will produce acceptable outcomes in terms of the decision guidelines of this clause.

**Clause 65.01- relevant guidelines to consider include:**

- The matters set out in Section 60 of the Act.
- The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the amenity of the area.
- The proximity of the land to any public land.

**REFERRALS****Infrastructure Projects and Development**

The application was referred to Councils Building Services Department in relation to compliance with building regulations. Advice has been provided.

**NOTIFICATION**

Notice of the proposal was given in accordance with Section 52 of the *Planning and Environment Act 1987*, by ordinary mail to the owners and occupiers of surrounding properties and directing that the applicant give notice of the proposal by posting a notice on the site for a 14 day period. Notification was carried out appropriately in accordance with the *Planning and Environment Act 1987*.

**Objections**

The application has received one (1) objection. **Refer to Appendix D – Objection.**

The objections raised the following concerns (summarised):

- The need for consistency indecision making,
- The dominating height of the proposal on Merri Street and impact on nearby heritage and tourism area (Flagstaff Hill)
- That the third floor will become a private rental unit
- Overdevelopment by stealth, as owner seeks approval for development in excess of the compromises made to the original development
- Affected by visual impact of extension,



## Consultation

Discussions have been held between Council Officers and the applicant during the assessment process.

The applicant provided a written response to objections. Refer to **Appendix G – Applicants Response to Objections**.

## ASSESSMENT

The key areas of consideration in the assessment of the application, in addition to the decision guidelines of Clause 65, include whether the proposal meets the objectives of the Design Development Overlay Schedule 15 in addition to the State Planning Policy Framework, Municipal Strategic Statement and Local Planning Policy Framework.

### Previous Planning Permit Application

The site has been the subject of considerable public interest, mainly due to the site being previously occupied by a state heritage listed building which has since been demolished.

Planning permit PP2012-0241 allowed for the construction of the dwelling at 94 Merri Street and three lot subdivision, including the creation of common property.

Application PP2012-0241 was considered and approved at Councils Ordinary Meeting of 15 April 2013. The report provides a planning assessment where it outlined that:

*“The proposal meets the requirements and outcomes of the Design and Development Overlay Schedule 15. However, it is considered that the canopy which is located over the lift shaft and roof top decking adds overall bulk to the building, particularly when viewed from the east and west perspectives. The overall height (7.5m) of the building meets the design guidelines. The lift shaft and canopy project beyond the 7.5m height, therefore, it is appropriate that the canopy be required to be removed”.*

At the meeting Council approved the application subject to a condition of the permit that included the deletion of the canopy over the roof terrace (Condition 1a).

The canopy over the roof terrace subsequently extended in 2013 via planning permit PP2013-0177; as a result the roof terrace canopy is as constructed today.

The incremental development, including the extension to the rooftop canopy in 2013 and the current planning permit application for the extension to the dwelling at third floor, transforms the development beyond what was intended by that originally considered and approved by Council in 2013.

### Compliance with the Design Development Overlay

An assessment of the proposal against the provisions of Schedule 15 to the Design Development Overlay Schedule (Foreshore Design Character and Viewsharing: Merri Street East) has been undertaken - **Refer to Appendix F**.

The subject site is located in Precinct 1. A number of design objectives apply to the site, which in summary seek to ensure buildings are sited to integrate with the existing streetscape, respond positively to the coastal landscape setting, maintain the open, informal appearance of the streetscape, provide for the reasonable sharing of views to the coast and ensure that buildings and extensions respect the predominant height and form of buildings in the streetscape.

The assessment has highlighted the proposed extensions at third floor do not meet the design requirements or the outcomes to be achieved by the DDO15. Particularly in relation to the building setback requirements, building height and form and views, the assessment is further detailed in **Appendix F**.

In considering the assessment of the application, the following decision guidelines of the DDO15 provide relevant guidance:

- Whether the bulk, location and appearance of any proposed buildings and works will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.
- Whether the design, form, layout, proportion and scale of any proposed buildings and works is compatible with the period, style, form, proportion, and scale of any identified heritage places surrounding the site.
- Whether the proposed development achieves the design requirements and the outcomes to be achieved by Schedule 15 to the Design Development Overlay.

### **Neighbourhood Character**

The planning scheme requires development to respect the existing neighbourhood character or contribute to the preferred neighbourhood character. It is considered that the proposed extension at third floor does not achieve this objective or comply with the requirements of the Warrnambool Planning Scheme.

The existing roof terrace is currently prominent from all surrounding streets and the further extension and infill will increase the prominence of the built form at the third floor. The current built form is a roof terrace with access provided by an enclosed stairwell and lift.

The prevailing built form is single storey; with some more recent double-storey development. Traditional roof forms are pitched and as such the existing and proposed extension of the flat roof at third level is at odds with the prevailing character of the area.

### **Height**

The planning scheme requires building height to respect the existing or preferred neighbourhood character. The proposed height of the extension is 9.5m which matches the existing canopy height; however the preferred maximum building height under the DDO15 is 7.5 metres. Allowing for development that exceeds 7.5 metres is only acceptable where buildings will not be visually dominant. The extension and infill of the existing terrace will have the effect of emphasising the third floor and therefore create a visually dominant building within the streetscape.

### **Heritage**

The subject site is not located within the heritage overlay, however is located directly opposite the Flagstaff Hill Maritime Village, which has local and State Heritage significance and as such the site is located within the Warrnambool Planning Scheme Heritage Overlay and components of the site are also included on the Victorian Heritage Register.

The existing dwelling fronting Merri Street is modern and constructed with contemporary materials and built form. The proposed extension to this dwelling will not further impact the heritage significance or historic context of the location.

### **Conclusion**

Having regard to the relevant State and Local planning policy framework, the provisions of the General Residential Zone, the Design and Development Overlay and Clause 65 of the Warrnambool Planning Scheme, it is considered that the proposed extensions to the existing dwelling at third floor would result in an unacceptable planning outcome. For the reasons detailed above, and based on a thorough planning assessment, the planning permit application is not supported.



**Recommendation**

That a Refusal to Grant a Permit be issued under Section 65 of the *Planning and Environment Act 1987*, subject to the following reasons for refusal:

The proposed development fails to satisfy the objectives of Clause 21.06 of the Warrnambool Planning Scheme. Particularly in regards to protection of the character of the existing residential precinct, ensuring building heights maintain view lines to the coast and ensuring building heights respect the scale and character of existing buildings.

The proposed development fails to meet the design requirements of Schedule 15 to the Design and Development Overlay, Clause 43.02 of the Warrnambool Planning Scheme, particularly when considering the building height, form and setback requirements.

The proposed development does not satisfy the relevant provisions of Clause 55.02-1 of the Warrnambool Planning Scheme (Neighbourhood Character) where the proposal does not respect the existing or preferred neighbourhood character in regards to height and scale.

**APPENDIX F – DDO15 ASSESSMENT****Assessment against Schedule 15 to the Design and Development Overlay (Foreshore Design Character and Viewsharing: Merri Street East): Precinct 1**

<b>Merri Street East: All Precincts</b>		
<b>Design Requirements</b>	<b>Outcome to be achieved</b>	<b>Comments</b>
<b>Building setback requirements (all precincts)</b>		
The upper level(s) of development should be stepped in from the ground floor in order to maintain viewing corridors between buildings.	Buildings and vegetation that do not unreasonably block views to the coast.	Does not comply  The proposed extension to the third floor results in a building form which is not stepped in from the ground floor.  The balcony at second floor and the proposed extension to the balcony at third floor extend out from the front setback of the building. All three levels, with the exception of the balconies, would have the same setback; this would result in a building form which does not provide viewing corridors between buildings and would block views to the coast.
<b>Setback requirements (Precinct 1)</b>		
Development should be set back from both side boundaries a minimum of 2 metres.  Development should be set back from the front boundary a minimum of 5 metres. Or: For development which adjoins an existing heritage property and is located on the same street frontage, ensure development is sited to complement the front, side and rear setbacks of the buildings on the heritage property.	Buildings that are sited to maintain a sense of spaciousness and support coastal vegetation.  Development that respects established historic siting patterns.	Does not comply  The proposed extension at third floor has a setback from the western side boundary of 3 metres and 3.6 meters from the eastern side boundary.  The proposed front setback at third floor (to edge of roof) is 1.1 meters from Merri Street.  The proposed front setback of 1.1m is less than the preferred 5m and as such does not maintain a sense of space or respect the established pattern of development
<b>Building height and form (all precincts)</b>		
Minimise the visual impact of buildings and reduce the need for cut and fill by designing buildings to follow the contours and step down the site.  The upper level(s) of developments should be recessed and articulated to reduce dominance of the upper level and impacts in terms of overlooking and visual bulk.  Buildings should incorporate low single pitch roof forms, low hip or gable roof forms, or limited use of high pitch roof forms.	Buildings that respond to the natural contours of the landscape.  Buildings that do not visually dominate the street or coastal environment.	Does not comply  The proposed extension at third floor does not provide for upper floors which are recessed and subservient.  The extension will result in a visually prominent third floor which does not meet the design objectives of DDO15 and is at odds with the surrounding built form.
<b>Building height and form (Precinct 1)</b>		



<p>Development should be limited to a preferred maximum height of 7.5m above natural ground level (other than architectural details).</p>	<p>Buildings that are not visually dominant and are designed with consideration of the sharing of ocean views.</p>	<p>Does not comply The proposed extension at third floor has a height of 9.5 meters and exceeds the preferred maximum height of 7.5 meters. Approval of the proposed extensions and infill will result in a visually dominant building and does not provide consideration for the sharing of ocean views.</p>
<b>Materials and design detail</b>		
<p>Use simple building details. Articulate the form and façades of buildings through the use of different colours and materials, through the composition of openings and setbacks and through variations in wall surfaces.</p> <p>Use a mix of contemporary and traditional coastal materials, textures and finishes including timber, render, glazing, stone, brick, and iron roofing.</p> <p>Materials that weather over time with the landscape should also be considered.</p> <p>Utilise colours and finishes that complement the native vegetation of the local area, including dark, natural colours and matte finishes.</p> <p>Use glazing and roofing materials of low reflectivity.</p>	<p>High architectural quality. Buildings that respond positively to the coastal context.</p>	<p>Complies The proposed materials include texture coat render to match the existing, glass balustrade and aluminium windows to match existing.</p>
<b>Streetscape</b>		
<p>Where a front setback is required, ensure the area between the building and the front property boundary is mostly permeable and able to support vegetation, including medium-sized coastal canopy trees.</p> <p>Provide no front fence, or planting instead of a front fence in areas where this is a predominant feature of the streetscape. In other areas, provide an open style front fence to a preferred maximum height of 1.2 metres or fencing appropriate to the architectural style of the building.</p> <p>Locate garages, carport and car parking areas behind the line of the dwelling.</p>	<p>Buildings and building elements that achieve the desired streetscape character.</p> <p>Buildings that are sited to reinforce the landscape character of the coastal environment.</p> <p>Front setbacks that support species-appropriate coastal gardens.</p> <p>Front boundary treatments that reinforce the sense of openness in the streetscape.</p>	<p>Does not comply The application site is visible from Flagstaff Hill Maritime Village and other locations along Merri Street.</p> <p>The proposed extension at third floor including the proposed balcony extension does not achieve the desired streetscape character or integrate with the existing streetscape which is predominantly single storey.</p>

<b>Views</b>		
<p>Buildings should be sited and designed so as not to intrude into major view lines from public viewing locations.</p> <p>Where ocean views are available along a road corridor, have regard for adjoining front setbacks so that new development does not intrude significantly into existing view lines.</p> <p>Vegetation should be sited and appropriate species selected in order to maintain ocean viewing corridors from adjoining properties.</p>	<p>Buildings and vegetation that do not unreasonably block views to the coast.</p>	<p>Does not comply The proposed extension at third floor intrudes on adjoining front setbacks and view lines to the coast.</p>
<b>Landscaping</b>		
<p>Landscaping should provide visual links with the coastal reserve.</p> <p>Retain existing trees and provide for the planting of new vegetation, including medium-sized coastal canopy trees, wherever possible.</p> <p>Require all applications for new dwellings to prepare a landscape plan that includes the planting of appropriate vegetation around the dwelling.</p>	<p>Landscaping that is integrated with new buildings and links to the landscaping of the coastal environment.</p>	<p>Not relevant to the proposed extension at third floor.</p>



**5.5 DENNINGTON NEIGHBOURHOOD ACTIVITY CENTRE DEVELOPMENT PLAN – 1332 RAGLAN PARADE****PURPOSE**

*This report considers a Development Plan (for 1332 Raglan Parade) prepared by 10 Consulting Group on behalf of Claremont Project Management and recommends that the Development Plan be endorsed.*

**EXECUTIVE SUMMARY**

- A Development Plan relating to part of the land at 1332 Raglan Parade has been submitted to Council for consideration.
- Development Plan Overlay Schedule 9 (DPO9) applies to the land and requires the approval of a Development Plan prior to any works, the construction of any building or subdivision of land.
- The Development Plan was exhibited for a two week period and no submissions have been received.
- The Development Plan appropriately responds to the Development Plan Overlay requirements and is suitable for endorsement by Council.

**MOVED: CR. ANDERSON**  
**SECONDED: CR. CASSIDY**

**That Council endorse the *Development Plan, January 2017* in accordance with the requirements of Clause 43.04 (Schedule to DPO9) of the Warrnambool Planning Scheme.**

**CARRIED – 6:1**

**Crs. Anderson, Cassidy, Neoh, Gaston, Herbert & Owen voting for the motion**

**Cr. Hulin voting against the motion**

**BACKGROUND**

Planning Scheme Amendment C48 was gazetted 15 April 2010 and implemented the recommendations of the Dennington Neighbourhood Activity Centre Structure Plan (DNAC) to the Warrnambool Planning Scheme. This included rezoning land from Industrial 3 to Business 1 (now Commercial 1 following zone reforms) and the addition of the Development plan Overlay Schedule 9 (DPO9) and Environmental Audit Overlay (EAO).

The DNAC referred to the following objectives for the neighbourhood centre which have since translated to the DPO:

Paragraph 8.1.1 'Objectives'

The following land use objectives represent the key basis of the Structure Plan:

- Establish a Neighbourhood Activity Centre at Dennington to serve the local weekly convenience needs of the community.
- Focus retail services toward the Highway between Lindsay and Russell Streets wrapping around to address each streetscape.
- Integrate different land uses in a cohesive way to increase activity and identity of the Town Centre and avoid land use conflicts particular with residential uses.
- Establish a high quality built environment respectful of the gateway location along the Highway and prevailing low scale surrounds.
- Ensure buildings are well designed in sympathy with the village and address the streetscape with activate or attractive edges in exposed locations.

- Realise the development of key underutilised sites within the Town Centre in an orderly, integrated and timely manner.
- Integrate community activities with the commercial uses in the Town Centre to maximise their usage.

Refer to **Appendix A** for a copy of the Structure Plan concept and area covered by the DPO9.

The submitted Development Plan applies to part of the land (1821m<sup>2</sup>) at 1332 Raglan Parade, described as LOT 2 TP18977. The western portion of the site with dual frontage to Raglan Parade and Lindsay Street (792m<sup>2</sup>) is not included as part of the aspirations for this Development Plan. The subject land is in a prominent position with approximately 44m of frontage on the north side of Raglan Parade in Dennington.

The land is within the Commercial 1 Zone (C1Z) with land to the west of Lindsay Street zoned General residential 1 (GR1Z). Raglan Parade is zoned Road Zone Category 1 (RD1Z). The Environmental Audit Overlay (EAO) also affects the land.

The Development Plan details that the site is proposed to be used and developed for the purpose of a service station as a complimentary use to the existing Woolworths supermarket. Once a Development Plan is approved, a planning permit is able to be considered in accordance with the approved development plan.

## ISSUES

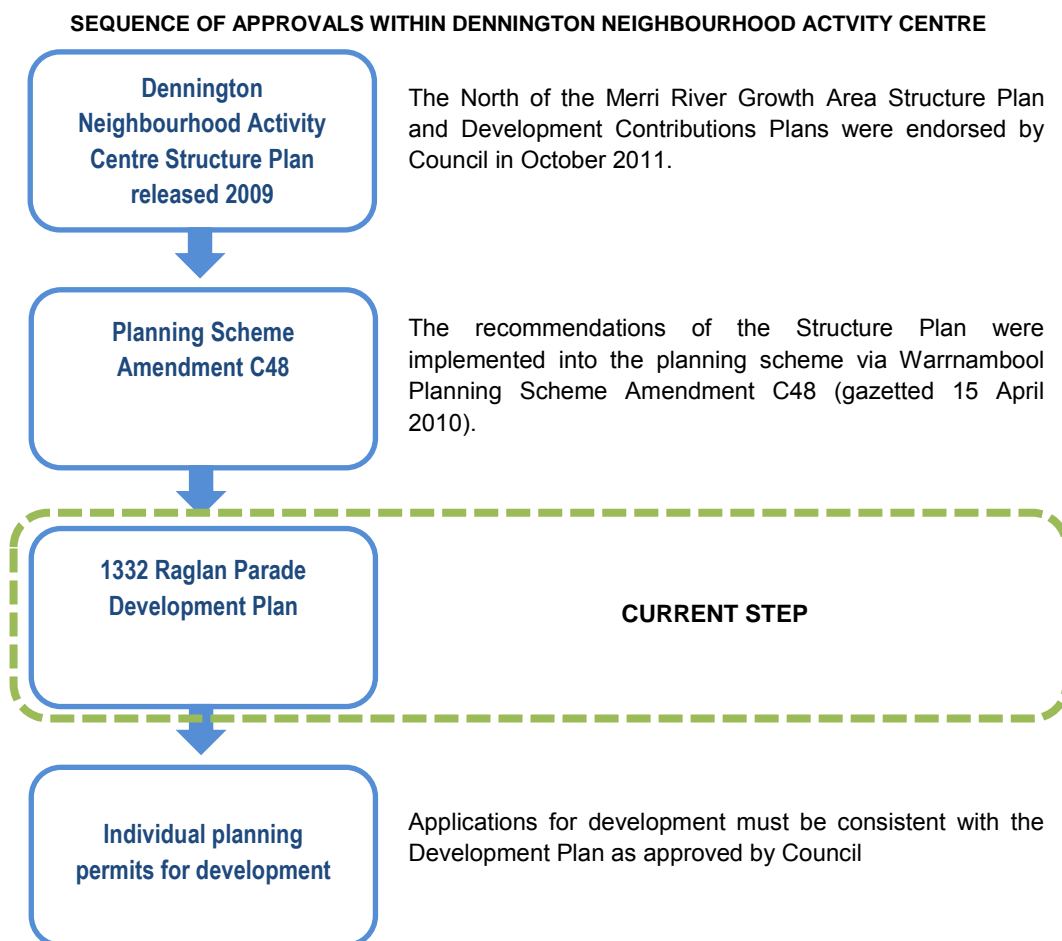


Figure 1: Sequence of approvals within Dennington Neighbourhood Activity Centre

The Development Plan for 1332 Raglan Parade was submitted to Council in accordance with the requirements of DPO9. Refer to **Appendix C** for a copy of the Development Plan.

In accordance with the requirements of the DPO9 the submitted Development Plan addresses the following requirements:



- **Built form guidelines** that provide for an unobtrusive built form that incorporates an active frontage to the future east-west connection to the north and Raglan Parade to the south, a building and canopy design and that incorporates a simple flat roof form with articulated heights that would complement surrounding existing development with external materials and colours that would respond to the surrounding development and objectives of the wider precinct.
- **Signage Plan** that provides for signage normal to a service station. Illuminated signage is kept to a minimum and limited to within the built form of the canopy and pylon sign at the front of the site.
- **A Traffic Management Plan** (prepared by Cardno Pty Ltd) that concludes that the parking demand and delivery of fuel can be appropriately managed within the site. **A Car Parking plan** that anticipates the creation of east-west street connection and provides for the safe movement of patrons within and around the site. Parking is provided to the required standard.
- **A Landscaping Plan** that provides details on ground cover and feature trees.

Schedule 9 to the DPO specifically states that a Development Plan may be prepared and implemented in stages.

A full assessment of the Development Plan against the provisions of the Development Plan Overlay (DPO9) can be found at **Appendix D**.

## CONSULTATION/COMMUNICATION

Prior to advertising the Development Plan relevant agencies and authorities were consulted to seek their views on the proposal.

VicRoads and EPA have offered no objection to the submitted Development Plan but have reserved the right to provide advice as part of the planning application process. Council's Infrastructure branch have no objection in principle.

It should be noted that Vicroads are a mandatory referral authority as part of the planning permit process on the basis that a new access is proposed to be created to the highway. EPA are not a mandatory referral authority however, the land is affected by the EAO, and the nature of the proposal and proximity to the Caltex fuel depot to the north, it is considered that their views are a required.

The Development Plan was advertised (non-statutory) in the Warrnambool Standard with details made available on Council's website for a two (2) week period between 16 February to 2 March 2017.

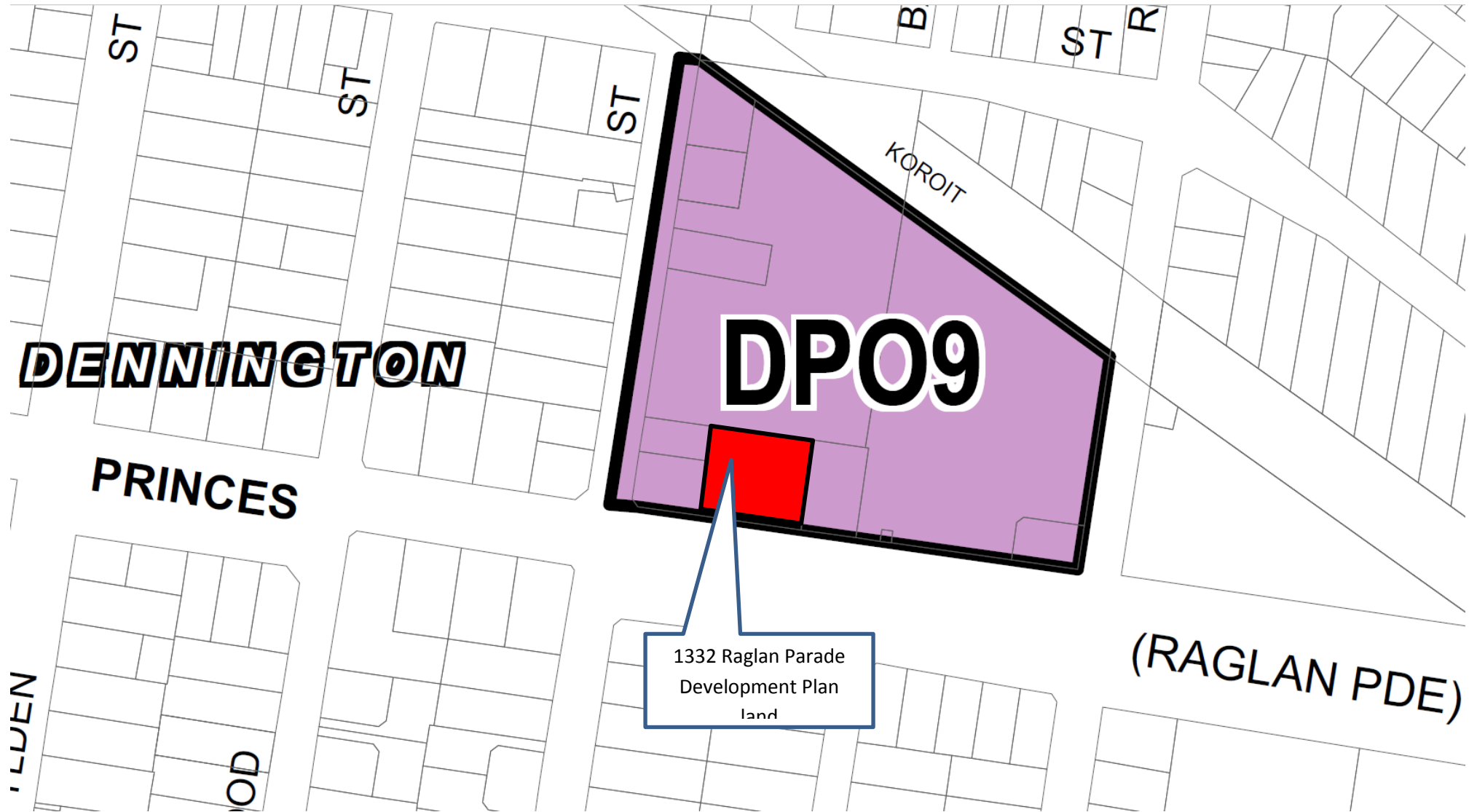
## FINANCIAL IMPACT

Costs associated with the review and assessment of the Development Plan have been included in the 2016/2017 City Strategy and Development Budget.

## ENVIRONMENTAL/RISK IMPACT

The Development Plan has been processed and assessed in accordance with the requirements of the Warrnambool Planning Scheme.

**APPENDIX A – DPO9 AND THE LOCATION OF THE APPLICATION SITE**







Extract from the Dennington Neighbourhood Activity Centre Structure Plan

**43.04 DEVELOPMENT PLAN OVERLAY**01/07/2014  
VC116

Shown on the planning scheme map as **DPO** with a number.

**Purpose**

To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.

To identify areas which require the form and conditions of future use and development to be shown on a development plan before a permit can be granted to use or develop the land.

To exempt an application from notice and review if it is generally in accordance with a development plan.

**43.04-1 Requirement before a permit is granted**19/01/2006  
VC37

A permit must not be granted to use or subdivide land, construct a building or construct or carry out works until a development plan has been prepared to the satisfaction of the responsible authority.

This does not apply if a schedule to this overlay specifically states that a permit may be granted before a development plan has been prepared to the satisfaction of the responsible authority.

A permit granted must:

- Be generally in accordance with the development plan.
- Include any conditions or requirements specified in a schedule to this overlay.

**43.04-2 Exemption from notice and review**21/09/2009  
VC60

An application under any provision of this scheme which is generally in accordance with the development plan is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

**43.04-3 Preparation of the development plan**01/07/2014  
VC116

The development plan may consist of plans or other documents and may, with the agreement of the responsible authority, be prepared and implemented in stages.

A development plan that provides for residential subdivision in the Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Mixed Use Zone, Township Zone, Comprehensive Development Zone and Priority Development Zone must meet the requirements of Clause 56 as specified in the zone.

The development plan must describe:

- The land to which the plan applies.
- The proposed use and development of each part of the land.
- Any other requirements specified for the plan in a schedule to this overlay.

The development plan may be amended to the satisfaction of the responsible authority.



*Notes: Refer to the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement, for strategies and policies which may affect the use and development of land.*

*Check the requirements of the zone which applies to the land.*

*Other requirements may also apply. These can be found at Particular Provisions.*

## WARRNAMBOOL PLANNING SCHEME

16/04/2010  
C48**SCHEDULE 9 TO THE DEVELOPMENT PLAN OVERLAY**

Shown on the planning scheme map as DPO9

**DENNINGTON NEIGHBOURHOOD ACTIVITY CENTRE – RETAIL PRECINCT****1.0 Requirement before a permit is granted**16/04/2010  
C48

The responsible authority can consider an application to subdivide land into no more than two (2) lots and also title reconfiguration, and to construct or carry out minor works including site preparation works and related activities before a development plan has been approved.

An alteration or extension to an existing dwelling is exempt from the requirement to prepare a development plan.

**2.0 Conditions and requirements for permits**16/04/2010  
C48

All proposals to subdivide land, title reconfiguration, and to construct or carry out minor works (including site preparation works) before a development plan has been prepared must be accompanied with a report demonstrating that they will not prejudice the long term future use of the land as envisaged in the *'Dennington Neighbourhood Activity Centre Structure Plan - Hansen, November 2009'*.

**3.0 Requirements for development plan**16/04/2010  
C48

The development plan must be generally in accordance with the *'Dennington Neighbourhood Activity Centre Structure Plan -Hansen, November 2009'* (Structure Plan) and include:

- Built Form Design Guidelines that:
  - Provide a building form that is of a low scale and unobtrusive to maintain view lines from surrounding elevated topography (no more than one storey in height or 6 metres in elevation). Two storey development is acceptable fronting Lindsay Street and the Princes Highway to encourage multiple land uses over different storeys.
  - Ensure buildings are designed to front external and internal streets, provide active frontages and well concealed service areas.
  - Ensure new development close to corners is positioned to the lot boundary and should clearly demarcate and address internal and external intersections.
  - Avoid large expanses of flat roofs.
  - Ensure that plant fittings on rooftops are appropriately screened when viewed from elevated positions.
  - Provide for a material palette that displays a variety of finishes that respond to the natural environment in texture and colour.
  - Avoid the use of large expanses of brightly coloured rendered walls.
- A Signage Plan that:
  - Provides for signage that is respectful to the neighborhood setting with low scale integrated design preferred.
  - Avoids highway illuminated signage.
- A Traffic Management and Car Parking plan that:
  - Provides for an internal street connection in an east-west alignment with the drainage easement to facilitate traffic and pedestrian movement between Russell and Lindsay Streets.



## WARRNAMBOOL PLANNING SCHEME

- Provides a north-south pedestrian plaza link between retail development in the centre. The plaza should contain street furniture, public notice boards, lighting and high quality landscaping.
- Indicates the number, location, dimensions and layout of all car parks and access-ways to and from the car parking areas.
- Indicates specified car parking rates for all uses, including visitor car parking to the satisfaction of the responsible authority.
- Indicates the location and dimension of all bicycle, vehicle and pedestrian access ways and how these connect to the remainder of the retail precinct and the wider Activity Centre.
- Includes traffic management and traffic control works considered necessary in adjoining and nearby roads when the development is completed.
- Indicates the means of pedestrian and vehicle ingress to and egress from the land.
- A Landscaping Plan that:
  - Includes details on furniture, lighting and the location, quantity and size at maturity of all proposed plants, the botanical names of the plants, the location of all areas to be covered by lawn or other surface materials and provides a specification of works to be undertaken prior to planting.

The development plan may be prepared and implemented in stages.

**APPENDIX C – 1332 RAGLAN PARADE DEVELOPMENT PLAN**

Expert Evidence | Strategic Advice | Development Approvals

25 January 2017

James Phillips  
Acting Coordinator – City Development  
Warrnambool City Council  
Via email: [jphillips@warrnambool.vic.gov.au](mailto:jphillips@warrnambool.vic.gov.au)

Dear James,

**Development Plan for 1332 Raglan Parade, Warrnambool**

We act on behalf of Claremont Project Management Pty Ltd, Woolworths and the owner of the above land in relation to the Development Plan proposal.

We refer to your correspondence dated 16 January 2017 requesting further information in relation to the proposal, which seeks approval to provide for the future use and development of a service station on the land.

In response to the matters outlined in your letter we enclose amended plans and a planning assessment to further detail and justify the proposed Development Plan.

In particular we note the following relevant matters:

- Council has facilitated the staged use and development of the Dennington NAC through the staged approval of a number of development plans (refer enclosed planning report), in some cases such as this, this has included "pad" specific development plans.
- Those plans have been considered and approved on their merits and have not provided for the use and development of this site or for the balance of land within the designated Dennington NAC.
- This proposal, which seeks approval of a Development Plan for a single 'pad site' is consistent with the progress of planning and approvals for the overall activity centre.





- It is advanced for a site within the Dennington NAC where the proponent has clear intentions to establish a service station.
- The future use and development of the neighbouring land to the site's immediate west is yet to be resolved and cannot be addressed in greater detail than provided for in the submitted documentation.
- Regardless, the proposed Development Plan will facilitate and enhance an appropriate movement network for the activity centre, providing for:
  - An integrated common access from Raglan Parade; and
  - A future east/west connection from the activity centre to Lindsay Street.
- As a result, the proposed Development Plan will have no impact on the on the existing activity centre or prejudice its existing or future use and development.
- In addition, the proposed Development Plan provides for an open and permeable interface along the common boundaries with neighbouring properties enabling future opportunities to integrate the adjoining land, use and development.

For the reasons outlined above and more fully substantiated and justified in the enclosed planning assessment the proposed Development Plan is considered to be an appropriate and positive response for the land and the role and function of the activity centre at Dennington.

Should you have any questions regarding this matter please contact the undersigned or Alison Milner on telephone 03 9686 9914 or email [alison.milner@i10cg.com.au](mailto:alison.milner@i10cg.com.au).

Yours sincerely

A handwritten signature in blue ink, appearing to read 'Rob Milner', with a long horizontal flourish extending to the right.

**Rob Milner**  
Director



**1332 Raglan Parade, Dennington**  
**Proposed Development Plan**

JANUARY 2017

TOWN PLANNING ASSESSMENT  
PREPARED FOR  
WOOLWORTHS LIMITED

PREPARED BY  
10 CONSULTING GROUP PTY LTD



Expert Evidence | Strategic Advice | Development Approvals





1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

## Contents

<b><u>1</u></b>	<b><u>INTRODUCTION .....</u></b>	<b><u>3</u></b>
1.1	Purpose .....	3
1.2	Background.....	4
1.3	Proposal.....	5
<b><u>2</u></b>	<b><u>OVERVIEW .....</u></b>	<b><u>6</u></b>
<b><u>3</u></b>	<b><u>STRATEGIC CONTEXT .....</u></b>	<b><u>8</u></b>
3.1	Introduction.....	8
3.2	Settlement and activity centre policy .....	8
3.3	Economic development .....	9
3.3.1	Environmental risk.....	10
3.4	Built form and heritage .....	10
3.5	Dennington Activity Centre.....	11
<b><u>4</u></b>	<b><u>PLANNING PROVISIONS.....</u></b>	<b><u>15</u></b>
4.1	Commercial 1 Zone .....	15
4.2	Development Plan Overlay .....	16
4.3	Environmental Audit Overlay.....	17
<b><u>5</u></b>	<b><u>COMPLIANCE WITH DENNINGTON NEIGHBOURHOOD STRUCTURE PLAN....</u></b>	<b><u>18</u></b>
<b><u>6</u></b>	<b><u>DEVELOPMENT PLAN REQUIREMENTS.....</u></b>	<b><u>19</u></b>
6.1	Built form guidelines .....	19
6.1.1	Response .....	19
6.2	Signage Plan .....	20
6.2.1	Response .....	20
6.3	Traffic Management and Car Parking Plan .....	21
6.3.1	Response .....	21
6.4	A Landscape Plan .....	22
6.4.1	Response .....	22
<b><u>7</u></b>	<b><u>CONCLUSION.....</u></b>	<b><u>24</u></b>



1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

## 1 INTRODUCTION

### 1.1 Purpose

- 1 This report accompanies a development plan proposal to enable the use and development of a service station on land at 1332 Raglan Parade, Dennington (**Site**).
- 2 It should be read in conjunction with the plans (**Development Plan**) prepared by TRG.
- 3 The Site forms part of the designated '*retail and commercial hub*' of the Dennington Neighbourhood Activity Centre.
- 4 The report and Development Plan describe the response to the provisions and requirements of *Development Plan Overlay – Schedule 9 (DPO9)* of the Warrnambool Planning Scheme.



Figure 1: Aerial Photo - Site and surrounds (nearmap)





1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

## 1.2 Background

- 5 DP09 applies to the *Dennington Neighbourhood Activity centre – Retail Precinct (Dennington NAC)*, being the land identified within the retail / commercial precinct described in the *Dennington Neighbourhood Activity Centre Structure Plan (November 2009)*.
- 6 DP09 requires, among other matters, that future use and development is shown on a development plan before a permit can be granted to use or develop land.
- 7 In accordance with the provisions of DP09, a number of development plans for the Dennington NAC have already been prepared.
- The *Dennington Shopping Centre Development Plan* was approved on 20 June 2011 and provided for the development of a supermarket and specialty retail land uses, including the development of a 400sqm 'pad site' – now developed with a Chemist Warehouse – to immediate east of the Site.
  - The *Dennington Neighbourhood Activity Centre Development Plan (181-191 Russell Street, Dennington) Development Plan* was approved on 21 June 2010 and illustrates the vehicle access, pedestrian linkages and car parking provision and arrangements to complement the shopping centre approved as part of the preceding development plan.
- 8 Those development plans, which have been implemented in stages through the subsequent issue of planning approvals and development works, have provided generally for the use and development of the Dennington NAC with:
- A principal shopping complex within the northern portion of the land;
  - A Chemist Warehouse outlet on a neighbouring site, toward the immediate east;
  - An access and movement network, including two principal access points: from Russell Street to the east and to Raglan Parade centrally from within the property;



1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

- A range of business identification signage; and
  - A landscape setting.
- 9 The approval of the above development plans and subsequent approvals for the use and development of the Dennington NAC has not addressed and/or provided for the future use and development of the Site.

### 1.3 Proposal

- 10 The Development Plan describes the future use and development of the Site with a service station, indicatively comprising a land use and built form outcome including:
- Four (4) petrol bowsers;
  - A kiosk and convenience outlet;
  - Access and on-site car parking arrangements;
  - Loading bay facilities; and
  - Provision for business identification signage.





1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

## 2 OVERVIEW

- 11 Consistent with the progressive approval and development of the Dennington NAC to date, the Development Plan advanced with this application:
- Provides for the sequential, staged development of the Dennington NAC by providing for the future use and development of the Site adjacent to the developed portion of the centre; and
  - Does not address or detail the future use and development of the remaining 'pad site' toward the Site's west, at the northeast corner of the Raglan Parade and Lindsay Street, which is yet to be fully resolved and will be subject to future planning approval, including a development plan proposal.
- 12 The Development Plan is advanced for a single 'pad site' within the Dennington NAC, where the proponent has clear intentions to establish a service station.
- 13 The Development Plan is able to provide a detailed description of the Site's intended future use and development.
- 14 The following considerations establish the strategic justification why the Development Plan is an appropriate response and proposal for the Site and the Dennington NAC.
- A service station is a convenience service and is appropriately located adjacent to a local or neighbourhood centre that is the subject of frequent daily and weekly trips to access convenience goods and services.
  - The proposed Development Plan provides for the proposed use and development to integrate with the existing and future use and development of the Dennington NAC, including the adjoining land.
  - The proposed Development Plan will not prejudice the future use and development of the neighbouring 'pad site' to the west, which will be able to integrate with the Site and the Dennington NAC because:



1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

- An integrated common access is to be provided from Raglan Parade;
  - A future east/west connection from the activity centre to Lindsay Street is noted at the rear of the Site; and
  - An open and permeable interface is to be provided along the common boundaries with the neighbouring properties, including opportunities for future integration of the adjoining land.
- The Development Plan has been prepared in response to the Site's opportunities and constraints, including the commercial and convenience expectations about land use and development to support and enhance a NAC at Dennington.
  - The Development Plan responds positively to the relevant policy and provisions of the *Warrnambool Planning Scheme*, including DPO9 and the *Dennington Neighbourhood Activity Centre Structure Plan (November 2009)*.
  - The Development Plan provides the detail to support the appropriate future use and development of the Site with a service station having regard to the:
    - Surrounding land use and built form context;
    - Features of the Site and neighbouring properties;
    - Patterns of existing and anticipated development and neighbourhood character; and
    - Relevant residential amenity expectations of surrounding residential land.
  - The off-site implications of the Development Plan proposal are appropriate. The service station does not abut nor is it particularly close to sensitive residential uses.
  - Traffic, access and car parking has been considered and addressed by the Development Plan.





1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

### 3 STRATEGIC CONTEXT

#### 3.1 Introduction

15 The proposed Development Plan has had regard and responds positively to the land use and development within the designated activity centre and on a site that:

- Is zoned to deliver a range of commercial and community facilities to meet the convenience needs of existing and future residents at Dennington;
- Is currently underutilised;
- Is centrally located to the emerging community;
- Benefits from a main road frontage and a high level of exposure;
- Will be convenient and accessible to the future community and users of the Dennington NAC;
- Will integrate with and be well served by car park facilities on the Site and adjoining land; and
- Will integrate with and enhance the services to be offered by the Dennington NAC.

#### 3.2 Settlement and activity centre policy

16 The overarching intent and objectives of *Settlement* policy (Clause 11) establish the clear expectation for planning to anticipate and respond to the needs of existing and future communities, including through the provision of zoned and serviced land for employment and commercial and community facilities and infrastructure.

17 Planning is directed to facilitate sustainable development that takes full advantage of existing settlement patterns and to build up a network of activity centres as a focus for high-quality development and a diverse and accessible land use mix to:

- Foster sustainable growth and development;



1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

- Provide appropriate opportunities for jobs and investment; and
  - Support the community and wider region through the provision of a range of services and facilities.
- 18 These broad policy objectives are reflected in Council's Municipal Strategic Statement (MSS) and the local policy provisions of the Warrnambool Planning Scheme, which establish the strategic basis and place for a well-designed NAC at Dennington to:
- Support a competitive and sustainable local economy;
  - Support the 'consolidation of urban settlement' in line with the *Warrnambool Strategic Framework Plan* (Figure 2) and the designated activity centre hierarchy;
  - Provide a focus for a range of local shopping and commercial services and activities [Clause 21.02-1].
- 19 In particular, the MSS:
- Identifies residential growth opportunities at Dennington, within the *North Dennington Growth Area*, including an expectation for approximately 1,250 residential lots to be delivered over a 15-20-year period [Clause 21.01]; and
  - Identifies the Dennington NAC, including the Site, as an integrated part of the Warrnambool activity centre network to support both existing and emerging communities at Dennington [Clause 21.01, 21.02 and 21.11].

### 3.3 Economic development

- 20 The NAC at Dennington is identified within the Warrnambool activity centre hierarchy at Clause 21.02. Planning and development of the activity centre are expected to support a range of convenience and service functions, including a **'petrol station'**.
- 21 To this end, the Development Plan is a sound response to the overarching objectives of State and local economic development policy in so far as it:





1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

- Would respond to the community's needs for retail and commercial services and provide a net community benefit in relation to accessibility, efficient infrastructure use and the aggregation and sustainability of commercial facilities [Clause 17.01-1];
- Provide for the future use and development of a new convenience facility within an existing, planned activity centre [clause 17];
- Enhance the diversity of the Dennington NAC by broadening the range of available facilities [Clause 21.02]; and
- Provide for the orderly use and development of the Dennington NAC, while protecting and enhancing the centre's vitality, viability and identified role [Clause 21.08].

### 3.3.1 Environmental risk

- 22 Environmental risk policy emphasises separation as a tool in amenity protection [Clause 13.04-1]. It has been applied by the choice of the Site and proposed location of the service station to provide reasonable protection for the amenity and experience of adjoining and nearby land, including residential properties.
- 23 This planning principle is reflected in the MSS [Clause 21.04] and in the emphasis on the need for planning to appropriately manage the sustainable use and development of land.

### 3.4 Built form and heritage

- 24 State *Built Environment and Heritage* policy [Clause 15] seeks to create urban environments that are safe, functional and provide good quality environments that contribute to a sense of place and cultural identity. The proposal responds appropriately to Clause 21.06 which expects planning to:
- Deliver high quality urban design outcomes;
  - Facilitate development that provides an appropriate degree of visual interest in design articulation and a high standard of amenity;
  - Facilitate the siting (including setbacks and site coverage) of new development to respond to the opportunities, constraints and features of the Site;



1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

- Provide landscape areas which positively contribute to the appearance of built form and integrate development with its surrounds;
- Provide for advertising signage which makes a positive contribution to the overall presentation of the general streetscape; and
- Improve the visual quality of major transport routes [Clause 21.06]

### 3.5 Dennington Activity Centre

25 Clause 21.11-3, *Dennington Activity Centre*, establishes a vision for the Dennington NAC to develop as a:

*"... small village precinct and the primary focus for the local convenience and weekly shopping needs of Dennington / West Warrnambool, comprising a range of retail, commercial, leisure and community facilities and enticing outdoor spaces. Improved links between the Town Centre and residential growth areas, in association with new mixed use development along Lindsay Street will ensure harmonious integration between the new retail area and the existing traditional retail village heart."*

26 The vision is expected to be achieved in accordance with the provisions of the *Dennington Neighbourhood Activity Centre Structure Plan (2009)*, including the *Dennington Activity Centre Framework Plan* [Figure 3], which identifies the Site to:

- Form part of the 'Retail and Commercial Hub', expected, in part, to serve a complementary retail / commercial role;
- Incorporate active building frontages, including to Raglan Parade;
- Integrate with the neighbouring 'pad site' to the west;
- Include car parking, along with the neighbouring land to the east;
- Benefit from 'retail centre access' and a 'through-block' vehicle link at the rear of the Site, with access to Lindsay Street; and
- Benefit from landscaping and enhancement works in the setback to Raglan Parade.





1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

- 27 Precinct-wide access and circulation implementation strategies relevant to this proposal include:
- *Support and encourage sustainable practice in building and landscape design.*
  - *Maintain and reinforce the existing community structure at Dennington.*
  - *Establish a high quality built environment respectful of the gateway location along the Highway and prevailing low scale surrounds.*
  - *Ensure buildings are well design in sympathy with the village and address the streetscape with activated or attractive edges in exposed locations.*
  - *Establish an internal east-west link between Lindsay and Russell Streets along the existing drainage easement to serve as a new urban frontage.*
  - *Require all loading and service access for retail uses to be located to the rear of development and concealed through design and landscape treatments.*
  - *Limit the extent of open surface car parking in a single location through the development of car parking courts that are landscaped.*



1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

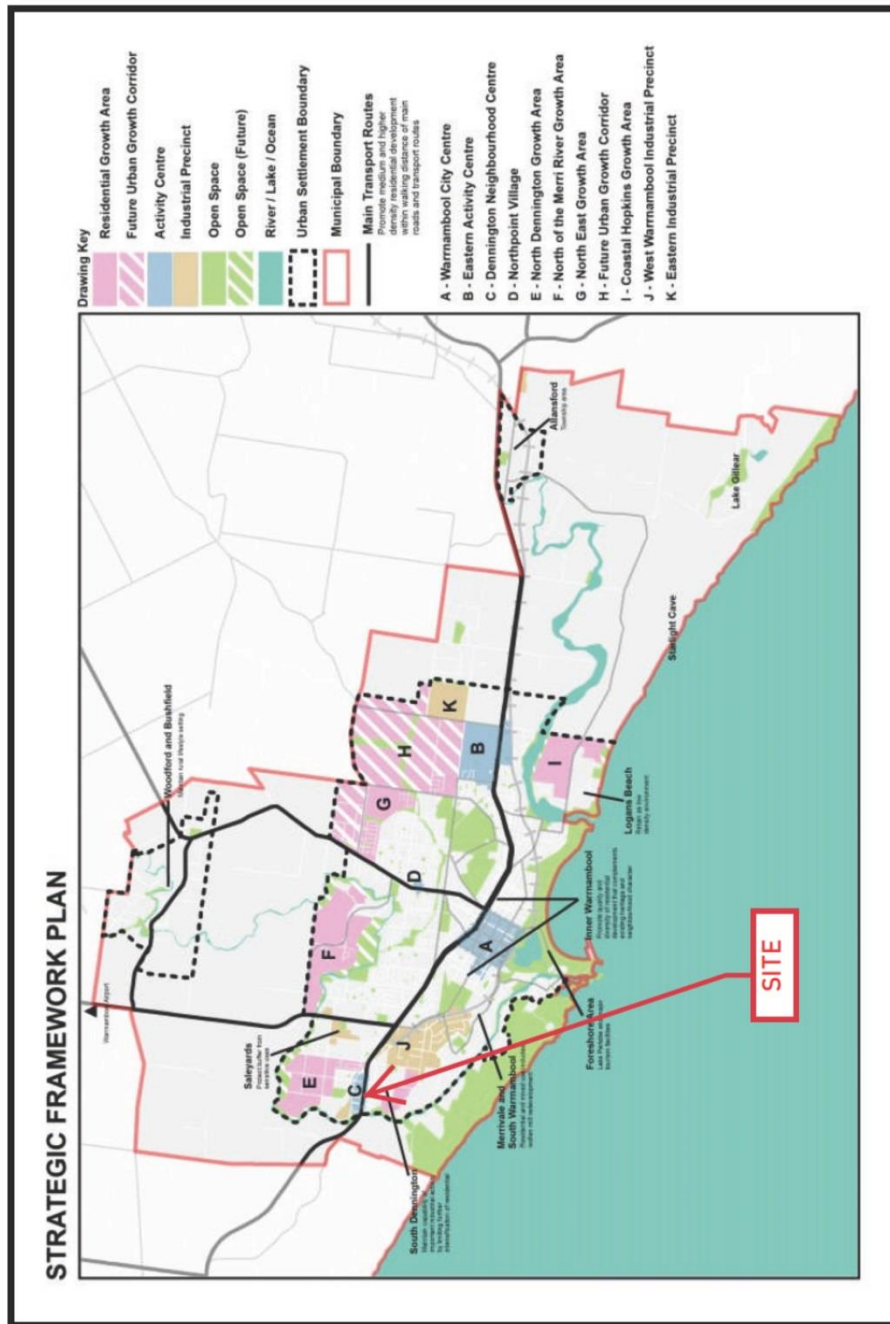


Figure 2: Strategic Framework Plan (Clause 21)





1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

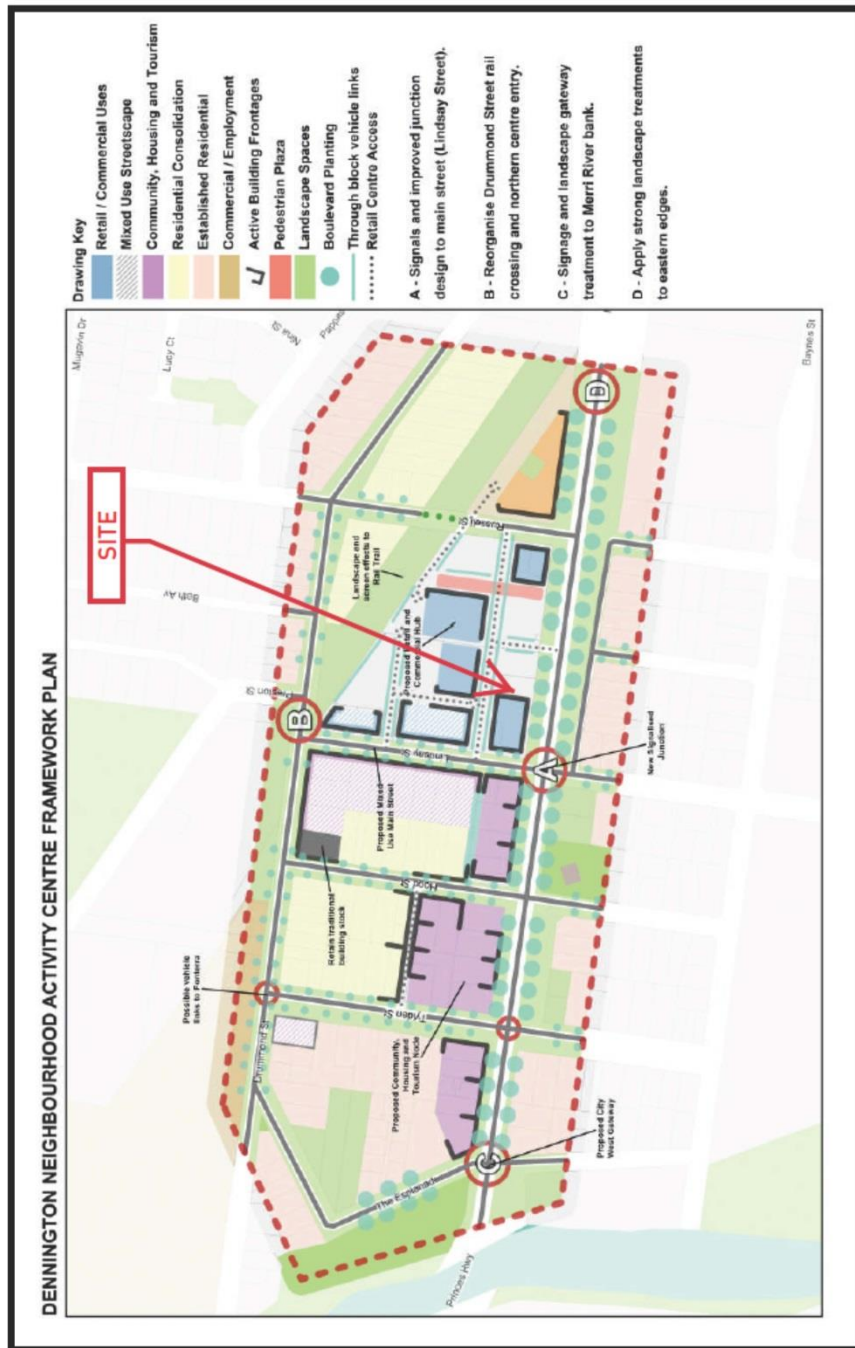


Figure 3: Dennington Activity Centre Framework Plan (Clause 21.11)



1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

## 4 PLANNING PROVISIONS

28 The Site is subject to the following zone and overlay provisions of the Warrnambool Planning Scheme:

- *Commercial 1 Zone* (Figure 15);
- *Development Plan Overlay – Schedule 9* (Figure 16); and
- *Environmental Audit Overlay* (Figure 17).

### 4.1 Commercial 1 Zone

29 The purpose of the *Commercial 1 Zone* (C1Z) is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To create vibrant mixed use commercial centres for retail, office, business, entertainment and community uses.*
- *To provide for residential uses at densities complementary to the role and scale of the commercial centre.*

30 Within the C1Z:

- A *Service station* is an innominate discretionary use (Clause 34.01-1).
- Use of land must not detrimentally affect the amenity of the neighbourhood, including through the use of:
  - Transport of materials, goods or commodities to or from the land.
  - Appearance of any building, works or materials.
  - Emission of noise artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, wastewater, waste products, grit or oil (Clause 34.01-2).





1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

- A permit is required to construct a building or construct or carry out works [Clause 34.01-4].

31 Raglan Parade is zoned *Road Zone – Category 1* (RDZ1).

32 Abutting land to the south and west, outside the C1Z and RDZ1, is subject to the *General Residential Zone* (GRZ), where a diversity of housing types and moderate housing growth in locations offering good access to services and transport is to be expected.

#### 4.2 Development Plan Overlay

33 The purpose of the *Development Plan Overlay* (DPO) is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To identify areas which require the form and conditions of future use and development to be shown on a development plan before a permit can be granted.*
- *To exempt an application from notice and review if it is generally in accordance with a development plan.*

34 Schedule 9 to the DPO (DP09) applies to the *Dennington Neighbourhood Activity Centre – Retail Precinct* and gives effect to the *Dennington Neighbourhood Activity Centre Structure Plan (2009)*.

35 DP09 details the requirements for a development plan to be prepared to satisfy the overlay provisions.

36 DP09 provides that:

- A permit must not be granted to use or subdivide land, construct a building or construct or carry out works until a development plan has been prepared to the satisfaction of the responsible authority; and
- A permit granted must:



1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

- Be generally in accordance with the *Dennington Neighbourhood Activity Centre Structure Plan – Hansen, November 2009* (**Structure Plan**); and
- Include any conditions or requirement specified in the schedule to the Clause [Schedule 9].

### 4.3 Environmental Audit Overlay

37 The purpose of the *Environmental Audit Overlay* [EAO] is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To ensure that potentially contaminated land is suitable for a use which could be significantly adversely affected by contamination.*

38 The requirements of Clause 45.03-1 do not apply to the proposed use of the Site for a service station which would be facilitated by approval of the development plan proposal.





1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

---

## 5 COMPLIANCE WITH DENNINGTON NEIGHBOURHOOD STRUCTURE PLAN

- 39 The proposed Development Plan accords with the Dennington Neighbourhood Structure Plan and is an appropriate and positive response for the future use and development of the Site.
- 40 The Development Plan provides for the service station:
- Within the Structure Plan's 'retail and commercial hub';
  - Consistent with the commercial identification of the Site and expectation for 'retail / commercial' activity along Raglan Parade;
  - To integrate with established and proposed commercial use and development within the activity centre, including the future use and development of neighbouring land at the corner of Lindsay Street;
  - To enhance the opportunity for an active street frontage and integration of the Site with Raglan Parade and a future east-west road connection to the immediate north of the Site;
  - To primarily address Raglan Parade and not impact or detract from a pedestrian plaza or mixed-use spine along Lindsay Street to the east and west of the Site; and
  - To enhance the service and convenience offer of the neighbourhood activity centre, consistent with its intended role and function to provide for, "the local convenience and weekly shopping needs of Dennington / West Warrnambool."



1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

## 6 DEVELOPMENT PLAN REQUIREMENTS

- 41 DP09 requires a Development Plan prepared in accordance with the Structure Plan and addressing the following matters.

### 6.1 Built form guidelines

- 42 Built Form Design Guidelines that provide generally for:

- A low-scale unobtrusive built form, by limiting building height and avoiding large expanses of flat roofs;
- Legible and active street frontages; and
- A palette of materials and finishes to complement and enhances the natural environmental setting and which avoid large expanses of brightly coloured walls.

#### 6.1.1 Response

- 43 The Development Plan is a positive response to the DP09 Built Form Design Guidelines provisions.

- 44 The Development Plan provides for:

- A low rise, single storey, built form that will not adversely impact or obstruct view lines to surrounding elevated topography;
- A contemporary built form that responds to the scale and form of existing and emerging development within the activity centre, and which would complement and enhance the existing and future use and development of neighbouring sites, also with frontage to Raglan Parade;
- A site layout that enables a functional and efficient design response for the proposed service station, including integrated and active frontages to Raglan Parade, the future east-west road connection (to the north) and the use and development of adjoining land, including the future use and development of the undeveloped 'pad site' to the immediate west;



1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

- Development which enables site services, including refuse disposal, air conditioning and refrigeration condensers, to be discretely located and concealed toward the rear of the Site; and
- Articulated facade treatments, including a palate of colours and finishes widely relied upon by Woolworths to complement the design response and the emerging retail / commercial hub.

## 6.2 Signage Plan

45 A Signage Plan that provides generally for:

- Signage that is respectful to the neighbourhood setting, and preferably 'low-scale' and integrated; and
- Limited illuminated signage along the highway.

### 6.2.1 Response

46 The Development Plan is a positive response to the DPO9 Signage Plan provisions.

47 The Development Plan provides for:

- Business identification signage appropriate to the Site and activity centre context, where there is an established expectation for business identification and advertising signage.
- An integrated signage scheme, including canopy and fascia mounted signage as well as a business identification signage / pylon sign [approximately 8.7 metres high] within the setback to Raglan Parade to complement the built form outcome and palate of materials and finishes anticipated by the Development Plan.
- Illumination of signage appropriate to the Site and main road context, and limited to that necessary and appropriate for a service station use to alert and inform drivers about the upcoming facility and pricing information.
- The location of signage, particularly an internally illuminated pylon sign, away from the intersection of Lindsay Street and Raglan Parade.





1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

### 6.3 Traffic Management and Car Parking Plan

48 A Traffic Management and Car Parking Plan that provides for/details:

- An integrated vehicle and pedestrian movement network, including traffic and pedestrian connection between Russell and Lindsay Streets;
- The layout, provision and access to car parking;
- The integrated layout and connection of bicycle, vehicle and pedestrian access ways;
- Traffic management works; and
- Site access and egress arrangements.

#### 6.3.1 Response

49 The Development Plan is a positive response to the DPO9 Traffic Management and Car Parking Plan provisions.

50 The Development Plan will facilitate future use and development which will enhance the access and movement network for the existing Dennington NAC.

51 The Development Plan provides for:

- Primary access and egress for the Site and proposed service station from Raglan Parade, thereby negating the need to direct traffic through the adjoining car parking and/or adjoining sites with the potential for land use and movement conflicts.
- Secondary access to the Site from the rear (future), including provision for a east-west road connection to enable internal circulation from the activity centre and convenient access to the proposed service station facilities.
- Use and development of a service station separated and removed from the activity centres' planned primary pedestrian network, thereby limiting adverse impacts on pedestrian experience and movement.



1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

- Parking provision (a total of 8 spaces) to adequately address the car parking requirements of the proposed service station use and development and the relevant provisions and expectations of the Warrnambool Planning Scheme.
- The provision of staff and disabled parking bays to satisfy the requirements of the proposed service station.
- The provision of loading bay facilities, conveniently located to the north of the proposed kiosk and adjacent to a proposed bin storage area.
- A site layout and design response to enable the delivery of fuel to occur wholly within the Site.
- A site layout and design response to enable all vehicles (including large fuel delivery trucks) to exit the Site in a forward direction.
- Details of proposed road works, including crossover widths and treatments to the satisfaction of VicRoads.

## 6.4 A Landscape Plan

52 A Landscape Plan that generally provides for/details:

- Furniture, lighting and the location and details of all proposed landscaping, including plants and surface materials.

### 6.4.1 Response

53 The Development Plan is a positive response to the DPO9 Landscape Plan provisions.

54 The Development Plan provides for landscape treatments, generally around the periphery of the Site and proposed buildings, consistent with the previously approved species list for the supermarket site (also within the activity centre) to ensure landscaping continuity throughout the activity centre.

55 The proposed planting schedule will be selected from species including the following.



1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

#### Evergreen Feature Trees

- ACACIA melanoxylon [Blackwood] (H: 10-18m x W: 8m;
- ANGOPHORA costata [Smooth-barked Apple] H: 10-18m x W: 8m;  
and
- EUCALYPTUS leucoxydon (Yellow Gum) H: 10-12m x W: 6-8m.

#### Small Shrubs, Tufted Plants & Ground Covers

- CALLISTEMON 'Captain Cook';
- CORREA alba [White Correa];
- CORREA pulchella [Australia Fuschia];
- CROWEA exalata [Crowea];
- GRENVILLEA rosmarinifolia [Rosemary Grevillea];
- HARDENBERGIA violacea [Purple Coral Pea];
- LEUCOPHYTA brownie [Cushion Bush];
- DIANELLA tasmanica [Tasman Flax Lilly];
- LOMANDRA longifolia [Spiny-headed Mat-rush];
- KENNEDIA prostrata [Running Postman]; and
- MYOPORUM parvifolia [Creeping Boobialla].





1332 Raglan Parade |  
Development Plan Report |  
Proposed Service Station |

---

## 7 CONCLUSION

- 56 By endorsing the submitted Development Plan the role and value of the Neighbourhood Activity Centre to the community and visitors to the region will be enhanced.
- 57 The purchase of fuel in conjunction with daily and weekly convenience needs from facilities within the same centre is a desired outcome of activity centre policy.
- 58 In this Development Plan the potential conflicts of traffic and pedestrian movement have been resolved by the location of the service station relative to the commercial uses and access directly to and from the highway.

# Traffic and Transport Assessment

Woolworths Petrol Dennington

V161956



Prepared for  
Woolworths Limited

19 December 2016



## Document Information

Prepared for	Woolworths Limited
Project Name	Woolworths Petrol Dennington
File Reference	V161956REP001F02.docx
Job Reference	V161956
Date	19 December 2016

## Contact Information

**Cardno Victoria Pty Ltd**  
**Trading as Cardno**  
ABN 47 106 610 913

Level 4  
501 Swanston Street  
Melbourne  
Victoria 3000 Australia

Telephone: (03) 8415 7777  
Facsimile: (03) 8415 7788  
International: +61 3 8415 7777

victoria@cardno.com.au  
www.cardno.com

## Document Control

Version	Date	Author	Author Initials	Reviewer	Reviewer Initials
F02	19/12/16	Manuel Vezzano	MV	Ernie Mensforth	

© Cardno. Copyright in the whole and every part of this document belongs to Cardno and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form or in or on any media to any person other than by agreement with Cardno.

This document is produced by Cardno solely for the benefit and use by the client in accordance with the terms of the engagement. Cardno does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by any third party on the content of this document.





## Table of Contents

<b>1</b>	<b>Introduction</b>	<b>1</b>
<b>2</b>	<b>Background and Existing Conditions</b>	<b>2</b>
2.1	Location and Land Use	2
2.2	Planning Zones	4
2.3	Road Network	5
2.3.1	Raglan Parade (Princes Highway)	5
2.3.2	Lindsay Street	6
<b>3</b>	<b>Proposed Development</b>	<b>7</b>
3.1	General	7
3.2	Access Provisions	7
3.3	Refuelling / Loading Provisions	7
<b>4</b>	<b>Car Parking Considerations</b>	<b>8</b>
4.1	Statutory Car Parking Requirements – Clause 52.06	8
4.2	Anticipated Car Parking Demand	8
4.3	Adequacy of Proposed Car Parking Supply	8
<b>5</b>	<b>Traffic Considerations</b>	<b>9</b>
5.1	Operating Characteristics of Woolworths Petrol Facilities	9
5.2	Case Study Data	9
5.3	Traffic Generation & Distribution	9
5.4	Traffic Impacts	11
5.5	Vehicle Queuing	11
<b>6</b>	<b>Conclusions</b>	<b>12</b>

## Appendices

**Appendix A** ViCRoads 'in principal' approval of site access

**Appendix B** Swept Path Plots

## Tables

Table 5-1	Breakdown of Anticipated Patronage	10
-----------	------------------------------------	----

## Figures

Figure 2-1	Site Location	2
Figure 2-2	Aerial Photography (Dated Wednesday 30 <sup>th</sup> December, 2015)	3
Figure 2-3	Planning Scheme Zones	4
Figure 2-4	Raglan Parade, Looking East Beyond the Subject Site	5
Figure 2-5	Raglan Parade, Looking West Beyond the Subject Site	5
Figure 2-6	Lindsay Street, Looking North Beyond the Subject Site	6
Figure 2-7	Lindsay Street, Looking South Beyond the Subject Site	6
Figure 5-1	Anticipated Traffic Distribution to/from the Subject Site	10



## 1 Introduction

---

Cardno was retained by Woolworths Limited to undertake a traffic and transport assessment of the Woolworths Petrol outlet proposed at 1332 Raglan Parade, Dennington.

In the course of preparing this assessment, the subject site and its environs have been inspected and plans of the development (Project No. V302, Drawing Nos. TP01 Rev C and TP02 Rev B; dated 25/10/2016) have been examined.



## 2 Background and Existing Conditions

### 2.1 Location and Land Use

The subject site is located on the north side of Raglan Parade (aka Princes Hwy) and situated at a mid-block location slightly east of the signalised intersection of Lindsay Street and Raglan Parade, Dennington, as shown in Figure 2-1.

The site has an area in the order of 2,600 square metres and frontages of approximately 75 to Raglan Parade.

Existing development nearby includes a 'Supa Ware Distributors' tenancy, an existing Fuel Depot to the north of the site and a medical centre and chemist outlet store to the east.

Other land uses surrounding the site are generally residential in nature. The Woolworths Dennington supermarket and a number of smaller eateries and speciality stores with associated on-site car parking, is situated immediately east of the subject site.

Warrnambool town centre is located approximately 6 kilometres east of the site.

**Figure 2-1 Site Location**

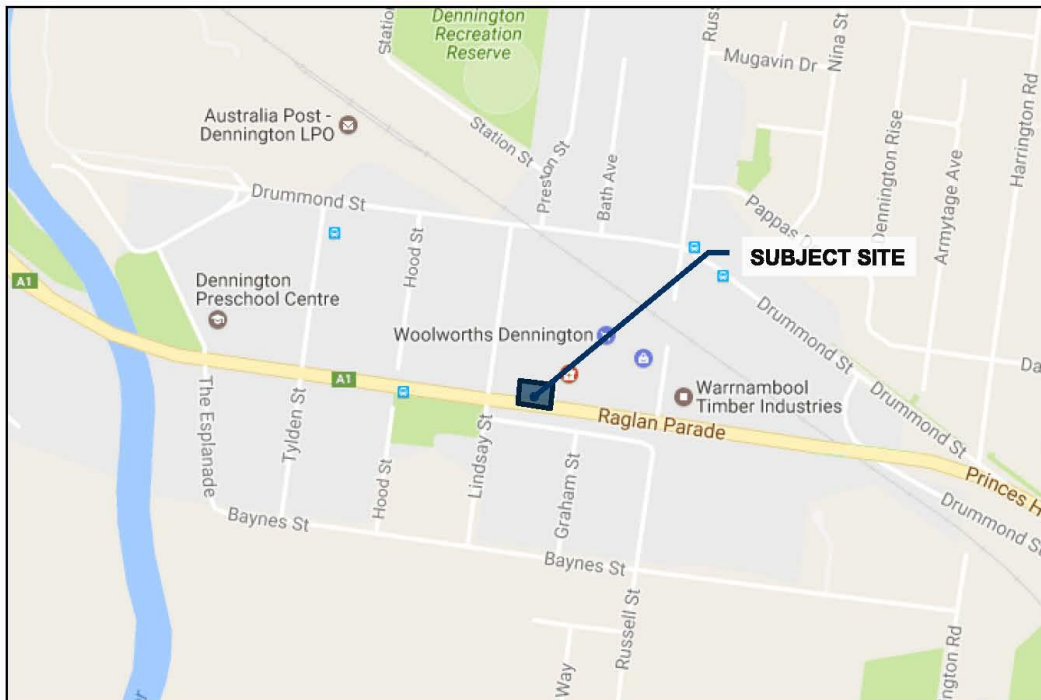


Figure 2-2 shows an aerial photograph of the subject site (dated 30<sup>th</sup> December 2015), showing the subject site and existing development immediately east thereof including the adjacent Medical Centre and the Dennington Woolworths Supermarket.





Figure 2-2 Aerial Photography (Dated Wednesday 30<sup>th</sup> December, 2015)



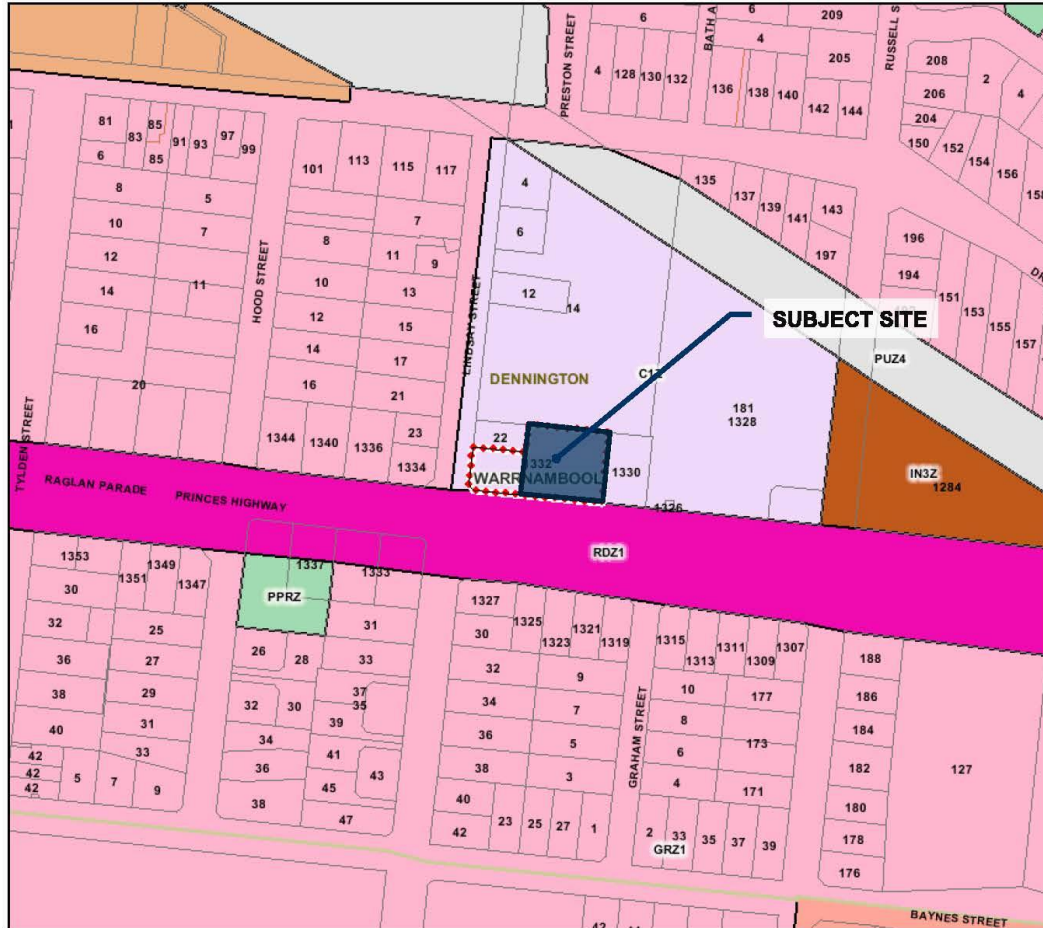


### 2.2 Planning Zones

Figure 2-3 shows the location of the site and the Warrnambool Planning Scheme Zones.

Figure 2-3 demonstrates that the subject site is located within the Commercial 1 Zone (C1Z). The permitted uses for the C1Z are listed in Clause 34.01 of the Warrnambool Planning Scheme.

**Figure 2-3 Planning Scheme Zones**







## 2.3 Road Network

### 2.3.1 Raglan Parade (Princes Highway)

Raglan Parade (Princes Highway) is a declared arterial road that extends from Sydney to Port Augusta, close to the coastline through the states of New South Wales, Victoria and South Australia.

In the vicinity of the site, Raglan Parade typically provides a single trafficable lane for both eastbound and westbound traffic flows within a single carriageway, with a dedicated bicycle lane as shown in Figure 2-4 and with localised widening to provide auxiliary lanes for turning traffic as shown in Figure 2-5. Footpaths are provided along both sides of Raglan Parade in the vicinity of the subject site.

"No Stopping" restrictions apply to kerbside parking along both sides of the carriageway of Raglan Parade. A posted speed limit of 40 kilometres per hour applies to Raglan Parade on school days between 8:00am – 9:30am and 2:30pm – 4:00pm, with a speed limit of 70 kilometres per hour applying at all other times.

**Figure 2-4 Raglan Parade, Looking East Beyond the Subject Site**



**Figure 2-5 Raglan Parade, Looking West Beyond the Subject Site**







### 2.3.2 Lindsay Street

Lindsay Street is a local road generally orientated north-south, connecting its intersection with Drummond Street to the north of the site and Baynes Street further south of the site.

Within the immediate vicinity of the subject site, Lindsay Street provides a two-lane, two-way carriageway as shown in Figure 2-6 and Figure 2-7. Unrestricted kerbside parallel parking is permitted on both sides of Lindsay Street. A default speed limit of 50 kilometres per hour applies to Lindsay Street across the site frontage. Traffic signals exist at the Raglan Parade / Lindsay Street intersection.

A concrete footpath is provided along the west side only of Lindsay Street.

**Figure 2-6 Lindsay Street, Looking North Beyond the Subject Site**



**Figure 2-7 Lindsay Street, Looking South Beyond the Subject Site**





## 3 Proposed Development

---

### 3.1 General

It is proposed to construct a Woolworths Petrol outlet with four (4) petrol dispensers and a kiosk / pay point building with an approximate floor area of 120sqm. The site of the proposed development has a total site area of 1,820sqm. A limited range of convenience goods would be offered for sale from the kiosk / pay point.

A total of eight (8) on-site parking spaces are proposed, including one (1) for disabled parking and one (1) designated for the use of staff. An additional space, within the northern corner of the subject site, is designated as a loading bay. A parking space located adjacent to the air and water facilities is expected to be used primarily by customers using those facilities.

The four (4) double-sided petrol dispensers are proposed in a 'starter gate' configuration. This pump layout will allow up to eight (8) vehicles to access the fuel dispensers and refuel concurrently, with additional vehicles able to queue within the site, behind those in the process of refuelling.

### 3.2 Access Provisions

The proposed site plan shows that the site's existing vehicle crossover to Raglan Parade will be reconfigured to allow for egress movements from the site. A new crossover to Raglan Parade positioned approximately 24 metres to the west of the existing crossover will facilitate left-turn ingress movements.

It is further proposed to introduce an 'internal' driveway link between the car park of the adjacent Woolworths Dennington Supermarket site and the site of the proposed Woolworths Petrol outlet, with this one-way driveway link to run along the northern boundary of the subject site. That proposed driveway link will allow supermarket patrons and others who utilise the adjacent supermarket car park to access the Woolworths Petrol outlet without having, first, to exit back onto Raglan Parade.

These access provisions have been discussed with and approved in principle by VicRoads – South Western Region with copies of the relevant email correspondence (dated 13 September 2016) and plan (TRG Project no. V302, Drawing No. SK07.1) included in Appendix A of this report.

### 3.3 Refuelling / Loading Provisions

The loading bay located north of the kiosk area will be used by delivery and refuse collection vehicles when servicing the site.

Fuel deliveries will be made using vehicles as large as 19-metre semi-trailers, which will enter the site via a left turn from Raglan Parade (Princes Highway) utilising the western crossover. They will leave the site via the eastern crossover and a left turn back onto Raglan Parade, part way along the existing left-turn deceleration lane on the approach to the Woolworths Dennington Supermarket site.

The proposed petrol fill points are located close to the centre of the site, which will allow patrons to access all but one of the eight proposed refuelling points/bowsers while fuel deliveries are completed.

A vehicle swept path plot for a 19-metre semi-trailer following this delivery path (Cardno sketch plan V161956-TR-SK0001 rev 1) is attached as Appendix B of this report and confirms the suitability of the proposed site layout to accommodate the required delivery vehicle movements.



## 4 Car Parking Considerations

---

### 4.1 Statutory Car Parking Requirements – Clause 52.06

Clause 52.06 of the Warrnambool Planning Scheme specifies a car parking requirement of 10 car spaces for a Convenience Shop with a leasable floor area that exceeds 80sqm.

Consequently, the proposed development with a kiosk / pay point of 120sqm floor area attracts a parking requirement for 10 car parking spaces.

### 4.2 Anticipated Car Parking Demand

Woolworths Petrol outlets typically offer a limited range of convenience goods at the kiosk / pay point to the extent that few motorists are likely to be attracted to the site for convenience goods alone.

The proposed development therefore functions primarily as a petrol filling station rather than a convenience store. The majority of the anticipated patronage will be that of motorists purchasing fuel. These patrons typically proceed to the kiosk to pay for the fuel they purchase without moving their vehicles from the position occupied during refuelling, and therefore do not require separate parking spaces.

The only regular parking demand likely to be generated at the site is that of the single employee who operates the kiosk, and possibly the parking of a second employee during the changeover of shifts.

### 4.3 Adequacy of Proposed Car Parking Supply

The proposed on-site car parking supply includes a total of eight (8) spaces away from the refuelling area, including one (1) for disabled parking (in accordance with AS2890.6) and one (1) designated for the use of staff. An additional space is designated as a loading bay.

Based on the preceding the proposed parking supply will be more than sufficient to meet all parking demands likely to be generated at the site including that of the kiosk / pay point staff, any patrons who either move their cars after refuelling and any patrons who attend the site specifically for convenience goods purchases.





## 5 Traffic Considerations

### 5.1 Operating Characteristics of Woolworths Petrol Facilities

Woolworths Petrol outlets have been established at numerous sites, both in Victoria and in other States. Patronage of the outlets is targeted at customers of Woolworths supermarkets with sales receipts for purchases at those stores including 'vouchers' which can be used to purchase fuel at a discounted rate. These days the vouchers are stored electronically on a 'loyalty' card.

Woolworths Petrol outlets are often located within or adjacent to the car park servicing a nearby Woolworths supermarket, which allows customers to take the opportunity to purchase fuel as part of their trip to the supermarket, thereby reducing the need for a separate or longer journey to purchase petrol. This is the case in Dennington where the proposed petrol facilities will be located on a development site with a direct 'internal driveway link to the site from the adjacent car park of the Woolworths Dennington Supermarket.

Interview surveys of customers show that a significant proportion of customers purchase fuel as part of their trip to the supermarket either after shopping, utilising the 'voucher' they have just received, or upon their next journey to the site, using a 'voucher' previously credited to their loyalty card during a previous visit.

Customers who do not visit the supermarket during their trip to purchase fuel generate the balance of trade, with most using 'vouchers' previously obtained and purchase fuel, when convenient.

As at 'traditional' petrol sales sites, a significant proportion of this balance of trade for Woolworths Petrol sites is generated from traffic that is passing the petrol sales site as part of a trip made primarily for an unrelated primary purpose.

### 5.2 Case Study Data

The increases in traffic activity likely near the subject site as a result of the proposed development are appropriately estimated by referencing the data from case studies at existing similar sized Woolworths Petrol outlets.

Cardno commissioned traffic volume counts to be undertaken at the Woolworths Petrol Station located at 995 Thompson Road, Lyndhurst on Thursday 1<sup>st</sup> August 2013 between 7:00am and 7:00pm. This case study site is similar in size to the subject site, having the capacity for 8 vehicles to refuel concurrently.

The surveys identified a peak hour volume of 159 vehicle movements (82 inbound and 77 outbound) during any one hour over the extent of the survey period which occurred between 4:45pm and 5:45pm. Based on the number of pumps available, the petrol station generated traffic at a rate of 19.9 (~20) vehicle movements per pump.

It should however be noted that the traffic volumes that used Thompsons Road Lyndhurst at the time of the case study surveys, were notably higher than those on Raglan Parade past the subject site. Therefore, the traffic generation rate determined by the referenced case study provides a conservatively high estimate of the traffic volumes likely to be generated to and from the subject Woolworths Petrol outlet on Raglan Parade Dennington.

### 5.3 Traffic Generation & Distribution

A traffic generation rate of 20 vehicle movements per pump provides a robust assessment of the traffic impacts of the proposed development. Application of this rate to the proposed eight (8) refuelling points proposed, equates to a total of 160 vehicle movements during the peak hour.

These generated traffic volumes will be split, evenly, between inbound and outbound vehicle movements (i.e. 80 inbound movements and 80 outbound movements).

As at other Woolworths Petro outlets, it can be expected that 10% of customers will make a trip to the Woolworths Petrol site specifically to purchase fuel, 40% of customers will purchase fuel after visiting the abutting Woolworths supermarket, and 10% will purchase fuel before shopping. The balance of 40% of patronage will be generated by passing trade or local customers who purchase fuel when required, possibly using a discount 'voucher'/credit previously obtained.



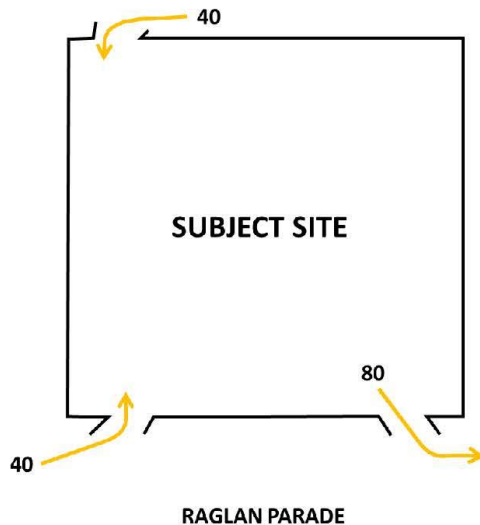
All vehicles will depart the site to the east along Raglan Parade.

A summary of the traffic likely to be generated by the proposed development is summarised in Table 5-1 and shown in Figure 5.1.

**Table 5-1 Breakdown of Anticipated Patronage**

	Proportion	Vehicle Movements
Customers specifically travelling to proposed outlet to purchase fuel	10%	8 inbound / 8 outbound
Customers purchasing fuel at the completion of their trip to Woolworths	40%	32 inbound / 32 outbound
Customers purchasing fuel before their trip to Woolworths Supermarket	10%	8 inbound / 8 outbound
Passing Trade	40%	32 inbound / 32 outbound
<b>Total</b>		<b>80inbound / 80 outbound</b>

**Figure 5-1 Anticipated Traffic Distribution to/from the Subject Site**



Notably of the 160 vehicle movements expected to be made to and from the proposed Woolworths Petrol site, 144 vehicle movements can be attributed to either customers attracted from passing trade or customers who utilise the petrol station in conjunction with the beginning or end of their shopping trip to the abutting Woolworths supermarket. Consequently, these customers would likely be using the road network surrounding the subject site, regardless of whether the proposed petrol outlet is established at the subject site, or not.

Accordingly, the proposed Woolworths Petrol Outlet will generate a total of approximately 16 new / additional vehicle movements (8 inbound and 8 outbound) into and from the vicinity of the subject site at times of peak patronage. This equates to, on average, one (1) additional vehicle movement on Raglan Parade, every 4 minutes, during the time when the site is subject to peak patronage.



#### **5.4 Traffic Impacts**

As discussed in section 5.3 of this report, a conservatively estimated maximum of 80 vehicles per hour will exit the site to the eastbound lanes of Raglan Parade. This equates to an average of up to one egress movement each 45 seconds. These left turns will readily be accommodated onto Raglan Parade with suitable gaps in the eastbound flows to accommodate these egress movements, guaranteed by the operations of the existing traffic signals at the Raglan Parade / Lindsay Street intersection.

At the wider level, the proposed development will generate up to 16 additional vehicle movements on Raglan Parade, close to the Woolworths Dennington site during the hour of peak patronage. All other movements to and from the Woolworths Petrol site are expected to be those of motorists already using the roads in the vicinity of the site for a potentially unrelated primary purpose, such as attending the adjacent shopping centre.

It is therefore concluded that all traffic activity generated by the proposed development will be accommodated by Raglan Parade and the wider road network, with minimal impacts.

#### **5.5 Vehicle Queuing**

The layout of the proposed Woolworths Petrol outlet allows eight (8) vehicles to refuel simultaneously. The layout also allows some queuing of vehicles behind those in the process of refuelling. If it is assumed that the average motorist takes approximately 4 minutes to refuel and pay for his/her purchase, up to 120 motorists will be able to refuel during a single hour at the proposed development. This refuelling capacity clearly exceeds the anticipated peak patronage of 80 customers per hour.

Consequently, it is concluded that any vehicle queuing that may occur, even with 'bunching' of patron arrivals during the hour of peak patronage, will at all times, be contained within the site boundaries of the Woolworths Petrol site and will dissipate quickly.





## 6 Conclusions

---

Based on the foregoing analysis it is concluded that:

- > It is proposed to develop the site at 1332 Ragland Parade, Dennington as a Woolworths Petrol outlet with 4 petrol dispensers and a kiosk / pay point building with a floor area of approximately 120sqm.
- > The parking demands typically generated will be negligible other than those generated by the kiosk / pay station staff and will not exceed the 8 car parking spaces proposed within the proposed development.
- > Fuel deliveries to the site will be infrequent and can be completed with minimal impact on the capacity for patrons to access the fuel dispensers and to refuel.
- > The proposed Woolworths Petrol site layout provides for up to eight (8) vehicles to refuel concurrently which is more than sufficient to accommodate the anticipated peak patronage of 80 vehicles per hour and will ensure that any and all vehicle queuing to access the fuel dispensers within the site, is contained entirely within the site boundaries.
- > The additional traffic likely to be generated by the proposal is unlikely to have any significant impacts on traffic operations of the existing road network near the subject site.

Woolworths Petrol Dennington

APPENDIX

A

VICROADS 'IN PRINCIPAL' APPROVAL  
OF SITE ACCESS

-----Original Message-----

From: [Peter.Gstrein@roads.vic.gov.au](mailto:Peter.Gstrein@roads.vic.gov.au) [mailto:[Peter.Gstrein@roads.vic.gov.au](mailto:Peter.Gstrein@roads.vic.gov.au)]

Sent: Tuesday, September 13, 2016 1:35 PM

To: Andrew Liddell

Cc: 'David Liddell'

Subject: RE: Plans for Possible fuel site in Dennington

Hi Andrew.

VicRoads is pleased to provide in principle approval of the plans below. As depicted in those plans, access to the proposed facility from Raglan Parade will only be left in/left out.

Regards,

Peter Gstrein  
Senior Statutory Planning Officer  
VicRoads - South Western Region  
29 Jamieson Street (PO Box 21), Warrnambool, 3280

T 5561 9214  
M 0408 317 254  
F 5562 9827

This email has been scanned by BullGuard antivirus protection.  
For more info visit [www.bullguard.com](http://www.bullguard.com)

CAUTION: This email, links and files included in its transmission by Woolworths Limited group of companies (Woolworths Group) are solely intended for the use of the address information that is confidential and privileged. If you receive this email in error, please delete it without reading or copying the contents contained within. Woolworths Group does not accept any liability for the views expressed within or the consequences of any computer malware that may be transmitted.



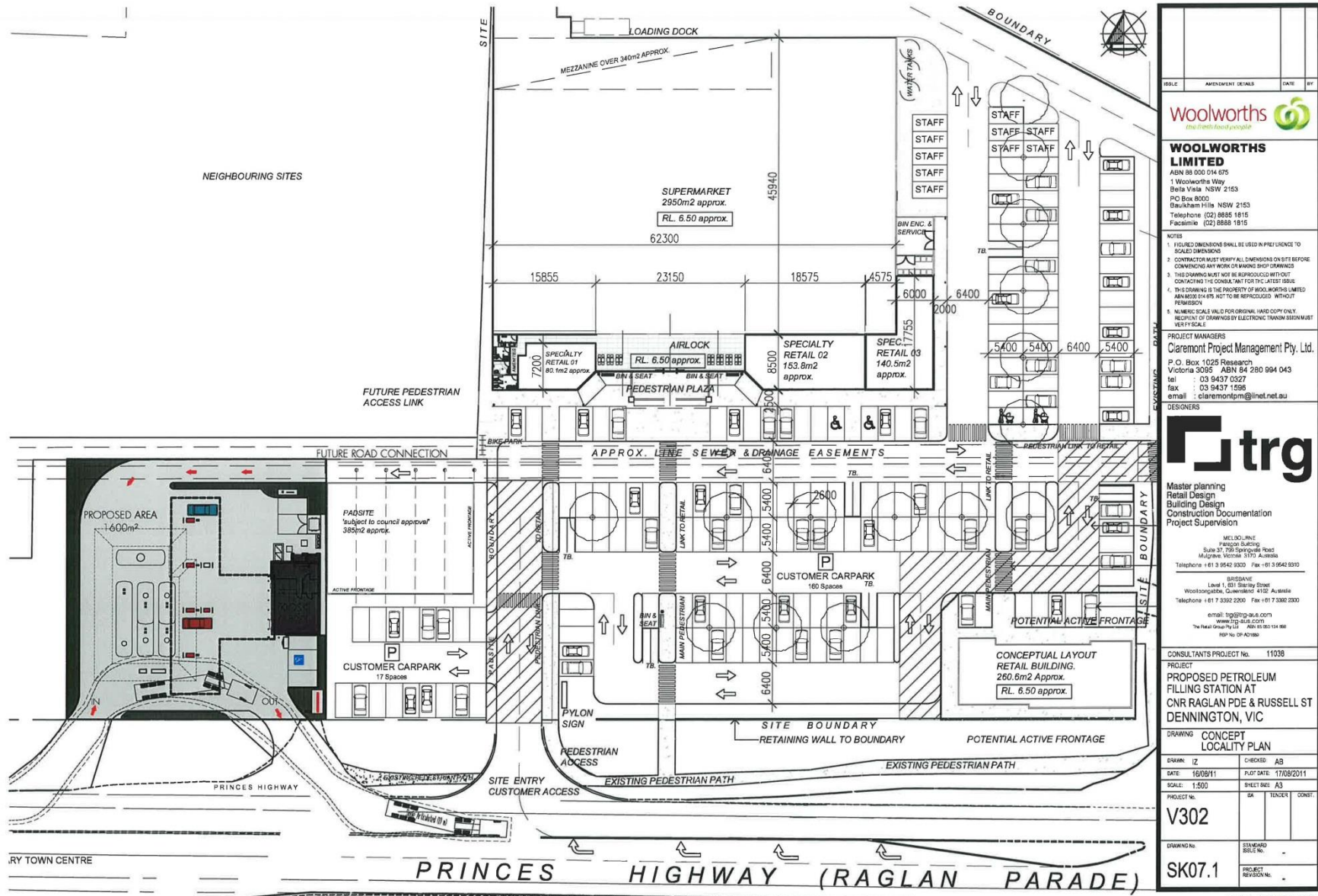


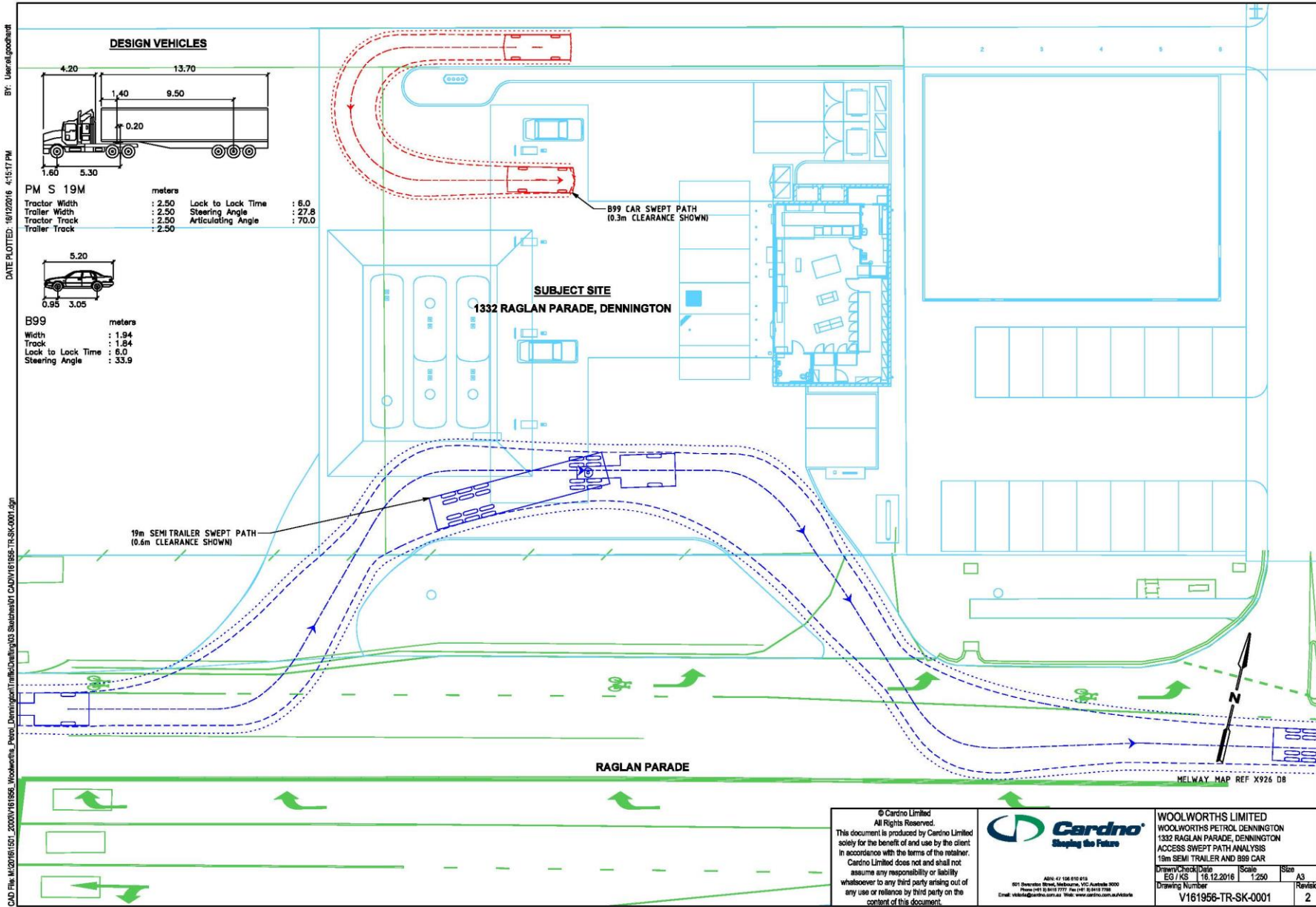
TABLE	AMENDMENT DETAILS	DATE	BY
<b>WOOLWORTHS LIMITED</b> ABN 88 000 014 075 1 Woolworths Way Bella Vista NSW 2153 PO Box 8000 Baulkham Hills NSW 2153 Telephone (02) 8886 1815 Facsimile (02) 8886 1815			
<b>NOTES</b> 1. FIGURED DIMENSIONS SHALL BE USED IN PREFERENCE TO SCALED DIMENSIONS 2. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS 3. THIS DRAWING MUST NOT BE REPRODUCED WITHOUT CONTACTING THE CONSULTANT FOR THE LATEST ISSUE 4. THIS DRAWING IS THE PROPERTY OF WOOLWORTHS LIMITED. ANY REUSE IN ANY FORM NOT TO BE REPRODUCED WITHOUT PERMISSION 5. NUMERIC SCALE VALID FOR ORIGINAL HARD COPY ONLY. RECEIPT OF DRAWINGS BY ELECTRONIC TRANSMISSION MUST VERIFY SCALE			
<b>PROJECT MANAGERS</b> Clarendon Project Management Pty. Ltd. P.O. Box 1025 Research Victoria 3095 ABN 84 280 994 043 Tel: 03 9437 0327 Fax: 03 9437 1598 email: clarendonpm@inet.net.au <b>DESIGNERS</b>			
<b>Master planning Retail Design Building Design Construction Documentation Project Supervision</b> MCLERO LINK FRONSON BUCKING Suite 37, 759 Springvale Road Mulgrave, Victoria 3170, Australia Telephone +61 3 9542 9300 Fax +61 3 9542 9310 BRISBANE Level 1, 201 Sturley Street Woolloongabba, Queensland 4102 Australia Telephone +61 7 3382 2200 Fax +61 7 3382 2200 email: trg@trg-pl.com www.trg-pl.com The Retail Group Pty Ltd. ABN 81 852 134 886 RFP No. DP ACT180			
CONSULTANTS PROJECT No. 11038 <b>PROJECT</b> <b>PROPOSED PETROLEUM FILLING STATION AT CNR RAGLAN PDE &amp; RUSSELL ST DENNINGTON, VIC</b>			
<b>DRAWING CONCEPT LOCALITY PLAN</b>			
DRAWN: Z	CHECKED: AB		
DATE: 16/08/11	PLUT DATE: 17/08/2011		
SCALE: 1:500	SHEET SIZE: A3		
PROJECT No:	SA	TENDER	CONST.
V302			
DRAWING No:	STANDARD		
SK07.1			
copyright - The Retail Group Pty Ltd			

Woolworths Petrol Dennington

APPENDIX

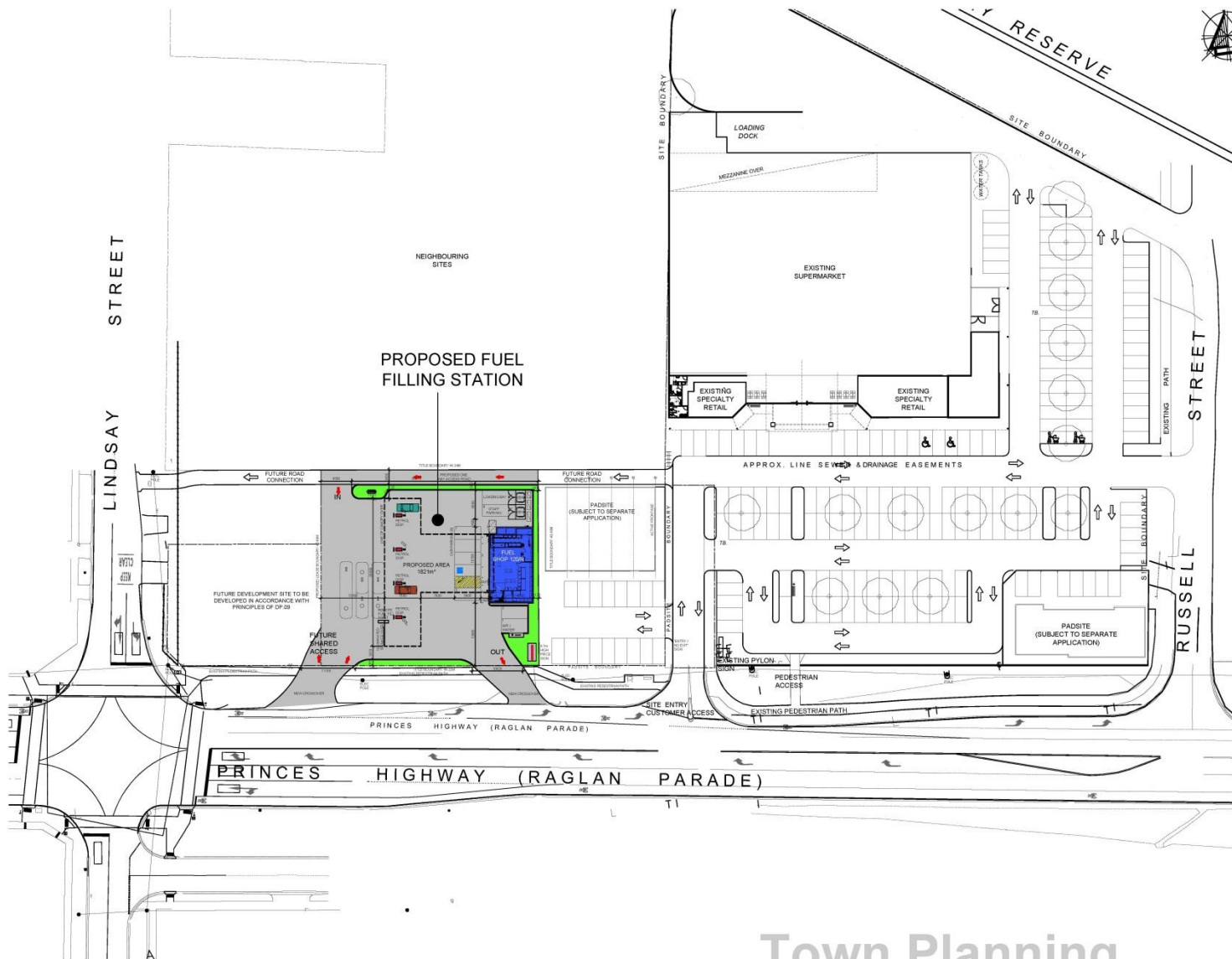
B

SWEPT PATH PLOTS



BY: user:allgood@cardno.com.au  
DATE PLOTTED: 16/12/2016 4:15:47 PM  
CAD File: M:\2016\1501\_2000\161956\_Woolworths Petrol Dennington\161956-TR-SK-0001.dgn





Town Planning  
Not for construction

ISSUE	AMENDMENT DETAILS	DATE	BY
D	EXISTING KERB AND FOOTPATH UPDATED	24.01.17	JS
C	SITE PLAN UPDATED TO SUIT TP01C	30.11.16	JS
B	SITE PLAN ADJUSTED	21.10.16	JS
A	SIGNING NOTES ADDED	27.08.16	AB
0	ISSUED FOR PLANNING APPROVAL	23.08.16	AB

**Woolworths**  
the fresh food people

**WOOLWORTHS LIMITED**  
ABN 88 000 014 875  
1 Woolworths Way  
Bella Vista NSW 2153  
PO Box 8000  
Baulkham Hills NSW 2153  
Telephone (02) 8885 1815  
Facsimile (02) 8888 1815

- NOTES**
1. FIGURED DIMENSIONS SHALL BE USED IN PREFERENCE TO SCALED DIMENSIONS
  2. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS
  3. THIS DRAWING MUST NOT BE REPRODUCED WITHOUT CONTACTING THE CONSULTANT FOR THE LATEST ISSUE
  4. THIS DRAWING IS THE PROPERTY OF WOOLWORTHS LIMITED AND MUST NOT BE REPRODUCED WITHOUT PERMISSION
  5. NUMERIC SCALE VALID FOR ORIGINAL HAND COPY ONLY. RECIPIENT OF DRAWINGS BY ELECTRONIC TRANSMISSION MUST VERIFY SCALE

Claremont Project Management Pty Ltd  
web: www.claremontpm.com  
email: cpm@claremontpm.com  
office: +61 (03) 9437 0327  
fax: +61 (03) 9437 1596  
PO Box 3025, Research Victoria 3095  
ABN: 52 282 954 083

**trg**  
BRISBANE + MELBOURNE

concept +  
design + interiors +  
project management

Level 1, 1336-1338 Maysen Road  
Meyers, Victoria 3144, Australia  
T: +61 3 9542 8000 F: +61 3 9542 8110  
www.trg.com.au  
The Retail Group Pty Ltd ABN 65 050 134 696  
RFP No. DP-ACH89

CONSULTANTS PROJECT No. 11038

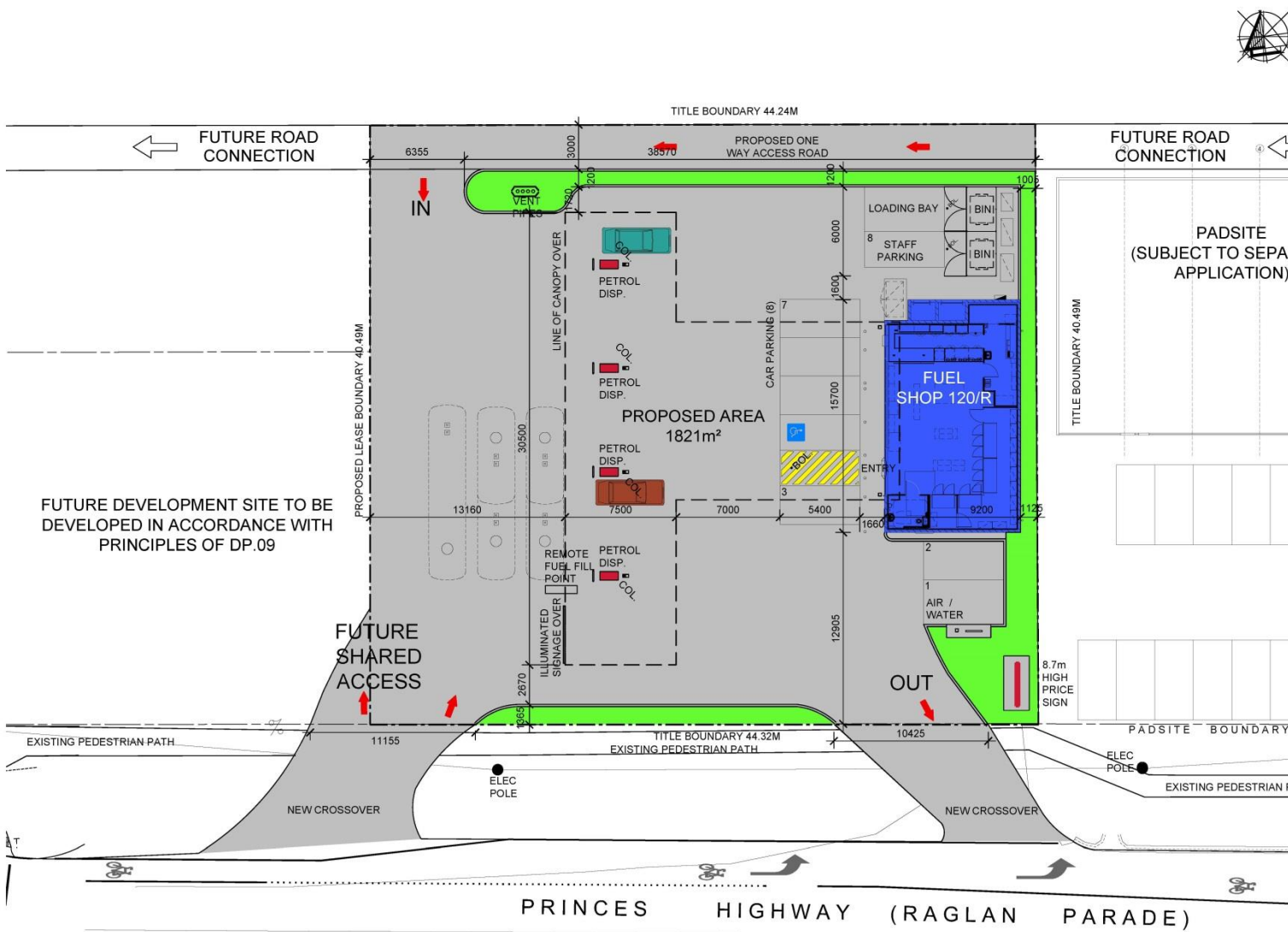
PROJECT  
PROPOSED PETROLEUM  
FILLING STATION AT  
1332 RAGLAN PARADE  
DENNINGTON, VIC

DRAWING DEVELOPMENT  
SITE PLAN

DRAWN: PW	CHECKED: AB
DATE: 23/07/12	PLOT DATE: 27/01/2017
SCALE: 1:750	SHEET SIZE: A3
PROJECT No. V302	BA TENDER CONST.

DRAWING No. TP01	STANDARD ISSUE No. -
	PROJECT REVISION No. D

copyright: The Retail Group Pty Ltd



ISSUE	AMENDMENT DETAILS	DATE	BY
E	SITE PLAN UPDATED TO SUIT DWG TP02-D	24.01.17	JP
D	RELOCATED SWAP & GO AND OIL UNIT	25.12.16	JP
C	1. HOSE PLAN UPDATED 3.42RIB 2. RELOCATED SWAP AND OIL UNIT 3. LOCATED 3. LIFT POLES ADDED 4. SIGNAGES ADDED	28.11.16	JP
B	SIGNAGE UPDATED	25.10.16	JP
A	SITE PLAN REDRAWN	21.10.16	JP
0	ISSUED FOR PLANNING APPROVAL	23.08.12	ASB

**Woolworths**  
the fresh food people

**WOOLWORTHS LIMITED**  
ABN 88 000 014 875  
1 Woolworths Way  
Bella Vista NSW 2153  
PO Box 9000  
Baulkham Hills NSW 2153  
Telephone (02) 8885 1815  
Facsimile (02) 8888 1815

- NOTES**
1. FIGURED DIMENSIONS SHALL BE USED IN PREFERENCE TO SCALED DIMENSIONS
  2. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS
  3. THIS DRAWING MUST NOT BE REPRODUCED WITHOUT CONTACTING THE CONSULTANT FOR THE LATEST ISSUE
  4. THIS DRAWING IS THE PROPERTY OF WOOLWORTHS LIMITED AND MUST NOT BE REPRODUCED WITHOUT PERMISSION
  5. NUMERIC SCALE VALID FOR ORIGINAL HAND COPY ONLY. RECIPIENT OF DRAWINGS BY ELECTRONIC TRANSMISSION MUST VERIFY SCALE

Claremont Project Management Pty Ltd  
web: www.claremontpm.com  
email: cpm@claremontpm.com  
office: +61 (03) 9437 0327  
fax: +61 (03) 9437 1596  
PO Box 3025, Research Victoria 3005  
ABN: 64 280 958 083

**CLAREMONT**  
PROJECT MANAGEMENT

**trg**  
BRISBANE + MELBOURNE

concept +  
design + interiors +  
project management

Level 1, 1336-1338 Mavens Road  
Melville, Victoria 3144, Australia  
T: +61 3 9542 8000 F: +61 3 9542 8010  
www.trg.com.au  
The Retail Group Pty Ltd ABN 65 050 134 006  
RFP No. CP-AD1659

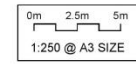
CONSULTANTS PROJECT No. 11038

**PROJECT**  
PROPOSED PETROLEUM  
FILLING STATION AT  
1332 RAGLAN PARADE  
DENNINGTON, VIC

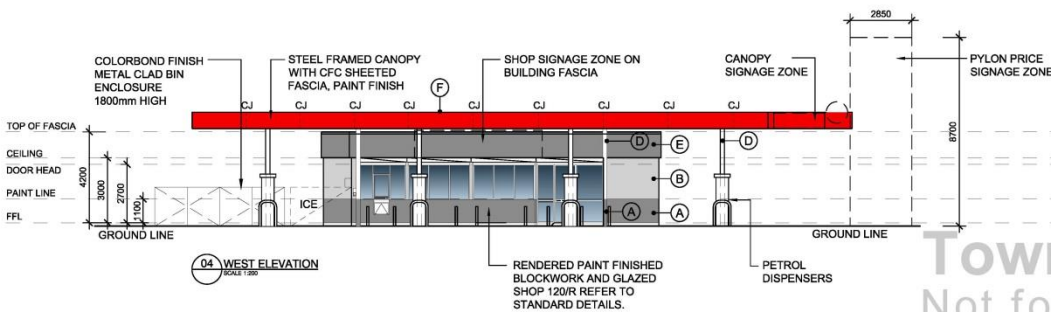
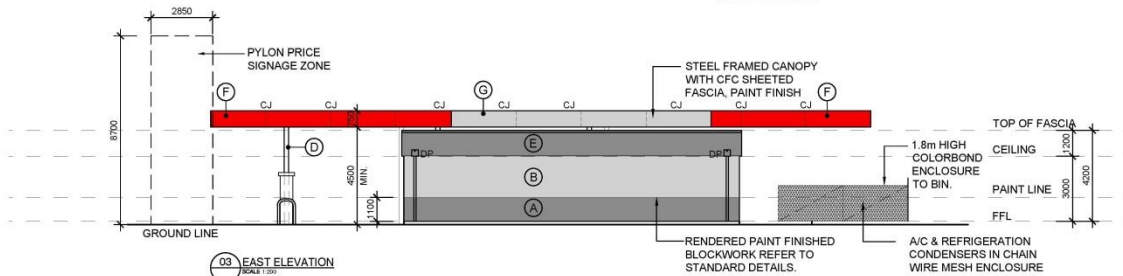
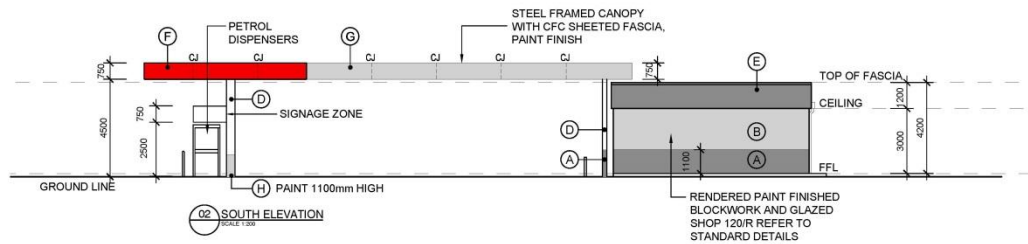
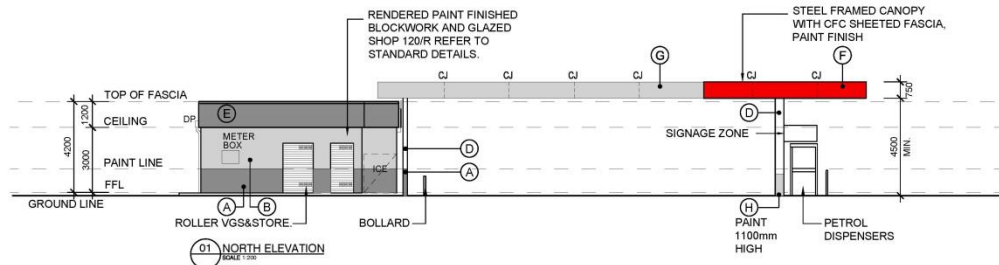
**DRAWING**

FLOOR PLAN	
DRAWN: PW	CHECKED: AB
DATE: 23/07/12	PLOT DATE: 27/01/2017
SCALE: 1:250	SHEET SIZE: A3
PROJECT No. V302	BA TENDER CONST.
DRAWING No. TP02	STANDARD ISSUE No. -
	PROJECT REVISION No. E

Town Planning  
Not for construction

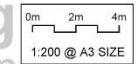


copyright: The Retail Group Pty Ltd



**EXTERNAL COLOUR SCHEDULE**

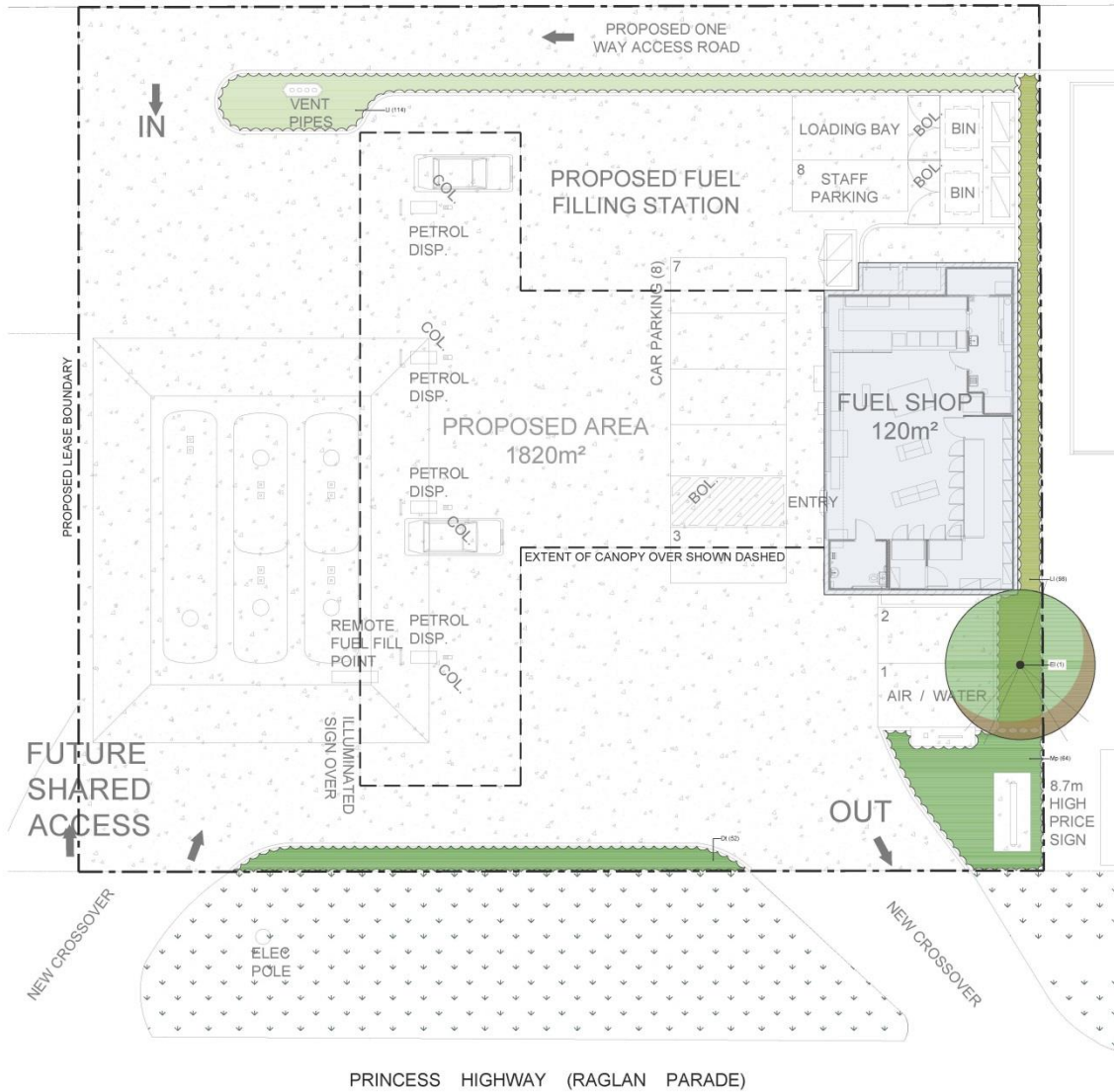
- A** PAINT SYSTEM P4 SATIN FINISH ACRYLIC DULUX MASTER PALETTE 'GRAPHITE' 50BG17/016
- B** PAINT SYSTEM P4 SATIN FINISH ACRYLIC DULUX MASTER PALETTE 'ETCHING' 50GY53/017
- D** COLUMNS - GLOSS ENAMEL DULUX 'CALTEX DELTA GREY' 84645
- E** KIOSK FASCIA - PAINT SYSTEM P4 GLOSS FINISH ACRYLIC DULUX MASTER PALETTE 'GRAPHITE' 50BG17/016
- F** CANOPY FASCIA - RED - GLOSS ACRYLIC DULUX CALTEX RED' 88111
- H** GREY - GLOSS ACRYLIC DULUX 'MEDIUM GREY' 84599



D COLOUR SCHEDULE AMENDED 23/11/16 JP C SIGNAGE UPDATED TO SUIT TR03-B 25/10/16 JP B SIGNAGES UPDATED 18/10/16 JP A PRICE BOOK DETAILED 27/08/15 AB D ISSUED FOR PLANNING APPROVAL 23/08/15 AB	ISSUE AMENDMENT DETAILS DATE BY 1 2 3 4 5
<b>WOOLWORTHS LIMITED</b> ABN 88 000 014 675 1 Woolworths Valley Bella Vista NSW 2153 PO Box 8000 Baukham Hills NSW 2153 Telephone (02) 8895 1815 Facsimile (02) 8888 1815	
<b>NOTES</b> 1. FIGURED DIMENSIONS SHALL BE USED IN PREFERENCE TO SCALED DIMENSIONS 2. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS 3. THIS DRAWING MUST NOT BE REPRODUCED WITHOUT CONTACTING THE CONSULTANT FOR THE LATEST ISSUE 4. THIS DRAWING IS THE PROPERTY OF WOOLWORTHS LIMITED AND SHOULD NOT BE REPRODUCED WITHOUT PERMISSION 5. NUMERIC SCALE VALID FOR ORIGINAL HARD COPY ONLY. RESPECT OF DRAWINGS BY ELECTRONIC TRANSMISSION MUST VERIFY SCALE	
Claremont Project Management Pty Ltd web: www.claremontpm.com email: cpm@claremontpm.com office: +61 (0)3 9437 0327 fax: +61 (0)3 9437 1596 PO Box 10225, Research Victoria 3095 ABN: 62 280 094 041	
BRISBANE + MELBOURNE concept + design + interiors + project management	
Level 1, 1306-1308 Maresfield Road Maresfield, VIC 3174 Australia T +61 3 9542 8000 F +61 3 9542 8010 www.trg.com.au The Retail Group Pty Ltd ABN 95 000 134 696 RSP No. DP-AD1689	
CONSULTANTS PROJECT No. 11038	
PROJECT PROPOSED PETROLEUM FILLING STATION AT 1332 RAGLAN PARADE DENNINGTON, VIC	
DRAWING PROPOSED ELEVATIONS	
DRAWN: PW DATE: 23/07/12 SCALE: 1:200	CHECKED: AB PLOT DATE: 23/11/2016 SHEET SIZE: A3
PROJECT No. <b>V302</b>	BA TENDER CONST.
DRAWING No. <b>TP03.B</b>	STANDARD ISSUE No. - PROJECT REVISION No. D

Town Planning  
Not for construction





LEGEND

- Proposed New Trees Refer to Plant Schedule
- Proposed New Groundcovers & Grasses Refer to Plant Schedule
- Proposed New Concrete Paving Refer to Architectural Drawings
- Retained/Repaired Footstrip Refer to Specifications

PLANT SCHEDULE

SYM	BOTANICAL NAME	COMMON NAME	DE HGT*	HIGHT X WIDTH†	MIN SUPPLY SIZE	QTY
TREES						
01	<i>Eucalyptus leucocarpa</i>	Yellow Gum	EN	10-12 x 7m	20mm	1
					TOTAL	1
GROUNDCOVERS & GRASSES						
01	<i>Climacium dendroica</i>	Tasman Flax Lily	EN	1 x 1m	140mm pots	52
02	<i>Lomandra longifolia</i>	Kaerua Rib-rub	EN	1 x 1m	140mm pots	212
03	<i>Myoporum parviflorum</i>	Creeping Doonaha Yareana	EN	0.1 x 1m	140mm pots	64
					TOTAL	328

\*CE = Deciduous/Evergreen NE = Native/Exotic

SPECIFICATION NOTES

**Soil Preparation**  
Control rock, concrete, rubble and any other material restricted to plant growth (e.g. large stones) shall be removed from the site of any planting back and semi attached trees. All trees to be removed shall be stored ground end at subcontractor's expense to be removed from site. Existing soil in planting areas to be preserved so that it does not receive additional compaction from site machinery and to have no rubble or building supplies are stored in these areas.

Soil to be replaced to suit the root growth of trees to be planted. Any preparation of existing soil for planting within these areas is to be done by hand only. Where (e.g. at the head of plant removal) and unworkable soil banks may be patched using topsoil as specified.

Any imported topsoil to be free of weeds, rubble and other materials damaging to plant growth and is to be of a medium texture (sandy loam) with a pH of 6.0-7.0. Top soil is to be laid over a prepared sub-base which has had any materials damaging to plant growth (e.g. rubble and large stones) removed, spread to the appropriate depth and cultivated into the existing site soil to a minimum depth of 100mm.

Imported top soil is to be light and uniformly compacted to 100mm layers to a minimum depth of 100mm on lawn areas and 300mm on non-lawning plantings.

**Weed Removal**  
All weeds shall be thoroughly removed. All vegetative material, including roots and rhizomes of non-wooded perennials and woody suckering weeds, is to be removed or appropriately controlled using chemical means. The stumps of non-suckering woody perennials are to be stumped ground. All vegetative material shall be appropriately disposed of off site in a manner which will not cause that material to be a biohazard. Any chemical controls are to be used in accordance with manufacturer's instructions and standard occupational health and safety practices.

Care must be taken to ensure that all trees to be retained are not damaged during weed removal. This also means that any herbicides used are not to be used around the vegetation to be retained.

**Planting**  
Planting shall be carried out using accepted horticultural practices with all plants conforming to the species, size and quantities indicated on the schedule. Plants and trees shall be thoroughly soaked through immersion in water prior to planting and if the planting soil is any 200mm from the planting hole is to be filled with water and allowed to drain completely.

All plants shall be appropriately hardened off in the nursery. Use plants with the following characteristics: Large healthy root systems with no evidence of root cut or pot bound restriction or damage, vigorous, well established, free from blights and pests and of good form, consistent with the species or variety.

Planting holes for shrubs and groundcovers are to be of minimum size 70mm larger than the planting pot at all directions, same distance from planting hole to the top of the rootball as depth. A 70mm high plastic mesh is to be constructed at edge of planting hole. All plants are to be thoroughly watered after planting and slow release fertilizer applied at the quantities specified by the manufacturer.

**Plastic Mulch**  
Install 10mm layer of plastic mulch (Thruo Turf) (Holes and similar) where shown on drawings over a base course of 100mm deep quality compacted Fine Coarse Rock. Each layer, including the subgrade is to be appropriately compacted.

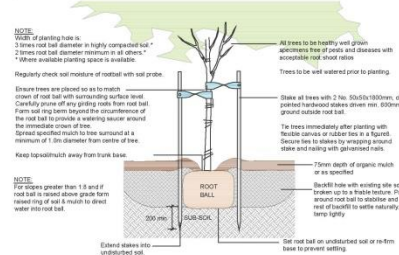
**Irrigation**  
An approved drip irrigation system is to be installed in all garden beds. It is the responsibility of the contractor to ensure that all irrigation meets manufacturer's specifications. The system is to be connected to main supply and include a rain-shut-off device. All dripline is to be buried with a 100mm layer of topsoil cover and shall be protected at regular intervals to ensure the tubing cannot be damaged.

**Repair/Restoration of damaged fabrications**  
Fabrications are to be retained to current grades with any depressions filled with topsoil to specifications above and lightly compacted in 100mm layers. Areas are then to be reseeded using an appropriate and matching turf type and the area levelled off to allow the re-establishment of lawn. If material areas are to be reseeded and the area requires that a slow release fertiliser at the quantities recommended by the manufacturer.

Any areas of lawn which have failed to germinate (achieve an evenly green 50% covering of a consistent height) are to be reseeded within one month of original sowing date.

**Plant Establishment Period**  
There shall be a 26 week Plant Establishment Period following the approval of Practical Completion by the responsible authority. During this period the landscape contractor shall make good all plants, in particular those of work. Maintenance and establishment means the care and maintenance of the control area by accepted horticultural practices, as well as meeting any details that become apparent in the work under normal use. This shall include, but shall not be limited to watering, weeding, pruning, weeding, mulching and disease control, cultivation, re-planting and replacement of any plants that fail with plants of the same species and size.

TYPICAL PLANTING DETAILS



TYPICAL TREE PLANTING DETAIL  
Scale 1:100 @ A1

COPYRIGHT  
This drawing must not be copied or used in any way without the written consent of the author.  
Do not scale drawings.  
NOT FOR CONSTRUCTION

REVISION DATE BY

JOHN PATRICK LANDSCAPE ARCHITECTS PTY LTD  
22A MILLERS STREET  
WARRNAMBOOL VIC 3240  
TEL: 08 8251 4600  
FAX: 08 8251 5001  
WWW.JOHNPATRICK.COM.AU  
www.johnpatrick.com.au

CLIENT  
CLAREMONT PROJECT MANAGEMENT  
PROJECT  
WOOLWORTH'S PETROL  
PRINCESS HIGHWAY (RAGLAN PARADE), DENNINGTON

DRAWING  
Landscape Plan for Town Planning

SCALE 1:100 @ A1  
DATE DECEMBER 2016  
DRAWN LR  
CHECKED BB  
JOB NO 16-008  
DWG NO L7001  
CAD FILE 16-1086-L7001

**APPENDIX D – ASSESSMENT OF DEVELOPMENT PLAN AGAINST THE DPO9**

The following table details:

- Objectives and requirements in schedule 9 to the Development Plan Overlay (DPO9) under the Warrnambool Planning Scheme.
- Council officer discussion and comments.
- An assessment on whether the DPO9 objective / requirement has been satisfied.

Objective / Requirement	Officer discussion and comments	DPO objective / requirement satisfied YES/NO
The development plan must be generally in accordance with the <i>'Dennington Neighbourhood Activity Centre Structure Plan -Hansen, November 2009'</i> (Structure Plan) and include:		
<b>Built Form Design Guidelines that:</b>		
Provide a building form that is of a low scale and unobtrusive to maintain view lines from surrounding elevated topography (no more than one storey in height or 6 metres in elevation). Two storey development is acceptable fronting Lindsay Street and the Princes Highway to encourage multiple land uses over different storeys.	Although this site can accommodate two storey development the proposed guidelines imply that the development will be low rise, single storey, built form that will not adversely impact or obstruct view lines to surrounding elevated topography.  Further, the canopy occupying the majority of the site provides for a 'lightweight' structure that allows for views through the site from the north and south.	Yes
Ensure buildings are designed to front external and internal streets, provide active frontages and well concealed service areas.	The proposal includes active frontages to Raglan Parade, the future east-west road connection (to the north) and any future use of the land to the west. The 'fuel shop' identified on the plan incorporates a minimal setback to the neighbouring building (Direct Chemist Warehouse/ medical centre) to maximise use of the site and provide a consolidated frontage to Raglan Parade.	Yes
Ensure new development close to corners is positioned to the lot boundary and should clearly demarcate and address internal and external intersections.	Although the Development Plan applies to the corner allotment only part of the site is included in the Development Plan. The submitted layout plan implies that future development on the corner of Lindsay Street and Raglan Parade will be developed in accordance with the principles of DPO9 thus future development may occur close to the lot boundaries.	Yes
Avoid large expanses of flat roofs.	Provision of a canopy over the fuel pumps cannot be avoided. The canopy is only proposed to cover the pumps with reduced cover over patron car parking associated with the fuel shop. The 'lightweight' design is not considered to compromise the guidelines.	Yes
Ensure that plant fittings on rooftops are appropriately screened when viewed from elevated positions.	The site services, including refuse disposal, air conditioning and refrigeration condensers, will be discretely located and concealed toward the rear of the site.	Yes

Objective / Requirement	Officer discussion and comments	DPO objective / requirement satisfied YES/NO
Provide for a material palette that displays a variety of finishes that respond to the natural environment in texture and colour.	The proposal incorporates articulated facade treatments, including a palate of colours and finishes widely relied upon by Woolworths to complement the design response and the emerging retail / commercial hub.	Yes
Avoid the use of large expanses of brightly coloured rendered walls.	Given the area covered by this Development Plan and the nature of the proposal there is no large expanse of wall.	Yes
<b>A Signage Plan that:</b>		
Provides for signage that is respectful to the neighbourhood setting with low scale integrated design preferred.	There is an expectation for business identification and advertising signage within the activity centre. The proposed signage is normal to the intended use of the land for a service station and appropriate to the site and activity centre context.	Yes
Avoids highway illuminated signage.	Illumination of signage is limited to that necessary and appropriate for a service station use to alert and inform drivers about the upcoming facility and pricing information. The location of signage, particularly an internally illuminated pylon sign, away from the intersection of Lindsay Street and Raglan Parade is accepted as a variation from the principles of the guidelines.	Yes
<b>A Traffic Management and Car Parking plan that:</b>		
Provides for an internal street connection in an east-west alignment with the drainage easement to facilitate traffic and pedestrian movement between Russell and Lindsay Streets.	The submitted layout recognises the objectives of the Activity Centre Structure Plan in creating an east-west connection.	Yes
Provides a north-south pedestrian plaza link between retail development in the centre. The plaza should contain street furniture, public notice boards, lighting and high quality landscaping.	A north-south pedestrian plaza is likely to be created on other land, particularly that to the north. The proposal is consistent with the Structure Plan concept in this regard (refer to urban image framework in the DNAC).	n/a
Indicates the number, location, dimensions and layout of all car parks and access-ways to and from the car parking areas.	All car parks have been appropriately labelled on the submitted layout plan.	Yes
Indicates specified car parking rates for all uses, including visitor car parking to the satisfaction of the responsible authority.	Specified car parking rates are acceptable.	Yes



Objective / Requirement	Officer discussion and comments	DPO objective / requirement satisfied YES/NO
Indicates the location and dimension of all bicycle, vehicle and pedestrian access ways and how these connect to the remainder of the retail precinct and the wider Activity Centre.	A pedestrian footpath runs along the southern boundary of the site and would provide for the safe movement of non-patrons to other parts of the precinct.	Yes
Includes traffic management and traffic control works considered necessary in adjoining and nearby roads when the development is completed.	The submitted Traffic and Transport Assessment by Cardno Pty Ltd is considered to satisfy any requirements Vicroads may have in this regard.	Yes
Indicates the means of pedestrian and vehicle ingress to and egress from the land.	The detail of the layout plan is such that an acceptable response to this objection can be achieved.	Yes
<b>A Landscaping Plan that:</b>		
Includes details on furniture, lighting and the location, quantity and size at maturity of all proposed plants, the botanical names of the plants, the location of all areas to be covered by lawn or other surface materials and provides a specification of works to be undertaken prior to planting.	The nature of the intended use of the site is such that there is limited opportunity for landscaping beyond ground cover around the perimeter of the site. Provision has been made for a feature tree within the void between built forms. The objective can be met.	n/a

Yes

Meets DPO requirements

No

Does not meet DPO requirements

**5.6 PARKING STRATEGY IMPLEMENTATION****PURPOSE*****For decision*****EXECUTIVE SUMMARY**

- There are a number of significant changes required to the way car parking is managed throughout the CBD.
- The Car Parking Strategy provides some justification for new meters and improved management of highly utilised areas.
- The car parking fund is the most appropriate and equitable funding tool to cover the cost of parking facilities, infrastructure and management systems as it is effectively a user pays system.
- Council has signed an MOU with VicTrack and V/Line to construct up to 220 car parks as part of the Railway Precinct Car Park. It is intended that these spaces will be free and will provide capacity in lieu of areas where meters are required.
- Council will be required to make a contribution towards the cost of constructing the Railway Precinct car park.
- Due to the age and condition of existing meters approximately 120 new meters are required.
- New ticket machines cost around \$8,000 each (subject to tender process) and if the extent of metered parking is increased, around 100 machines will be required to replace existing and service new areas - **Refer to attached plan Appendix A.**
- New meters will provide more flexibility, convenience of payment methods, provide valuable data, and assist with parking demand, compliance, and equity for parking across the city centre. It will also generate slightly more income to enable the parking fund to continue fund the required improvements.
- To keep pace with CPI, a small increase in the cost of paid parking across the board (10 cents per hour in hourly parking areas and 20 cents per day in off street car parks) is proposed through the 2017/18 budget through the fees and charges.

**MOVED: CR. CASSIDY**  
**SECONDED: CR. HULIN**

1. **That Council notes the release of a public tender to procure new ticket machines which are to be funded through the parking fund.**
2. **That Council notes the proposal to pass on credit card surcharge fees, and to review parking fees and charges for the 2017/18 annual budget.**
3. **That Council supports the rollout of new ticket machines in the areas proposed in this report.**
4. **That Council considers funding improvements to disabled parking bays from the car parking fund.**

**CARRIED – 7:0**

**BACKGROUND**

The Parking Strategy was adopted by Council in September 2015 - Refer **Appendix B.**

Council has around 300 coin operated on-street parking meters which service over 1000 paid parking spaces. Many of these meters are unreliable, difficult to repair, inflexible and unpopular.

The Parking Fund was introduced by Council to fund parking infrastructure in the city centre. The fund's income is supplemented by a 0.5% rates levy and revenue received from paid parking.

Council has already introduced 25 new ticket machines with credit card facilities and improved connectivity and software management in off-street car parks in 2014. These machines have provided credit card payment facilities, valuable data which assists in identifying economic trends for the visitation to the city centre while also providing a good tool to assess free parking trials.

A petition was received in 2016 in relation to the extent or lack of disabled parking spaces within the CBD. Council resolved to review and improve the provision of disabled spaces.

## ISSUES

The 300 aging and unreliable on street meters, are inflexible, provide no data, no flexibility, and it is difficult to obtain parts for necessary repairs.

A tender has been prepared to procure 120 new ticket machines to replace the 300 individual meters, staged over a number of years.

## CURRENT STATUS

There is a degree of urgency as the CBD revitalisation program is in full swing and new ticket machines need to be purchased for installation. Liebig Street between Raglan Parade and Koroit Street will be progressively opened to the public for parking in May this year.

## KEY CONSIDERATIONS

The opportunity to address a number of operational issues and improve the variety of parking for city centre workers and visitors are set out below.

The main considerations include:

1. New and replacement meters - A commitment has been made to replace on-street parking meters in Liebig Street as part of the City Centre Revitalisation program. New meter locations are proposed to improve parking management and introduce a fairer more consistent pattern of metered on street parking as changes in commercial usage has increased over time in the CBD fringe areas. New metered areas providing an additional 241 paid parking spaces, together with the approximate locations for the new ticket machines in existing metered areas - **refer Appendix A**.  
The new machines are to have credit card payment, phone payment facilities, the ability to transfer from one space to another, free and discounted parking schemes, along with data connection and integration with software and other devices. There will be efficiencies for Council Local Laws staff, in reduced coin collection, potentially less infringements and lengthy infringement reviews.  
A tender has been prepared to procure around 120 new ticket machines to replace the 300 on street meters and to include the new areas. While higher purchase or similar leasing arrangements exist for capital purchases, it is problematic to find a willing lessor/participant given the specific nature of the equipment and the very low end residual values.
2. Railway Precinct Car Park - Council has signed an MOU with VicTrack and V/Line to construct up to 220 car parks as part of the Railway Precinct Car Park. This new car park was identified in the Parking Strategy. Council will partly fund the new car park in conjunction with Public Transport Victoria (PTV) where funding has been approved in principal. Refer to "financial consideration". The new spaces will provide a free parking area for vehicles choosing not to use the new metered areas.
3. Council has committed to review the provision of disabled parking facilities within the CBD. This review identified new disabled spaces and to address compliance issues with access standards. It is appropriate that additional revenue from meter expansion help fund disabled parking improvements.
4. Council needs to review parking fees and charges in line with CPI and other cost increases in the administration of parking control activities.

## CONSULTATION / COMMUNICATION

The 2015 Parking Strategy was widely consulted attracting some 200 submissions. The consultation identified issues and opportunities for parking and tested the community's current level of satisfaction in parking generally in the CBD.



The parking strategy provides strategic justification for the measures in the “key considerations” section of this report.

Principles 4 and 6 adopted within the strategy include:

*“Efficiently invest income from the parking fund to improve city centre infrastructure and timely finance initiatives to meet the forecast parking demand.”*

*“Parking management is consistent, equitable and appropriately applied to promote vehicle turnover and availability.”*

Council may choose to undertake further community consultation prior to the rollout of new metered areas.

#### **TIMING**

The most pressing need is to install 10 new ticket machines in the newly refurbished block in Liebig Street.

#### **FINANCIAL CONSIDERATION**

It is intended that the parking fund will cover the cost of a staged rollout of replacement, new meters, railway precinct car park and an integrated parking management system.

The cost of 120 new and replacement ticket machines is estimated at \$800,000 - \$900,000 subject to tender staged over several years as the funds are available within the parking fund.

Council's contribution to the railway precinct car park is estimated at \$500,000 subject to detailed design and tender.

Funds currently available for the 2017/18 financial year within the parking fund are \$430,000 including the allocation for the 2017/18 financial year.

Current income into the parking fund is per annum \$244,000

Anticipated revenue from new on street parking is estimated at \$200,000 which can be used to fund the rollout of new meters and infrastructure and be reviewed upon completion of these projects.

Anticipated revenue from increases in parking rates is estimated at \$120,000.

Refer to table below for funding and staging.

	Budget 2016/17	Budget 2017/18	Budget 2018/19	Budget 2019/20	Budget 2020/21	Budget 2021/22
<b>Opening Balance</b>	<b>479,103</b>	<b>674,677</b>	<b>158,687</b>	<b>147,167</b>	<b>370,251</b>	<b>598,868</b>
<b>Cash Inflows</b>						
Parking Levy	145,375	149,010	153,480	158,084	163,617	169,344
Parking fee revenue increase	95,000	95,000	95,000	95,000	95,000	95,000
Land Swap Grace Ave	300,000					
Parking fees alloc. to ticket machine replace.		250,000	250,000			
<b>Sub-Total</b>	<b>540,375</b>	<b>494,010</b>	<b>498,480</b>	<b>253,084</b>	<b>258,617</b>	<b>264,344</b>
<b>Cash Outflows</b>						
Grace Ave Land Swap	(300,000)					
Kepler Street Access to Grace Avenue	(72,801)					
Owners Contribution to Grace Avenue	28,000					
Disabled Parking Improvements		(30,000)	(30,000)	(30,000)	(30,000)	(30,000)
Railway precinct development		(500,000)				
Ticket Machine Replacement	0	(480,000)	(480,000)			
<b>Sub-Total</b>	<b>(344,801)</b>	<b>(1,010,000)</b>	<b>(510,000)</b>	<b>(30,000)</b>	<b>(30,000)</b>	<b>(30,000)</b>
<b>Closing Balance</b>	<b>674,677</b>	<b>158,687</b>	<b>147,167</b>	<b>370,251</b>	<b>598,868</b>	<b>833,212</b>

There are costs associated with the introduction of new parking meters and credit card process, data, telecommunication links, parking management software, and ongoing maintenance. The estimated ongoing maintenance and servicing costs are expected to be \$60,000 P/A.

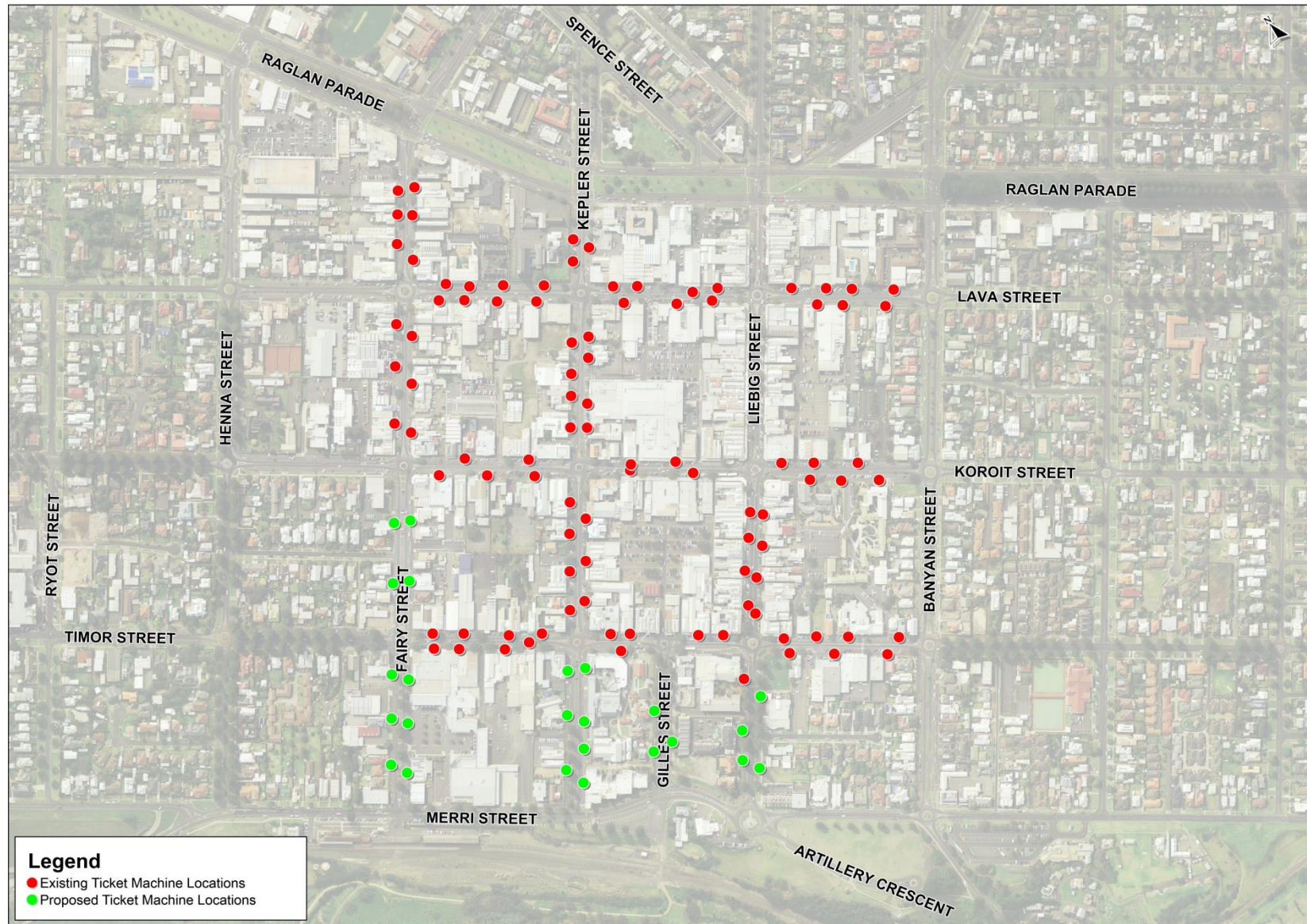
Currently the credit processing costs are not passed onto motorists. It is proposed to introduce a 25c surcharge for all credit card parking payments and pass onto the customer. This will cover the costs associated with banking and telecommunications for credit card payments.

## **RISK**

The risks associated with the project are reputational, financial and operational.

Introduction of new parking meters and the integrated parking management system will reduce current negative feedback, operational and reputational issues associated with parking meter faults, and provide a more convenient and efficient service to the community.







WARRNAMBOOL  
CITY COUNCIL



## CITY CENTRE PARKING STRATEGY SEPTEMBER 2015

## Glossary

A glossary has been provided below to assist with understanding of parking terminology

<b>Word</b>	<b>Description</b>
<b>Short term parking</b>	2 hours or less, often used by visitors to the City Centre, this may include shoppers, customers and clients, courier drivers, taxis and others.
<b>Long term parking</b>	3 or more hours, often used by employers, employees, customers and clients of businesses and residents living in the City Centre.
<b>On-street parking</b>	Includes 45 degree angle, parallel or centre of road parking.
<b>Off-street parking</b>	Includes mostly 90 degree parking located in the centre of a grid or city block, often at the rear of on-street buildings
<b>Parking demand</b>	The amount of parking that would be used at a particular time, place and price.
<b>Parking supply</b>	Provision of parking spaces.
<b>Parking turnover</b>	Refers to how often a parking space is used by different motorists.



## Table of Contents

1. Introduction .....	4
2. Methodology.....	6
3. Parking Review.....	7
Key Findings .....	7
4. Policy Framework.....	14
Vision.....	15
Goals .....	15
Principles.....	16
Management Strategies.....	17
5. Park Smart Program .....	19

## 1. Introduction

The Warrnambool City Council (Council) has developed this City Centre Parking Strategy to provide direction and the strategic framework for the future supply and improved management of on and off street parking in Warrnambool's City Centre.

Council considers parking an important function of its services it provides. The 2013 – 2017 Council Plan (Amended 2015) states as a priority for Council to:

*'Adopt a car parking strategy as an adjunct to the City Centre Revitalisation Plan.'*

The development of this Parking Strategy will achieve this objective.

In 2012, Council developed the City Centre Revitalisation Structure Plan (the Structure Plan) to guide future developments and improvements to the city. The Structure Plan is the overarching policy for the City Centre. It lists parking as one of five themes under its objectives and strategies in the Structure Plan, stating as one of its objectives to:

*'Support a program of improvements to the amenity, quality of the public realm, public transport and car parking access and safety and security,'*

Warrnambool's community also consider parking a priority. As part of Council's recent City Centre Renewal consultation, improvements to car parking featured prominently in community feedback.

The scope of the Parking Strategy encompasses the area of Raglan Parade, Banyan Street, Merri Street, Henna Street and to the Hospital on Ryot Street.

Figure 1 – Warrnambool City Centre



There are various forms of at-grade level car parking in the city. These include short term and long term parking and off-street and on-street parking as described in the glossary.

Parking provides an important function for the City Centre, its visitors, residents and a diverse range of businesses. It provides motorists with a facility to park their vehicle when visiting the City Centre. Public surveys conducted in February 2015 showed the majority of short term visitors come to the City Centre for shopping, followed by professional services, eating and entertainment. Long term parkers also make up a considerable portion of parkers, with over 1000 long term car parks provided for mostly City Centre employees.

Council has increased its supply of parking in the City Centre, from an estimated 3500 public car parks in 2009 to 3800 today. The majority of these car parks are owned and managed by Council.

As the road manager, and in interest of traffic flow, Council has a duty to cater for the diverse range of short term and long term parking in accordance with State regulations and legislation, and Council Local Laws and policies.

Council must also take into consideration the City's projected growth and plan for parking demand into the future. Warrnambool's economy is dominated by service based industries such as health care, social assistance, financial services, education and training. These sectors account for over two thirds of Warrnambool's employees. According to the Warrnambool Economic Profile – Industry and Employment (RDV 2013), Warrnambool is likely to benefit from further expected growth in health care, social assistance and professional services until at least 2031. This will have repercussions for the City Centre.

Council must also take into consideration population growth for the City and the region. The Warrnambool City population is estimated to be 33,501 (as at June 2014) and is forecast to grow to 43,807 by 2031 (id.forecast). Warrnambool has a regional catchment area in the order of 120,000 people and our City is expected to attract the vast majority of the region's population growth over the next 15 years.

The Parking Strategy provides the framework to improve parking management for the visitors of today and plan for the projected parking demand for the City Centre in the future.



## 2. Methodology

The Parking Strategy has been developed by Council officers following an analysis and review of the current parking situation. The process involved the following:

- 4 workshops with Councillors to identify current parking issues and future opportunities.
- Consultation with the general public and the business community, which included:
  - Surveys of 237 City Centre visitors to identify parking behaviours and perceptions and test potential parking initiatives.
  - Surveys of 37 City Centre businesses to identify issues, opportunities, parking behaviours of staff, customers and clients.
  - Establishment of a working group to oversee the process to develop the Parking Strategy, particularly consultation.
  - Focus group meeting with local businesses to test potential initiatives, marketing programs and joint promotions.
- Engagement of an independent traffic engineer to undertake a traffic and parking analysis. Titled '*Warrnambool Traffic & Parking Analysis Study 2015*' (Ratio 2015) the investigations included traffic and parking analysis on Thursday 30 April and Saturday 1 May 2015. Council also reviewed the '*Warrnambool Traffic and Parking Analysis: Findings and Recommendations Report: For City of Warrnambool*' (Ratio 2010).
- Engagement of an independent consultant to conduct a peer review of the Parking Strategy.
- Year to year parking trends provided by financial reports and yearly occupancy surveys.
- Reviewed other Council policies and the Warrnambool Planning Scheme.
- Investigated other cities parking management.
- Consultation with Council officers.
- And usage of data provided by new ticket machines in centre block off-street car parks.

Further consultation was undertaken as part of the exhibition of this Parking Strategy for public comment from the 3-28 August 2015.

### 3. Parking Review

Council Officers, along with independent Traffic and Planning consultants, undertook a process to analyse and review the current parking situation to inform the development of this Parking Strategy. Part of that process included consultation with Councillors, Council Officers, the general public and businesses on parking in the City Centre.

#### Key Findings

Below are the key findings of the parking supply and demand review:

- Short term areas highlighted in pink and red in Figure 3 & 5 show high to very high parking demand. Meter feeding may be compounding the problem. Nearby short term off-street car parks are generally underutilised. Coles/Younger and Ozone generally have higher occupancy throughout the year.
  - Figure 3 shows free parking in on-street parking areas which includes 2P (2 hour), 3P (3 hour) and P (all-day) has very high occupancy, with poor turnover of vehicles in 2P and 3P areas.
  - The Railway Precinct is experiencing very high parking occupancy. Council Officers observations indicate many of these are rail commuters, South West TAFE employees and students, and other City Centre employees utilising free parking in the area on weekdays and weekends. Refer to Figures 3 & 5.
  - Weekday long term parking management is in high demand in mid-west to south sections of the City Centre. Increasing parking supply in the area will assist.
- Liebig Street, from Raglan Parade to Timor Street; Koroit Street, from Kepler to Banyan streets; and Lava Street, from Liebig to Kepler streets are experiencing very high occupancy on weekdays and weekends. Consider strategies to improve turnover and promote use of off-street car parks.
  - There appear to be spill over parking issues in Henna Street, from Koroit to Timor streets.

Figure 3 - Parking demand 1.00pm Thursday 30 April 2015

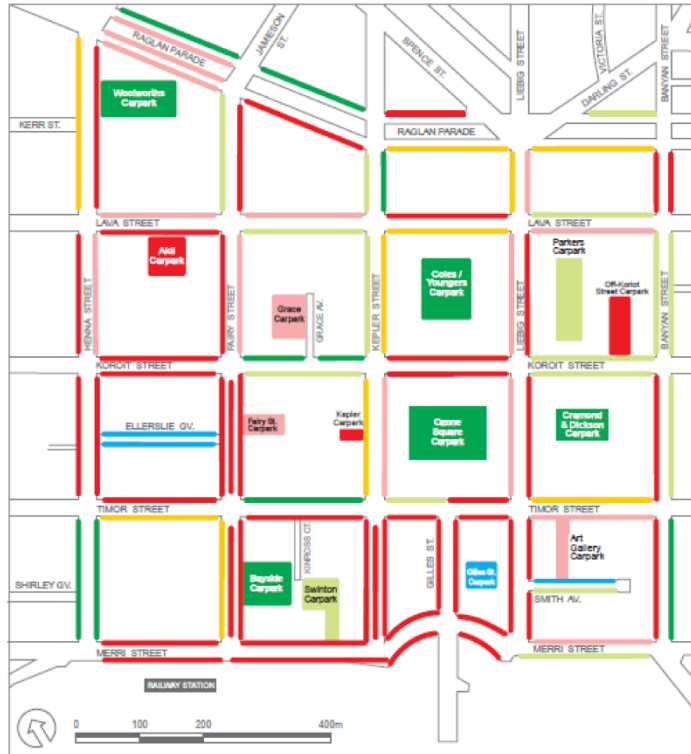


Figure 4 - Parking demand 6.00pm Thursday 30 April





Figure 5 - Parking demand 1.00pm Saturday 1 May 2015



Figure 6 - Parking demand 6.00pm Saturday 1 May 2015



**LEGEND**

- |   |  |
|---|--|
| <span style="display: inline-block; width: 15px; height: 15px; background-color: red; border: 1px solid black;"></span> Very High (>90%)        | <span style="display: inline-block; width: 15px; height: 15px; background-color: lightgreen; border: 1px solid black;"></span> Low (50% - 64%) |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: pink; border: 1px solid black;"></span> High (75% - 89%)       | <span style="display: inline-block; width: 15px; height: 15px; background-color: darkgreen; border: 1px solid black;"></span> Very Low (<40%)  |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: yellow; border: 1px solid black;"></span> Moderate (65% - 74%) | <span style="display: inline-block; width: 15px; height: 15px; background-color: blue; border: 1px solid black;"></span> Not Available         |

Key findings continued:

- While Figure 6 shows there is high occupancy in Koroit Street and Kepler Street on weekends (as shown in pink), there is good parking availability in many locations. Further monitoring of vehicle occupancy in Liebig Street between Timor and Koroit Street is required, which is anecdotally an area of usually very high use on nights of weekends and weekdays.
- Short term off-street occupancy, with the exception of Coles Younger/Target, experienced low or very low occupancy on weekdays and weekends. Note free parking was available in all off-street car parks on weekends and on-street after 12.00pm on Saturdays. There is an opportunity to further promote availability of off-street parking on weekdays and free weekend off-street parking to reduce on-street demand.

A trial of free 1 hour parking in Parkers was underway during the development of the Parking Strategy. The trial showed some positive signs with increased visitation during week 1, 2 and 9 of the trial, while week 3 to 8 appeared to show no increased visitation. It is recommended that the free parking trial in Parkers is extended until March 2016 to further determine operational impacts, abuse of the system, effect on on-street demand and benefits of the choice of a free parking option over time. This should be provisional that the trial extension is provided at no impact to the 2015/2016 parking income budget and a project budget is allocated for the costs of the extended trial.

The typical weekday (Thursday) peak parking demand for the Study Area was recorded between 1.00pm and 2.00pm, at which time a maximum of

2703 of the 3792 publicly available car parking spaces were recorded occupied. This represents a peak parking occupancy rate of 71% as shown in Figure 7.

Figure 7 - Temporal Profile of Parking Demand: Thursday 30 April 2015



When comparing parking demand with the temporal profile, car parking pricing and time limits, particularly in very high to high occupancy areas, appear consistent to promote turnover and availability to motorists.

Car parking demand slightly increased between 2009 and 2015. The supply of additional car parks has resulted in reduced occupancy, therefore improving availability for motorists - a positive outcome for the City Centre. This is reflected in Table 1.

Table 1 - Peak hour parking supply and demand comparison

	Thursday 30 April, 2009	Thursday 30 April, 2015
Study Area Car Parking Supply (spaces)	3491	3792
Study Area Peak Car Parking Demand 1.00-2.00pm (spaces)	2642	2703
% Occupancy	76%	71%

Council conducted parking surveys with the public and businesses in February and June 2015 to inform the Parking Strategy. Below are the key findings of the public consultation surveys:

- Majority of visitors spend 1 hour or less parking.
- Shopping is the predominant reason for visiting the City Centre.
- There is a high car dependency for users visiting the City Centre.
- Majority of parkers spend less than 2 minutes searching for a park.
- Majority of motorist's park within one block of their destination.
- Majority of respondents are very familiar with parking locations, general availability and payment methods.
- Good awareness of free parking areas on weekends.
- Fair awareness of 1000 free car parks and willingness to use.
- Good public support for \$2 all day parking.
- Good public support for free parking initiatives.
- Poor public support for boom gates in off street car parks.
- Location and availability of space is more important than price.

- Poor satisfaction for areas with higher on-street and off-street parking prices

The key findings of the business surveys were:

- There is a strong car dependency for people commuting to work with 92% of respondents driving.
- The majority of respondents appear willing to walk up to 1- 3 blocks for free or \$2 all-day parking but not 4 blocks.
- When asked why they chose to drive to the City Centre when compared to other forms of transport such as walking, cycling and catching the bus, 60% of respondents indicated they like to do other tasks.
- Payment by coin at parking meters is the predominant method of paying for parking.
- Location of car park, price of parking and availability of space are the most important factors to motorists when choosing a park (in order of importance).
- 54% are satisfied with the availability of parking in on-street areas.
- 54% have not experienced difficulty parking in off-street areas.
- 71% believe the price of parking discourages their customers/clients to visit the City Centre.
- Continuation of free 1 hour parking trial in Parkers, reduction in car parking fees and fines, and regular turnover of vehicles in on-street areas to improve availability were considered most likely to result in customers/clients visiting the City Centre more often (in order of importance).
- Majority strongly support promotion of alternative parking and education of businesses and staff on meter feeding.



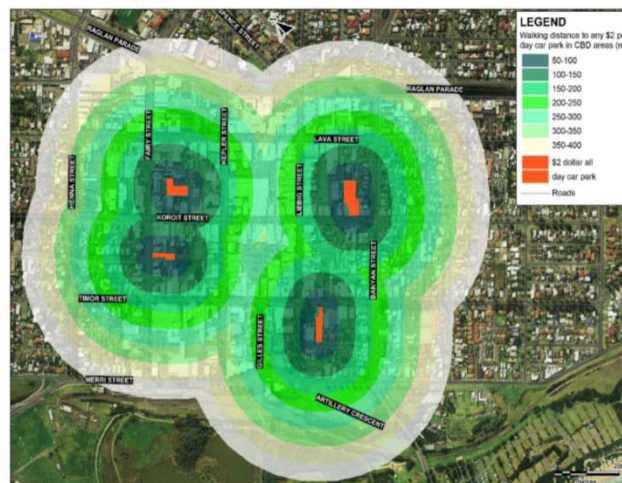
Consultation highlights the variety of motorists parking behaviours and desires, with the majority of motorist prepared to pay for parking close to their destination. There does appear a willingness to walk 1-3 blocks for free or \$2 all-day parking but not 4 blocks. This is consistent with walkability maps shown in Figure 8 and 9 showing the close proximity of free and \$2 all-day parking to much of the City Centre.

Parking data provided also indicates there is an adequate supply of parking but motorists are not taking advantage of available short term off-street parking close to many destinations. Not surprisingly, occupancy data shows parking demand is highest in the main blocks of Liebig and Koroit on-street parking areas. Short term parking in these streets and other areas of high to very high demand, presents one of the biggest challenges for parking management.

Figure 8 - Free Parking and walking distances



Figure 9 - \$2 all-day parking and walking distances



Council currently utilises a variety of parking management strategies to manage supply and demand in on-street and off-street areas. A review of these strategies was also undertaken. Please see Table 2

Table 2 - Key findings of current parking management strategies

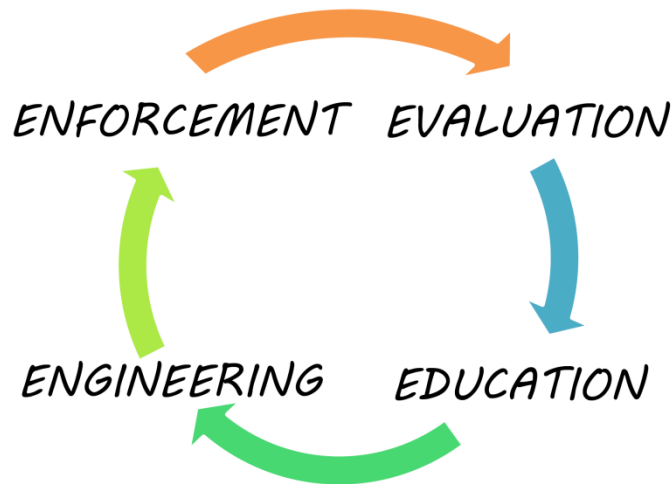
Parking strategies	Key Findings
<b>Parking Pricing</b>	<p>The current sliding scale of where parking is most expensive in popular central streets then decreases as you near the less popular perimeter is consistent and efficient in turnover and promotes availability, while providing good choice of paid or free parking alternatives for motorists.</p> <p>The current system promotes user pays principles in priority areas and efficient use of Council's assets.</p> <p>In 2010 Council created the Parking Fund. The Fund reinvests parking fees into parking and infrastructure projects for the benefits of motorists and visitors to the City Centre. Awareness of the Fund is poor.</p> <p>At the current price of parking and parking supply and demand forecasts, Council must be efficient in its investment of the Parking Fund.</p> <p>Reduction of long term parking from \$4.20 to \$2 a day in over 200 car parks is popular with the public, but presents issues of cost recovery and presents challenges for promotion of alternative transport when parking is cheaper than the \$4.40 all-day return bus trip.</p>
<b>Time management</b>	<p>Occupancy results suggest current short term time limits are appropriate in most areas and promote turn over. Continue to monitor.</p> <p>23 all-day parking spaces in Liebig Street between Merri and Timor streets are inconsistent with uses in the area such as public access to the Civic Centre, Library, Art Gallery and Light House Theatre.</p> <p>Issues of low occupancy in the 4P area in Ozone. Anecdotal comments imply the area is functioning as an all-day car park through meter feeding.</p>
<b>Parking supply and demand</b>	<p>There is an adequate supply of short term parking and long term parking.</p> <p>Council has met forecast demand projections for long term parking with the recent Fairy Street and Grace Avenue car park construction.</p> <p>The installation of new ticket machines in off-street car parks has provided Council with transactional data. This has improved Council's understanding of parking demand and trends in these car parks.</p> <p>While recent construction of the Grace Avenue car park assisted with supply to meet forecast demand, at the current price of \$2 a day, the payback period for construction of the car park is an estimated 27 years.</p>
<b>Parking enforcement</b>	<p>Promotes compliance with the Vic Road rules, turnover of vehicles and improved availability for motorists in popular parking areas.</p> <p>Council has used strategies to educate motorists on the Victorian Road Rules resulting in reduced enforcement required in areas where new parking management strategies have been introduced.</p>
<b>Parking information</b>	<p>Improves motorists' awareness of parking choices and relevant road rules.</p> <p>Has included signage, maps, flyers and letters where parking changes have occurred or when looking to promote available off-street car parks.</p>
<b>Parking infrastructure</b>	<p>New ticket machines with credit card facilities and promotion of pay-by-phone has improved choice for consumers to pay and monitor their parking sessions in off-street location. This promotes improved occupancy in off-street areas and promotes reducing demand in on-street areas.</p>
<b>Parking Initiatives</b>	<p>Recent initiatives such as the installation of new ticket machines in off-street car parks. These machines offer credit card payments, weekly tickets and the ability to pay by phone which encourages motorists to change behaviour and park in off-street areas.</p>

## 4. Policy Framework

The City Centre is a site of constant change. New commercial developments, new businesses, population growth, the economy, even the weather influence motorists' parking behaviours, creating a dynamic parking environment.

It is important Council is appropriately equipped to manage change and strive for continual improvement in parking. Below is a framework provided to assist Council in managing change:

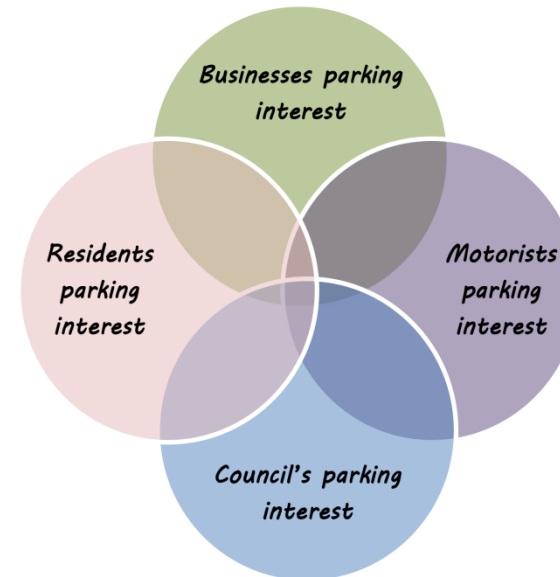
Figure 10 - The 4 E's Framework



The 4 E's Framework is particularly useful for Council when evaluating parking issues and proposing to change parking behaviours.

Amongst the mix of businesses in the City Centre are residential housing and accommodation facilities. These include a small number of detached dwellings, units and apartments including residential living above some commercial premises. Figure 11 demonstrates the variety of stakeholder that must be considered in parking management.

Figure 11 - City Centre Parking Stakeholders





### **Vision**

Council has utilised findings from its parking review and consultation, including 4 workshops with Councillors, to develop a vision and goals for parking in the City Centre. Council's vision for parking in the City Centre is to:

***Manage parking to provide information and choices for various transport and parking alternatives to promote City Centre vibrancy, economic prosperity and efficient supply and use of parking facilities.***

### **Goals**

The goals of the City Centre Parking Strategy are to:

- a) Improve parking convenience, availability and accessibility for short term parkers to visit and enjoy the City Centre, by providing a variety of parking alternatives including location, price and payment options.***
- b) Reduce traffic congestion and parking demand by improving pedestrian connections to increase park and walk behaviours and encouraging sustainable transport alternatives such as buses, walking and cycling, particularly for long term parkers.***
- c) Improve awareness of the Victorian Road Rules and parking management to encourage change in parking behaviours, improve compliance and vehicle turnover.***
- d) To efficiently manage Council's parking assets and Parking Fund to provide adequate parking which will meet short term and long term parking demand while not detracting from the City Centre vibrancy and amenity.***

## Principles

Council will be guided by the following principles in the management of City Centre parking:

- 1. Provide convenient and accessible parking opportunities for motorists with various price & payment options.***
- 2. Reduce parking demand by increasing park and walk behaviours and sustainable transport outcomes such as public transport, cycling and walking.***
- 3. Manage parking supply and demand to improve availability and enhance the vitality and amenity of streetscapes in the City Centre through the efficient use of car parks as public assets.***
- 4. Efficiently invest parking income from the Parking Fund to improve City Centre infrastructure and timely finance initiatives to meet the forecast parking demand.***
- 5. Ensure the price of parking and the investment of the Parking Fund is promoted, clear, transparent and easy to understand.***
- 6. Parking management is consistent, equitable and appropriately applied to promote vehicle turnover and availability.***
- 7. Business and motorist parking initiatives are conducted in accordance with other principles & are conducted at no recurrent budget impact.***
- 8. Enhance accessibility and safety for all, including those with disabilities, pedestrians and cyclists.***
- 9. Follow the 4 E's principles of Evaluation, Education, Engineering and Enforcement when introducing parking changes.***
- 10. Continue to renew infrastructure and introduce new parking technology and management methods. This will increase efficiencies and knowledge on the parking situation thus improve informed decision making.***

## Management Strategies

It is important Council has a variety of parking management strategies to proactively manage the parking supply and demand. The Parking Strategy proposes Council introduces additional parking management strategies to strive for continual parking improvement and reduce reliance on regulations and enforcement. Table 3 below provides a list of relevant parking management strategies used by other cities to reduce parking demand. Described as 'Typical Demand Reduction,' the estimates of reducing parking demand are dependent upon resources provided for implementation.

Table 3 - Parking management strategies

<i>Proposed management strategies</i>	<i>Description</i>	<i>Typical Demand Reduction</i>
<b>Parking supply &amp; demand</b>	Regular monitoring & evaluation of parking to determine current supply & demand. Also requires the supply of parking to meet forecast demand in some cases.	10 - 30%
<b>Time management</b>	The use of timed parking in high priority areas is required to promote vehicle turnover & availability to motorists.	10 - 30%
<b>Parking pricing</b>	Means that motorists pay directly for using parking facilities. The costs of supplying, maintaining and monitoring parking comes at considerable cost to Council. Further promote user pay principle for use of Council assets.	10 - 30%
<b>Parking enforcement</b>	Consistent and regular monitoring and enforcement of parking in accordance with the Victorian Road Rules and Council's Local Laws.	10 - 30%
<b>Parking information</b>	Information for motorists on parking location, availability, price, regulations or other travel information. May be in the form of signs, maps, brochures, websites, & other electronic information.	5 - 15%
<b>Parking infrastructure</b>	Facilities that assist in parking management. Includes car park spaces, parking meters, signage, curbing etc.	Varies
<b>Parking initiatives</b>	Actions undertaken to encourage changes in parking behaviours.	Varies
<b>Efficiency based standards</b>	Promote optimal utilisation of car parks, which means off-street car parks such as all-day areas are allowed to fill provided overflow parking is available nearby.	Varies
<b>Contingency-based planning</b>	Solutions are identified and deployed in the future if needed. This relates to parking initiatives/incentives aimed at changing motorist's behaviour or reserving land for additional parking supply to coincide with future development.	Varies



<b>Shared parking</b>	<b>When multiple destinations that have different peak usage at various times, share parking. This may assist with the supply of parking in the short term &amp; provide options for events.</b>	<b>10 - 30%</b>
<b>Mobility management</b>	Encourage more efficient travel patterns, including changes in mode, timing, destination & vehicle trip frequency.	10 - 30%
<b>Pedestrian &amp; cycling improvements</b>	Improve walking & cycling conditions to expand the range of destinations serviced by a parking facility. Encourage public transport use, since most transit trips involve walking links.	5 - 15%
<b>Increase capacity of existing parking facilities</b>	Increase parking supply by using otherwise wasted space, infill development & efficient design.	5 - 15%
<b>Improve pricing &amp; payment methods</b>	Improve pricing & payment options for more cost effective outcomes and increased ease and convenience for motorists.	Varies
<b>Overflow parking plans</b>	Establish plans for occasional peak demand. Important for special events, peak shopping periods or temporary reductions in supply.	Varies
<b>Improve parking facility, design &amp; operation</b>	Create better pedestrian connections, shade, shelter, lighting, or just generally improve the quality of service experienced by motorists.	Varies
<b>Address Spillover Problems</b>	Use evaluation, education, engineering, enforcement & pricing to address spillover problems.	Varies
<b>Least cost planning</b>	Considers demand management solutions equally with strategies to increase capacity. A thorough process is undertaken to develop evaluation alternatives compared to conventional parking demand assessments, which tend to overestimate supply with social, environmental & economic consequences	Varies
<b>Improved monitoring, evaluation &amp; reporting</b>	Includes a consistent methodology to gather routine information for the purpose of decision making.	Varies

 - Current parking management strategies targeted for improvement       - Proposed parking management strategies

Through implementation of the proposed parking management strategies, Council will encourage motorists to choose preferred parking behaviours in an effort to facilitate a pleasurable experience when visiting the City Centre. The additional strategies will further promote efficient management in the supply and demand of parking and ensure adequate parking is provided for a growing and vibrant City Centre.

## 5. Park Smart Program

Council will develop an annual Park Smart Program. This is to be presented to Councillors in February of each year in preparation for the following financial year budget and implementation from 1 July. The Park Smart Program is to be developed in accordance with the vision, goals and principles of the City Centre Parking Strategy. This approach presents the following benefits:

- Provides a forum to present the latest information on parking trends and motorists behaviours provided by ongoing monitoring and evaluation.
- Promotes clarity and transparency in decision making to improve parking management.
- Provides flexibility to be proactive in the implementation of various parking management strategies to address constant changes in parking behaviours.
- Promotes opportunities to collaborate and deliver joint initiatives with stakeholders, potentially resulting in mutual benefits.

The Park Smart Program will highlight the investment of low, medium and high resources to achieve the vision and goals of the City Centre Parking Strategy. Adequate resources must be provided to implement the Park Smart Program in order to promote its success and improvement to parking in the City Centre.

**5.7 RESPONSE TO JOINT LETTER FROM CBD BUSINESSES REGARDING PARKING IN THE CBD**

*Cr. Neoh declared an interest and left the meeting at 6.24pm.*

**PURPOSE**

*To respond to the joint letter received from CBD business regarding a number of car parking proposals.*

**EXECUTIVE SUMMARY**

- A joint letter was received from 34 businesses for Council to consider and respond to a number of proposals in relation to parking within the CBD – **Refer Appendix A**. A further undated letter from Max Taylor has also been received in relation to the joint letter – refer **Appendix B**.
- In accordance with Local Law L.1 Governance the joint letter was received, and referred to the Chief Executive for a report to a future Council meeting.
- Point 1 of the joint letters' contents to *"Introduce free parking in the city centre blocks as previously agreed"*.

This issue was recently considered by Council with previous Council resolutions confirming that no further action would be taken due to lack of evidence to support the inference that agreement existed for these areas to be free parking. Refer to Council resolution of June 6<sup>th</sup> 2016 in response to a notice of motion – **Appendix C**.

- Point 2 *"To subsidise lost revenue by allowing free 90 minute car parking in the 3 central blocks increase on street parking fees by 10%"*.

Is not correct and this proposal would represent cost Council of in excess of \$200,000 in lost revenue.

- Point 3 *"Introduce free policed parking throughout the CBD paid for with a levy on all residents (we understand that this is what happens in Albury)"*

Parking fees and charges have been developed based on a user pays system. This proposal is a fundamental change in parking strategy and may be difficult to implement in a rate capped environment as a general rate increase. It could also have the effect of levying these costs onto competing shopping precincts which have provided parking as part of their developments.

- Point 4 *"Re-introduce the old policy of council to assemble centre of block parking. This could be done by for example doing a deal with owners of the old Criterion site and adjoining owners to sell the ground level land whilst giving them freehold of the air space above at street level."*

*"This is an example that may be able to be done which can benefit both the land owner who is paying rates on vacant land and the city that needs extra parking."*

This is occurring and is evidenced by the work currently being undertaken by council in the Grace Avenue precinct.

- Point 5 *"Making the airspace above the central car parks available for multi-story office or residential development to get extra people into the CBD. Nothing will succeed if we don't get extra people."*

Council welcomes private investment opportunities and would consider any proposal on a case by case basis.

---

**MOVED: CR. HULIN**  
**SECONDED: CR. ANDERSON**

1. **The report be received by Council.**
2. **That Mr Taylor be thanked for his letters.**
3. **That Mr Taylor be provided with a copy of the Council Car Parking Strategy and a copy of the previous Council report and resolution of 6 June 2016 in relation to the special rates and charges schemes for CBD car parks.**

**CARRIED – 6:0**

---



## BACKGROUND

Council has received a joint letter signed by 34 businesses for Council to consider a number of proposals in relation to parking within the CBD - **refer Appendix A.**

The joint letter was presented to Council at the Ordinary meeting 19 December 2016 with a recommendation the Chief Executive bring a report with recommendations to a future Council meeting.

## ISSUES

In forming a response consideration was given to the individual proposals with the following responses.

The joint letter requests that Council address the following actions;

### ***Item 1 - Introduce free policed parking in the centre city blocks as originally agreed***

This matter was addressed in a previous Council report 6<sup>th</sup> June 2016 item 5.12 (**Appendix C**). This report responded to a notice of motion which suggested that special rates and charges schemes to fund Parkers Ozone and Crammond and Dickson car parks were to provide free car parking. The report identified that the petition and or any supporting reports provided any evidence to support the proposal.

### ***Item 2 - "To subsidise lost revenue by allowing free 90 minute car parking in the 3 central blocks increase on street parking fees by 10%".***

This proposal would represent a loss to Council in parking revenue. Annual parking revenue for the car parks mentioned is approximately \$280,000 per annum. A 10 % increase in the remaining metered area would generate approximately \$68,000 per annum.

### ***Item 3 "Introduce free policed parking throughout the CBD paid for with a levy on all residents (we understand that this is what happens in Albury)"***

Parking fees and charges have been developed based on a user pays system. This proposal is a fundamental change in parking strategy and may be difficult to implement in a rate capped environment as it would need to be funded through a general rate increase. It could also have the effect of levying CBD parking costs onto competing shopping precincts which have provided parking as part of their developments.

### ***Item 4 "Re-introduce the old policy of council to assemble centre of block parking. This could be done by for example doing a deal with owners of the old Criterion site and adjoining owners to sell the ground level land whilst giving them freehold of the air space above at street level."***

***"This is an example that may be able to be done which can benefit both the land owner who is paying rates on vacant land and the city that needs extra parking."***

Consolidate of land to form off-street parking areas is occurring and this is evidenced by the work currently being undertaken by council in the Grace Avenue precinct.

### ***Item 5 - "Making the airspace above the central carparks available for multi-story office or residential development to get extra people into the CBD. Nothing will succeed if we don't get extra people."***

This would also be considered by Council on a case by case basis in any future planning application to Council made by private investors.

## CONSULTATION / COMMUNICATION

The Chief Executive will contact the first signatory to inform them of Council's response to the proposals outlined in the joint letter and recommendations in this report.

*To the Mayor and Councillors,*

*To be tabled at the Council meeting on Monday 19 Dec*

Congratulations to the Mayor and Councillors on providing free 90 minute parking in Parkers carpark until the end of December 2017. We have already seen a significant rise in vehicular and foot traffic since this was commenced on November the 1<sup>st</sup> this year.

This leads us to the bigger picture of the best way forward for the whole of the CBD and that is, whilst we agree with the aims of the Council to upgrade and beautify the CBD with City Renewal beginning in February 2017, it will not fix the basic problem of the city centre NOT being competitive with the east of Warrnambool precinct because of paid parking against free car parking. This fact has already been amply demonstrated by the dramatic increase in the usage of Parkers carpark since the beginning of November.

Parkers, Crammond & Dickson and Ozone car parks must be free 90 minute car parks unmitigated forever. It is fair to point out that when the 3 car parks were created, the adjoining land owners agreed to a levy of 50% of their rates for 10 years which as we understood would contribute 50% of the cost of the new car parks with the clear understanding that this would create free car parking to combat out-of-town developments.

Computerised car parking machines were not heard of then which lead to the car parks becoming all day car parks for staff who abused the system and Council officers were powerless to control the problem. This was most evident when at 9:00am Parkers car park was 85% full, but there were no shoppers in surrounding stores. Car parking ticket machines were then introduced to these car parks and all the city workers cars disappeared overnight.

The car parking situation in Warrnambool has changed enormously in the last 20 years much to the CBD's detriment. Now we have advanced info technology computerised ticket machines that can easily print out free 90 minute car parking tickets. This was not possible 10 years ago and this technology is continuing to develop new and superior procedures that the Council must introduce into the CBD as soon as possible.

Also we think it is fair to let Councillors know that when the Kmart development, with 335 free car parks applied for permit to build the project in the 1980's, it was appealed against by a group of central city business men on the grounds that the Warrnambool retail market was not big enough to support two separate retail areas, whilst agreeing with the creation of a complimentary area for standard highway business. Their appeal was dismissed and then this has led to unrestricted out-of-town development together with unlimited free car parks made available. This excessive and unrestricted development out of town has led to immense dejection and weakening of the CBD which justified the business men's appeal and now the council is spending big money on trying to make the CBD more attractive. This is exactly what has happened as there are now approximately 2200 free car parks for out of CBD shoppers as compared to (435) in the CBD.

The result of all the above is that potential shoppers have left the CBD in their multitudes, vowing never to return after being fined \$68 for exceeding their time limit and secondly they are wearied and exhausted of rushing back to their cars to avoid being fined.

The current car parking is totally unjust and unequitable to the CBD in favour of unrestricted out of town developments and no amount of renewal will amend the problem without getting the basic free 90 minute parking in the CBD as early as possible.

Unrestricted development that has occurred in the last 30 years with the number of free car parks in the brackets after each business is listed as follows:

- Kmart (335)
- Woolworths (136)
- Dan Murphy (78)
- Harvey Norman (160)
- Rays Outdoors, Forty Winks, Bunnings (335)
- Homemakers centre (762)
- Centro North Warrnambool (230)
- Woolworths West (164)

Warrnambool City Council	
13 DEC 2016	
Ref N*	
Officer	
Scanned Yes / No	Ch:



A total of 2200 free car parks outside the CBD and what has happened in the CBD during this period. Only the construction of the Grace Avenue car park which again is monitored by Council meters. The only free shopping car parks that exist in the CBD are Safeway (230), IGA (125), and Aldi (80).

Therefore we suggest that the new council address this problem with us suggesting some of the following actions;

1. Introduce free policed parking in the centre city blocks as originally agreed
2. To subsidize lost revenue by allowing free 90 minute car parking in the 3 central blocks, increase on street parking fees by 10%.
3. Introduced free policed parking throughout the CBD paid for with a levy on all residents ( we understand that this is what happens in Albury)
4. Re-introduce the old policy of council to assemble centre of block parking. This could be done by for example doing a deal with owners of the old Criterion site and adjoining owners to sell the ground level land whilst giving them freehold of the air space above at street level.

This is an example that may be able to be done which can benefit both the land owner who is paying rates on vacant land and the city that needs extra parking.

5. Making the airspace above the central carparks available for multi-story office or residential development to get extra people into the CBD. Nothing will succeed if we don't get extra people.

In summary, the Liebig Street Renewal to be completed over the next two years at a cost in excessive of \$15 million will be prodigious and grandly magnificent for the CBD, but at the same time, we must address the issues raised in this letter if it is going to have the desired effect. To have car parking in the central blocks restored to their original purpose would be a monumental step in the right direction of restoring the CBD.

By providing time limit free car parking in the CBD, the Council will provide ongoing support and viability for land owners and businesses and create more employment, therefore restoring land values and enhancing the reputation and stature of this great city of Warrnambool.

Yours Faithfully,

Max Taylor .....	Taylor's Surfodesty	Mark Wilson .....	Wilson Real Estate
Debbie Arnott .....	Style 105	Tim Keane .....	Thomas Jewellers
Mario Materia .....	Materia's Fruit Supply	Mehul Petal .....	Specsavers
Peter Clancy .....	Clancy's Menswear	Kathy Gardolfi ....	Country Attitude
Mark Brightswell ..	Bright Bird Cafe	Alison Noseda ....	Bolistic
Bruce Ludeman ...	Ludeman Real Estate	Alan Luke .....	Soulsby & Struth
Stuart Hall .....	Priceline Pharmacy	Trish Grundy, Alan Conway ....	Lifestyle Living
Hunnah James ....	Hunni's Café	Virginia Paton ....	National W'Bool Travel
Rachael Rae .....	Mix & Co	David Moloney ...	Faull's Shoes
Peter Lock .....	Kevin Paisley Eyewear	Gary Francis .....	Franca
Sally Astbury .....	Bamboo Juice	Ava Rae .....	Kodak Express
Stuart Beynon ....	The Hut Cafe	Lisa Pitkethly .....	Darriwell Farm
Greg Malseed ....	George Taylors Stores	Rachael Hoffman .	The Athletes Foot
Brian Pye .....	OPSM	Adam O'Dea .....	Hairhouse Warehouse
Maree Wills .....	Daizy Boutique	Brian Hancock, Dan Carey .....	B.M. O'Halloran
Matt Northeast ..	Northeast, Stockdale & Leggo	Lea Watson .....	Pitstop
Leanne Mugavin, Jess Densley ....	Ray White Real Estate	Renee Roberts ...	Annie's Gift



P.S. We believe it is worth bringing to your attention what we understand is happening in Shepparton another city with large shopping centres outside the CBD. On talking to Real Estate agents in that city they are saying that 5 and 6 year leases are up for renewal and being negotiated between 30 and 50 % BELOW the old rate. Obviously this demonstrates the problem and the effect it will have on future income for the council as well as the trading difficulties facing small business.

**APPENDIX B**

Scott Cavanagh  
Warrnambool City Infrastructure  
Municipal Offices,  
Liebig Street,  
Warrnambool.

Dear Scott,

Thank you for your reply letter dated 16<sup>th</sup> February regarding our petition re car parking tabled to Council on 19<sup>th</sup> December, 2016.

One major development has occurred since our petition was tabled. We have always believed these 3 car parks paid for by the landowners betterment rate were to be used FREE of charge by the city shoppers. This belief has been substantiated in the Warrnambool Standard on Thursday 12<sup>th</sup> January this year by the City Chief Executive Officer Mr. Vern Robson at the time the car parks were developed, in Mr. Robson's tribute to the then City Engineer Mr. Don Cooper that the car parks were definitely to be FREE off street car parks.

What then happened after the car parks were developed we explained in our petition. I will repeat again the history of the car parks. Staff abused the time limits of utilising the car parks when Council traffic officers would chalk car tyres. Staff would then move all cars from one park to another erasing the chalk, thus no one was ever booked. This was most evident when at 9.00 a.m., the car parks were 80 – 85% full, but there were nobody in the shops. The computerised car parking machines were not heard of then. Traders then went to the Council to install car parking machines with time limits and when they were installed, all the staff cars disappeared over night. Now with the computerised car parking machines that can offer free 90 minute car parking, the situation has changed dramatically. Shoppers can now have free 90 minute parking and the cars turn over every hour and half and very few all day staff car parkers abuse the system. This computerised free 90 minute car parking is a outstanding success as trialled in Parkers car park at the moment.

The CBD must have these 3 car parks free 90 minutes to combat the 2,200 free car parks outside the CBD. Their initial development was NEVER intended to be a Council revenue producer and the sooner the car parks are returned to their original purpose, the better for everyone connected with the CBD.

The \$15,000,000 Liebig Street Renewal will be great when it is completed, but this is only half the campaign to restore the CBD to its original splendour, needless to mention the other half is to have shoppers return by offering them FREE 90 minute car parking by these new computerised machines as evident in most Australian progressive cities.

Yours Faithfully,

Max Taylor

PETITION CO-ORDINATOR

**5.12 RESPONSE TO NOTICE OF MOTION NO. 2136 REGARDING SEPARATE RATING SCHEMES**

*Cr. Hulin declared an interest and left the meeting at 7.20pm.*

At the Council meeting held on 2 May 2016, the following resolution was carried for Notice of Motion No. 2136:-

*"That the Chief Executive submit a report to the Council before the Ordinary Meeting of the Council on Monday 6 June 2016 to outline the following background facts for the information of all Councillors about the three separate rating schemes that were completed several years ago by the former City of Warrnambool in the Ozone Square car park, the Parkers car park and the Cramond & Dickson car park:*

- "1. What were the terms and conditions of these separate rating schemes and what undertakings did the Council provide to the owners and occupiers of the properties that were included in these schemes?*
- 2. Is it true that the property owners and occupiers contributed substantial additional rate payments over a period of 10 years in order to achieve free time limited car parking in these three car parking areas and in order for businesses within the CBD to compete on equal terms with the businesses in the Gateway Plaza and similar shopping complexes that provide free car parking facilities?*
- 3. On what date did the Warrnambool City Council decide to proceed to install ticket machines to charge motorists for parking in these three car parking areas?"*

This report will address the issues contained in the Notice of Motion.

**PARKERS CAR PARK**

In 1984, Council received a petition (refer **Appendix A**) from a number of the owners of the land adjoining the area known as "Parkers Car Park" requesting Council:-

- 1. To acquire the land shown within the heavy black line and hatched on Plan 2 attached hereto and rights of access over the roads and laneways leading thereto in this Petition called "the parking land".*
- 2. To establish paved car parking and access facilities on the parking land including but without limiting the generality thereof all works of sealing the pavement, line marking and obtaining Road Traffic Act approval, drainage, beautification, fencing, traffic and parking regulation markings and all works necessary to install a regulated public car park onto the parking land.*
- 3. The Council's expenses in establishing the car park including legal fees the obtaining of any necessary approvals, Titles Office fees and any expenditure in connection with the levying of the separate rate.*

**Separate Rate Scheme Terms & Conditions – refer Appendix B**

At the Council meeting held on 22 May 1984, Council resolved:-

*That the Council is of the opinion that works or undertakings authorised by the Local Government Act, namely the provision of car parking and rear access, are for the special benefit of a particular portion of the municipal district namely the following rateable properties:-*



1099

Warrnambool City Council  
Minutes for Ordinary Meeting6 June 2016  
Page | 195

833

MINUTES 22/5/1984

30/...

## EXTRA-ORDINARY BUSINESS (CONT.)

Property No	Location	Owner	Premises Occupation Listing	Occupier	Site Value	Rate Payable at 2.28% in 5
1	117 LAVA ST	STH WEST CREDIT UNION	117 LAVA ST	STH WEST CREDIT UNION	60,000	1,368.00
2	156 LIEBIG ST	ELMHURST HOTELS P/L	156 LIEBIG ST	ELMHURST HOTELS	245,000	5,654.40
3	150/152 LIEBIG	SELPAM PTY LTD	150/152 LIEBIG ST	CLARK RUBBER	212,000	4,833.60
4	148B LIEBIG ST	APRES PTY LTD	148B LIEBIG ST	BARO'S HAIRDRESSING	68,000	1,550.40
5	148 LIEBIG ST	M FITZGERALD	148 LIEBIG ST	M FITZGERALD	68,000	1,550.40
6	146 to 140 LIEBIG ST	R J ORR & J A WALSH	146A LIEBIG ST 146 LIEBIG ST	CHERRY LANE B & L EVERARD	46,200 76,200	1,055.76 1,727.76
			142A LIEBIG ST	CARHEL J FINN	76,200	1,737.36
			142 LIEBIG ST	H & S PALIOURAS	76,200	1,737.36
			140 LIEBIG ST	H & J PROUD	83,160	1,896.05
7	138 LIEBIG ST	WATERIAS BROS. P/L	138 LIEBIG ST	WATERIAS BROS	97,000	2,211.60
8	136 LIEBIG ST	APRES PTY LTD	136 LIEBIG ST	APRES PTY LTD	166,300	3,791.64
9	134 LIEBIG ST	ROBERT FRANGOS	134 LIEBIG ST	D & P ROUFOS	94,700	2,159.16
10	132 LIEBIG ST	ALINGA INVESTMENTS	132 LIEBIG ST	JOHN W TAYLOR	135,000	3,076.00
11	130A LIEBIG ST	G & H POLITES	130A LIEBIG ST	G & H POLITES	68,775	1,568.07
12	130 LIEBIG ST	LAANG NOMINEES P/L	130 LIEBIG ST	B.F.C. FINANCE LTD	65,000	1,482.00
13	128 LIEBIG ST	CORPORATION PROPERTIES LIMITED	128 LIEBIG ST	CORPORATION PROPERTIES LIMITED	143,300	3,267.24
14	122 LIEBIG ST	AUSTRALIAN MUTUAL PROVIDENT SOCIETY	122 LIEBIG ST	AUSTRALIAN MUTUAL PROVIDENT SOCIETY	251,800	5,741.04
15	120 LIEBIG ST	PERCIVAL STAFFORD	120 LIEBIG ST	PERCIVAL STAFFORD	92,400	2,106.72
16	118 LIEBIG ST	STATE BANK	118 LIEBIG ST GROUND FLOOR ROOM 1 ROOM 2 ROOM 3 ROOM 4 ROOM 5	STATE BANK VACANT SUSAN LAIDLAY VACANT VACANT VACANT	144,400 6,200 11,400 8,300 9,000 9,000	3,292.32 141.36 259.92 189.24 205.20 205.20
17	110 LIEBIG ST	WESTPAC BANKING CORPORATION	110 LIEBIG ST	WESTPAC BANKING CORPORATION	110,600	2,521.68
18	106 to 108 LIEBIG ST	PARKER NOMINEES P/L	106-108 LIEBIG ST SHOP 1 SHOP 2, 3 & 4a SHOP 4 SHOP 5 SHOP 6 SHOP 7 SHOP 8	ANZ TRAVEL CENTRE GOLDEN CROWN LEE CARTER'S BEAUTY SALON MANCHESTER UNITY I.O.O.F. GARRY PRICE ALTO SHOES VICTORIAN SAVINGS & LOAN SOCIETY	68,700 82,667 22,133 19,800 19,800 19,800 29,000	1,566.36 1,884.81 504.63 451.44 451.44 451.44 661.20
						61,310.00

Term - 10 years from 1 October 1984 to 30 September 1993.

Amount - \$61,310 p.a.

Number of ratepayers in the Separate Rate Scheme = 33.

**Ticket Machine Installation**

Parking ticket machines were introduced into the car park in September 2004, approximately 20 years after its construction.

**PARKERS CAR PARK SUMMARY**

Council was petitioned by a number of owners to implement a Separate Rate Scheme for the establishment of a regulated car park on the area known as "Parkers Car Park".

A Separate Rate Scheme was established with 33 ratepayers paying \$61,310p.a. for a 10 year period from 1984 to buy land and construct a regulated car park.

As detailed above, the owners petitioned Council to implement a Separate Rate Scheme. Neither the petition nor any of the supporting reports provide any evidence to support the free time limited theory. Nor do they make commentary on competing with Gateway Plaza.

**OZONE CAR PARK**

In 1986, Council received a petition from a number of owners of the land bounded by Liebig, Koroit, Kepler and Timor Streets requesting that Council levy a separate rate exclusively to establish an off street car park for the area now known as "Ozone Square Car Park" – refer Appendix C.

**Separate Rate Scheme – Terms & Conditions**

At the Council meeting held on 21 July 1986 Council resolved:-

*That the Council is of the opinion that works or undertakings authorised by the Local Government Act, namely the provision of car parking, drainage and rear access are for the special benefit of a particular portion of the municipal district, namely the rateable properties detailed in the attached Schedule 1, and hereinafter referred to in the subsequent resolutions as "the benefitting land".*

- (a) *To acquire the land not already owned by the Council shown within the heavy black line and hatched on Plan 2 attached hereto and rights of access over the roads and laneways leading thereto in this Petition called "the parking land" and to meet the Council's expenses in establishing the carpark including legal fees; the obtaining of any necessary approvals; Titles Office fees and expenditure in connection with the levying of the separate rate.*
- (b) *To establish paved carparking and access facilities on the parking land including but without limiting the generality thereof all works of construction, (including sealing) of the pavement, line marking, drainage, beautification, fencing, traffic and parking regulations markings including the bringing of control of the car parking area under the jurisdiction of the Road Traffic Act necessary to install a regulated public car park onto the parking land.*

Term - 10 years from 1 October 1986 to 30 September 1996.

Amount - \$91,300 p.a.

Number of ratepayers in the Separate Rate Scheme = 45.

**Ticket Machine Installation**

Parking ticket machines were introduced into the car park in September 2004, approximately 18 years after its construction.

**OZONE SQUARE CAR PARK SUMMARY**

Council was petitioned by a number of owners to implement a Separate Rate Scheme for the establishment of a regulated car park on the area known as "Ozone Square Car Park".

A Separate Rate Scheme was established with 45 ratepayers paying \$91,300p.a. for a 10 year period from 1986 to buy land and construct a regulated car park.

**CRAMOND & DICKSON CAR PARK**

The Cramond & Dickson Car Park was not a Separate Rate Scheme but was a complex series of land exchanges to enable construction of the car park at the rear of properties in the block bounded by Liebig, Timor, Banyan and Koroit Streets.

The car park was constructed by Council in 1999.

**Ticket Machine Installation**

Ticket machines were installed in the Cramond & Dickson car park in October 2000 by resolution of Council dated 25 October 1999 – refer Appendix D.

There is no mention of free car parking in the reports or resolutions of Council for the Cramond and Dickson car park.

**1101**Warrnambool City Council  
Minutes for Ordinary Meeting6 June 2016  
Page | 197**MOVED: CR. ERMACORA**  
**SECONDED: CR. NEOH**

That the report be received and the contents noted and that no further action be taken.

**CARRIED – 5:1****Crs. Ermacora, Neoh, Gaston, Askew & Sycopoulos voting for the motion****Cr. Kelson voting against the motion**

*Cr. Hulin returned to the meeting at 7.34pm.*



Warrnambool City Council  
Minutes for Ordinary Meeting1102  
6 June 2016  
Page | 198**APPENDIX A**

794

TOWN CLERK'S REPORT 29/84

27 April 1984

His Worship the Mayor  
and Councillors  
CITY OF WARRNAMBOOL

Dear Councillors

SUGGESTED PROCEDURE FOR COUNCIL TO CONSIDER THE PETITION FOR THE SEPARATE RATE  
TO BE LEVIED ON THE OWNERS AND OCCUPIERS OF PROPERTIES IN THE AREA OF LIEBIG STREET,  
EAST SIDE, BETWEEN LAVA AND KOROTT STREETS

1. A petition has been presented to Council for the making and levying of a separate rate on certain properties within Section 19 Township of Warrnambool Parish of Wangoom for the purpose of the provision of car parking and rear access.

SUGGESTION RESOLUTION:

"That the petition as presented be received."

2. The Local Government Act does not provide a "prescribed form" for a separate rate petition. The petition presented to the Council is signed by a majority of the occupiers of property in respect of which the rate is proposed to be made and levied, and is signed by in excess of one third of the owners of such property which owners in turn are the owners of property in respect of which more than one third of the total amount to be levied for the first year on account of such rate will be payable. The provisions of Section 279 of the Local Government Act have been complied with.
3. The petition:-
  - (a) Describes the property in respect of which the rate is sought to be made and levied;
  - (b) States the amount in the dollar which such rate is not to exceed; and
  - (c) Provides that no part of the proceeds of the rate is to be applied to maintain the works and undertakings. The provisions of Section 280 of the Act have been complied with.
4. The petition prays that the rate be made and levied at an equal amount in the dollar in respect of all the rateable property in respect of which the rate is to be made and levied, and the provisions of Section 281 of the Act have been complied with.

.../2

*AWA*

1103

Warrnambool City Council  
Minutes for Ordinary Meeting6 June 2016  
Page | 199

795

PAGE 2

TOWN CLERK'S REPORT 29/84

5. The City Engineer is of the opinion that the works and undertakings sought to be financed by the separate rate are works and undertakings which are authorised by the Local Government Act, and are works which will benefit specially the particular portion of the municipality which is referred to in the petition as "the benefitting land".

SUGGESTED RESOLUTION:

"That the Council undertake the necessary processes to make and levy a separate rate in respect of the rateable properties in the municipalities which are described in Schedule 1 to the petition and are defined as "the benefitting land",

AND that for this purpose:-

- (a) The Town Clerk and City Engineer prepare an estimate of the cost of the proposed works and undertakings and all other expenditure in connection with the proposed separate rate;
  - (b) The Town Clerk prepare a report to Council to enable the Council to form an opinion on the sufficiency or otherwise of the rate to meet the costs and expenses in connection with the works and undertakings and the proposed rate;
  - (c) That the Town Clerk cause notice of intention to make the separate rate to be advertised by the Council in the Warrnambool Standard on or before Saturday 12 May 1984.
6. That the making and levying of the separate rate in accordance with the prayer of the petition be listed as an item for business at the next Ordinary meeting of Council on Tuesday 22 May 1984.
7. ADDITIONAL MATTERS TO BE CONSIDERED AS A CONSEQUENCE OF THE SEPARATE RATE PETITION
- (a) Owners of properties referred to in the petition as the parking land have offered to sell their land to the Council in furtherance of the proposed project. To expedite the project, and to comply with the formalities concerning the application of funds to be raised by the proposed separate rate, it is desirable immediately to enter into conditional contracts to purchase the land to be acquired under the separate rating scheme. Such contracts, in addition to other usual conveyancing conditions (being conditional on subdivision etc) will need to contain a condition to the effect that approval from the Governor in Council finally confirming the separate rate as provided by Section 286 of the Act, will be required before such contracts can be finally settled.
  - (b) In the discussions leading to the offer by Mesdames Orr & Walsh to sell part of their lands to the Council, the vendors sought to make it a condition that their remaining land (which will be part of the land upon which the separate rate is levied) will be free from any further liability for car parking requirements. Further, in the meetings between the owners of the benefitting land intended to be rated and Council officers, it has been proposed that the benefitting land should be permitted to be developed to ground and second storey level (in relation to Liebig Street) to the depth of the proposed "rear building building line" without further requirement under the Planning Scheme for the provision of car parking spaces. The City Solicitor has .../3

TOWN CLERK'S REPORT 29/84

advised that in the absence of applications for permits for development from the owners, (and of course any applications probably would be purely speculative), the present scheme does not allow the Council either as the Council, or as the responsible authority under the Town & Country Planning Act to grant blanket exemptions as proposed. Following a recent amendment to the Planning Act, it would be possible to achieve the exemptions by separate agreements with each owner, but the cost of this procedure is high and the method generally would not be satisfactory for the Council in the long term view. It is proposed that the matter of exemptions from car parking responsibility under the Planning Schemes should be covered by an appropriate amendment to the Planning Scheme.

SUGGESTED RESOLUTION:

- (a) "That the City of Warrnambool as the Responsible Authority for the City of Warrnambool Planning Scheme authorise the City Engineer to prepare for Council consideration, on approval by the Governor in Council of the separate rate for the area east of Liebig Street, between Lava and Koroit Streets, an amendment to the City of Warrnambool Planning Scheme to provide for permitted development of the benefitting land as described in the petition to ground floor and second storey (in relation to Liebig Street level) and to a depth to the eastern boundary of the benefitting land as shown on Plan 1 attached to the petition, the rear building line, without the requirement for further car parking provision to be made in respect of such development."
- (b) "That subject to the City Solicitor's approval of the titles, that Council proceed to enter into such contracts, (in addition to any other required or usual conditions) being conditional on the Governor in Council confirming the separate rate to purchase the required land from:
- (a) P.T. Parker (Holdings) Pty Ltd
- and
- (b) K.R. Parker Pty Ltd for the total sum of \$372,500.
- (c) From Mesdames R.J. Orr & J.A. Walsh  
for the total sum of \$75,000, with the Council to pay all legal costs associated with the transaction.
- (d) from Elmhurst Hotels Pty Ltd  
for the total sum of \$45,000.

.../4



1105

Warrnambool City Council  
Minutes for Ordinary Meeting

6 June 2016  
Page | 201

797

PAGE 4

TOWN CLERK'S REPORT 29/84

8. SPECIAL CONDITION FOR ORR & WALSH CONTRACTS

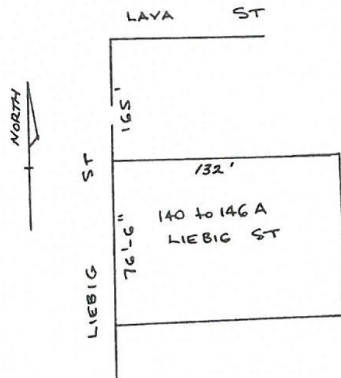
SUGGESTED RESOLUTION:

"That the purchaser (Council) undertakes to use its best endeavours to obtain on or before 30 September 1985, approval for an amending Planning Scheme, for that part of the City of Warrnambool including the land hereby sold, whereby the vendors in respect of their properties known as 140-146 Liebig Street being part of Crown Allotment 11 Section 19 and being part of Lot 1 on lodged Plan No. 125171 being and develop all of the land for commercial purposes as defined in the City of Warrnambool Planning Scheme to the boundaries as designated on the Plan at ground floor level and second floor level, without provision of further car parking spaces as under the required Planning Scheme.

If the said amendment to the City of Warrnambool Planning Scheme has not been approved pursuant to the provisions of the Town Planning Act on or before 30 September 1985, the Council pursuant to Section 52A of the Town Planning Act will enter into an agreement with the vendors or their successors in title, regarding the use and development of the whole of the said land.

Yours faithfully,

V. G. ROBSON  
TOWN CLERK



*Handwritten signatures and initials.*

798

26 April 1984

TO:

THE MAYOR, COUNCILLORS AND CITIZENS OF THE CITY OF WARRNAMBOOL,  
TOWN HALL,  
WARRNAMBOOL.

PETITION FOR SEPARATE RATE FOR PURPOSE OF PROVIDING OFF-STREET  
PARKING FACILITIES

We, the undersigned being respectively occupiers and owners of the properties referred to in Schedule 1 hereto (the benefitting land hereinafter defined) in respect of which the rate hereinafter mentioned is sought to be made and levied RESPECTFULLY HEREBY PETITION AND PRAY that the Mayor Councillors and Citizens of the City of Warrnambool ("the Council") shall see fit and deem expedient:-

1. For the purpose of providing off street car parking and access within and over the land delineated and shown hatched Plan 2 attached ("Plan 2") ("the parking land") servicing commercial premises in and being parts of Crown Allotments 12, 13 and 14 and the whole of Crown Allotment of Section Township of Wrrnambool Parish of Wangoom being the land delineated and shown hatched on Plan 1 and listed in Schedule 1 ("the benefitting land") forthwith to acquire the parking land and on it to carry out the works and undertakings described in Schedule 2 for the purpose of establishing on the parking land provision for car parking and access to the rear of the benefitting land which works and undertakings herein are called "the Car park works"; and
2. For the purposes of meeting the cost of the Car park works TO MAKE AND LEVY in the manner hereinafter in paragraph 1 prescribed a rate ("the separate rate") in respect of rateable property within the municipality for which the Car park works are of special benefit namely the benefitting land only;
3. AND we further PRAY that the separate rate:

1107

Warrnambool City Council  
Minutes for Ordinary Meeting6 June 2016  
Page | 203

799

- 2 -

- (a) be assessed on the site value of the benefitting land as adopted on 22/11/1983 by the Council in fixing the General Rate for the benefitting land for the year ending 30/9/1984 and be at an amount in the dollar of such valuation which shall not exceed 2.28 cents in the dollar; and
  - (b) be made and levied in respect of all the benefitting land at an equal amount in the dollar; and
  - (c) make no allowance for any part of the proceeds of the rate to be applied in maintaining the Car park works after the works and undertakings are completed; and
  - (d) be applied to the execution of the Car park works the purchase of land and materials for the Car park works and expenses connected with the foregoing; and
  - (e) be levied in respect of the municipal years commencing 1/10/1984 to 1/10/1993 inclusive;
4. AND we further join with and incorporate our Petition with the petition of all other owners and occupiers respectively of benefitting land who by this Petition or by a Petition in the same wording and form as this Petition have made the same prayer to the Council for car parking and access facilities for the benefitting land this 30th day of April, 1984.

Schedule 1

Lists of owners and occupiers of benefitting land with Plan 1 attached.

The land intended to be subject to the separate rate is the land shown enclosed by the heavy black line on Plan 1 and shown hatched being the properties listed in this Schedule and in this Petition called "the benefitting land".

*Ante*



800

- 3 -

Schedule 2

The works and undertakings prayed to be carried out. The works described in this Schedule are the works which your petitioners seek effected and in this Petition are called "the Car park works".

1. To acquire the land shown within the heavy black line and hatched on Plan 2 attached hereto and rights of access over the roads and laneways leading thereto in this Petition called "the parking land".
2. To establish paved car parking and access facilities on the parking land including but without limiting the generality thereof all works of sealing the pavement, line marking and obtaining Road Traffic Act approval, drainage, beautification, fencing, traffic and parking regulation markings and all works necessary to instal a regulated public car park onto the parking land.
3. The Council's expenses in establishing the car park including legal fees the obtaining of any necessary approvals, Titles Office fees and any expenditure in connexion with the levying of the separate rate.
4. Your petitioners estimate the cost of the car park works to be as follows:-

Paragraph 1 above	\$500,000
Paragraph 2 above	100,000
Paragraph 3 above	<u>13,100</u>
Total	\$613,100

*data*

1109

Warrnambool City Council  
Minutes for Ordinary Meeting

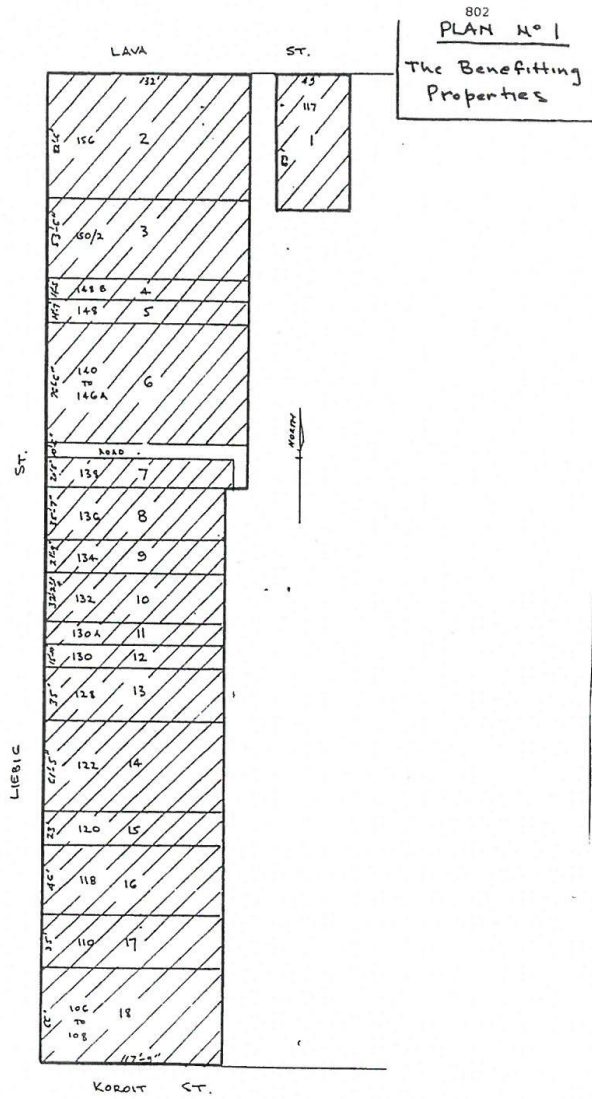
6 June 2016  
Page | 205

801  
SCHEDULE 1

LIST OF OWNERS AND OCCUPIERS BENEFITTING LAND

Property No	Location	Owner	Premises Occupation Listing	Occupier	Site Value	Rate Payable 2.28% p.a.
1	117 LAVA ST	STH WEST CREDIT UNION	117 LAVA ST	STH WEST CREDIT UNION	60,000	1,368.00
2	156 LIEBIG ST	ELMHURST HOTELS P/L	156 LIEBIG ST	ELMHURST HOTELS	246,000	5,554.40
3	150/152 LIEBIG	SELPAN PTY LTD	150/152 LIEBIG ST	CLARK RUBBER	212,000	4,833.60
4	148B LIEBIG ST	APRES PTY LTD	148B LIEBIG ST	BARB'S HAIRDRESSING	68,000	1,550.40
5	148 LIEBIG ST	M FITZGERALD	148 LIEBIG ST	M FITZGERALD	68,000	1,550.40
6	146 to 140 LIEBIG ST	R J ORR & J A WALSH	146A LIEBIG ST	CHERRY LANE	46,200	1,053.24
			146 LIEBIG ST	B & L EVERARD	76,200	1,737.24
			142A LIEBIG ST	CARNEL J FINN	76,200	1,737.24
			142 LIEBIG ST	H & S PALIOURAS	76,200	1,737.24
			140 LIEBIG ST	M & J PROUD	83,160	1,896.48
7	138 LIEBIG ST	MATERIAS BROS. P/L	138 LIEBIG ST	MATERIAS BROS	97,000	2,211.60
8	136 LIEBIG ST	APRES PTY LTD	136 LIEBIG ST	APRES PTY LTD	166,300	3,791.04
9	134 LIEBIG ST	ROBERT FRANGOS	134 LIEBIG ST	D & P ROUFOS	94,700	2,159.16
10	132 LIEBIG ST	ALLINGA INVESTMENTS	132 LIEBIG ST	JOHN M TAYLOR	135,000	3,076.80
11	130A LIEBIG ST	G & H POLITES	130A LIEBIG ST	G & H POLITES	68,775	1,568.41
12	130 LIEBIG ST	LAANG NOMINEES P/L	130 LIEBIG ST	S.F.C. FINANCE LTD	65,000	1,482.00
13	128 LIEBIG ST	CORPORATION PROPERTIES LIMITED	128 LIEBIG ST	CORPORATION PROPERTIES LIMITED	143,300	3,267.24
14	122 LIEBIG ST	AUSTRALIAN MUTUAL PROVIDENT SOCIETY	122 LIEBIG ST	AUSTRALIAN MUTUAL PROVIDENT SOCIETY	251,800	5,741.76
15	120 LIEBIG ST	PERCIVAL STAFFORD	120 LIEBIG ST	PERCIVAL STAFFORD	92,400	2,106.72
16	118 LIEBIG ST	STATE BANK	118 LIEBIG ST GROUND FLOOR	STATE BANK	144,400	3,292.32
			ROOM 1	VACANT	6,200	141.24
			ROOM 2	SUSAN LAIDLAW	11,400	258.24
			ROOM 3	VACANT	8,300	189.12
			ROOM 4	VACANT	9,000	205.20
			ROOM 5	VACANT	9,000	205.20
17	110 LIEBIG ST	WESTPAC BANKING CORPORATION	110 LIEBIG ST	WESTPAC BANKING CORPORATION	110,600	2,521.68
18	106 to 108 LIEBIG ST	PARKER NOMINEES P/L	106-108 LIEBIG ST			
			SHOP 1	ANZ TRAVEL CENTRE	68,700	1,566.72
			SHOP 2,3 & 4a	GOLDEN CROWN	82,667	1,884.46
			SHOP 4	LEE CARTER'S BEAUTY SALON	22,133	504.00
			SHOP 5	MANCHESTER UNITY I.O.O.F.	19,800	451.68
			SHOP 6	GARRY PRICE	19,800	451.68
			SHOP 7	ALTO SHOES	19,800	451.68
			SHOP 8	VICTORIAN SAVINGS & LOAN SOCIETY	29,000	661.20
						61,310.40

*Auto*







Warrnambool City Council  
Minutes for Ordinary Meeting

1112  
6 June 2016  
Page | 208

**APPENDIX B**

832

MINUTES 22/5/1984

29/...

EXTRA-ORDINARY BUSINESS

TOWN CLERK'S REPORT 39/84 - SEPARATE RATING SCHEME

Cr. Parker declared an interest and retired from the meeting

Cr. Patterson/Cr. McCormack

1. That the Council is of the opinion that works or undertakings authorised by the Local Government Act, namely the provision of car parking and rear access, are for the special benefit of a particular portion of the municipal district namely the following rateable properties :-

.../30  
*dh*

1113

Warrnambool City Council  
Minutes for Ordinary Meeting

6 June 2016  
Page | 209

833

MINUTES 22/5/1984

30/...

EXTRA-ORDINARY BUSINESS (CONT.)

Property No	Location	Owner	Premises Occupation Listing	Occupier	Site Value	Rate Payable + 2.28% in 5
1	117 LAVA ST	STH WEST CREDIT UNION	117 LAVA ST	STH WEST CREDIT UNION	60,000	1,368.00
2	156 LIEBIG ST	ELMHURST HOTELS P/L	156 LIEBIG ST	ELMHURST HOTELS	245,000	5,654.40
3	150/152 LIEBIG	SELPAM PTY LTD	150/152 LIEBIG ST	CLARK RUDDER	212,000	4,833.60
4	148B LIEBIG ST	APRES PTY LTD	148B LIEBIG ST	BARB'S HAIRDRESSING	68,000	1,550.40
5	148 LIEBIG ST	M FITZGERALD	148 LIEBIG ST	M FITZGERALD	68,000	1,550.40
6	146 to 140 LIEBIG ST	R J ORR & J A WALSH	146A LIEBIG ST	CHERRY LANE	46,200	1,055.75
			146 LIEBIG ST	B & L EVEARD	76,200	1,727.25
			142A LIEBIG ST	CARHEL J FINN	76,200	1,737.36
			142 LIEBIG ST	H & S PALIOURAS	76,200	1,737.36
			140 LIEBIG ST	M L J PROUD	83,160	1,886.05
7	138 LIEBIG ST	MATERIAS BROS. P/L	138 LIEBIG ST	MATERIAS BROS	97,000	2,211.60
8	136 LIEBIG ST	APRES PTY LTD	136 LIEBIG ST	APRES PTY LTD	166,300	3,791.64
9	134 LIEBIG ST	ROBERT FRANGOS	134 LIEBIG ST	D & P ROUFOS	94,700	2,159.16
10	132 LIEBIG ST	ALLINGA INVESTMENTS	132 LIEBIG ST	JOHN W TAYLOR	135,000	3,076.00
11	130A LIEBIG ST	G & H POLITES	130A LIEBIG ST	G & H POLITES	68,775	1,568.07
12	130 LIEBIG ST	LAANG NOMINEES P/L	130 LIEBIG ST	B.F.C. FINANCE LTD	65,000	1,482.00
13	128 LIEBIG ST	CORPORATION PROPERTIES LIMITED	128 LIEBIG ST	CORPORATION PROPERTIES LIMITED	143,300	3,267.24
14	122 LIEBIG ST	AUSTRALIAN MUTUAL PROVIDENT SOCIETY	122 LIEBIG ST	AUSTRALIAN MUTUAL PROVIDENT SOCIETY	251,800	5,741.04
15	120 LIEBIG ST	PERCIVAL STAFFORD	120 LIEBIG ST	PERCIVAL STAFFORD	92,400	2,106.72
16	118 LIEBIG ST	STATE BANK	118 LIEBIG ST	STATE BANK	144,400	3,292.32
			GROUND FLOOR			
			ROOM 1	VACANT	6,200	141.36
			ROOM 2	SUSAN LAIDLAW	11,400	259.92
			ROOM 3	VACANT	8,300	189.24
			ROOM 4	VACANT	9,000	205.20
			ROOM 5	VACANT	9,000	205.20
17	110 LIEBIG ST	WESTPAC BANKING CORPORATION	110 LIEBIG ST	WESTPAC BANKING CORPORATION	110,600	2,521.68
18	106 to 108 LIEBIG ST	PARKER NOMINEES P/L	106-108 LIEBIG ST			
			SHOP 1	ANZ TRAVEL CENTRE	68,700	1,566.36
			SHOP 2,3 & 4a	GOLDEN CROWN	82,667	1,884.81
			SHOP 4	LEE CARTER'S BEAUTY SALON	22,133	504.63
			SHOP 5	MANCHESTER UNITY I.O.O.F.	19,600	451.44
			SHOP 6	GARRY PRICE	19,800	451.44
			SHOP 7	ALTO SHOES	19,800	451.44
			SHOP 8	VICTORIAN SAVINGS & LOAN SOCIETY	29,000	661.20
						61,310.00

hereinafter referred to in the subsequent resolutions as "the benefitting land."

2. That Council notes that it has been presented with a petition praying the Council to make and levy a separate rate exclusively in respect of the benefitting land, which petition has been properly signed and complies with the requirements of Section 279, 280 and 281 of the Local Government Act, the prayer of which is that a separate rate be made and levied in respect of the benefitting land, following which Council on 30 April 1984 resolved to undertake the formal requirements to make and levy the separate rate; and the Town Clerk and City Engineer have presented at this meeting an estimate of the cost of the proposed works and undertakings and all other expenditure in connection with such rate and a statement of the manner in which the monies raised by the rate will be applied to meet such costs and expenses with no amount being necessary for payment of interest since no monies are to be borrowed to complete the works and undertakings; and the Council further notes that "notice of intention to make the separate rate" has been given in the Warrnambool Standard, a newspaper generally circulating in the

*Handwritten signature*



Warrnambool City Council  
Minutes for Ordinary Meeting1114  
6 June 2016  
Page | 210

MINUTES 22/4/1984

834

31/...

EXTRA-ORDINARY BUSINESS (CONT.)

City of Warrnambool on 11 and 12 May 1984, complying with the requirements of Section 284(2) of the Local Government Act, and that Council has authorised the acquisition of certain land by contracts of sale which are the lands upon which the works and undertakings (which are the subject of the prayer of the petition) are proposed to be constructed, and in the petition are called "the parking land."

3. That Council is of the opinion that the land to be acquired by the Council by contract from Orr & Walsh, from Elmhurst Hotels Pty Ltd, from K.R. Parker Pty Ltd, and from P.T. Parker Holdings Pty Ltd is suitable for the works and undertakings for which it is proposed that the separate rate be made.
4. That in order for the Council to raise the total of \$613,100 the Council hereby makes and levies a rate on the following properties in the sum of 2.28 cents in the dollar such rate to be levied in the years commencing 1/10/1984 and concluding on the 30/9/1993; the rate shall be levied on the site valuations of the rateable properties listed in the following schedule, such site valuations being the valuations used for the purpose of calculating the general rate made by the Council on the 23/11/1983.

Property No	Location	Owner	Premises Occupation Listing	Occupier	Site Value	Rate Payable @ 2.28c in \$
1	117 LAVA ST	STH WEST CREDIT UNION	117 LAVA ST	STH WEST CREDIT UNION	60,000	1,368.00
2	156 LIEBIG ST	ELMHURST HOTELS P/L	156 LIEBIG ST	ELMHURST HOTELS	245,000	5,654.40
3	150/152 LIEBIG	SELPAN PTY LTD	150/152 LIEBIG ST	CLARK RUBBER	212,000	4,833.60
4	148B LIEBIG ST	APRES PTY LTD	148B LIEBIG ST	BARB'S HAIRDRESSING	68,000	1,550.40
5	148 LIEBIG ST	W FITZGERALD	148 LIEBIG ST	W FITZGERALD	68,000	1,550.40
6	146 to 140 LIEBIG ST	R J ORR & J A WALSH	146A LIEBIG ST 146 LIEBIG ST  142A LIEBIG ST 142 LIEBIG ST 140 LIEBIG ST	CHERRY LAKE B & L EVERARD  CARHEL J FINN H & S PALIOURAS M & J PROUD	46,200 76,200  76,200 76,200 83,160	1,053.72 1,737.36  1,737.36 1,737.36 1,896.05
7	138 LIEBIG ST	MATERIAS BROS. P/L	138 LIEBIG ST	MATERIAS BROS	97,000	2,211.60
8	136 LIEBIG ST	APRES PTY LTD	136 LIEBIG ST	APRES PTY LTD	166,300	3,791.64
9	134 LIEBIG ST	ROBERT FRANGOS	134 LIEBIG ST	D & P ROUFOS	94,700	2,159.16
10	132 LIEBIG ST	ALLINGA INVESTMENTS	132 LIEBIG ST	JOHN W TAYLOR	135,000	3,076.00
11	130A LIEBIG ST	G & H POLITES	130A LIEBIG ST	G & H POLITES	68,775	1,568.07
12	130 LIEBIG ST	LAANG NOMINEES P/L	130 LIEBIG ST	B.F.C. FINANCE LTD	65,000	1,482.00
13	128 LIEBIG ST	CORPORATION PROPERTIES LIMITED	128 LIEBIG ST	CORPORATION PROPERTIES LIMITED	143,300	3,267.24
14	122 LIEBIG ST	AUSTRALIAN MUTUAL PROVIDENT SOCIETY	122 LIEBIG ST	AUSTRALIAN MUTUAL PROVIDENT SOCIETY	251,800	5,741.04
15	120 LIEBIG ST	PERCIVAL STAFFORD	120 LIEBIG ST	PERCIVAL STAFFORD	92,400	2,106.72
16	118 LIEBIG ST	STATE BANK	118 LIEBIG ST GROUND FLOOR ROOM 1 ROOM 2 ROOM 3 ROOM 4 ROOM 5	STATE BANK  VACANT SUSAN LAIDLAW VACANT VACANT VACANT	144,400  6,200 11,400 8,300 9,000 9,000	3,292.32  141.36 259.52 189.24 205.20 205.20
17	110 LIEBIG ST	WESTPAC BANKING CORPORATION	110 LIEBIG ST	WESTPAC BANKING CORPORATION	110,600	2,521.68
18	106 to 108 LIEBIG ST	PARKER NOMINEES P/L	106-108 LIEBIG ST SHOP 1 SHOP 2, 3 & 4 SHOP 4 SHOP 5 SHOP 6 SHOP 7 SHOP 8	ANZ TRAVEL CENTRE GOLDEN CROWN LEE CARTER'S BEAUTY SALON MANCHESTER WHITY I.O.O.F. CARRY PRICE ALTO SHOES VICTORIAN SAVINGS & LOAN SOCIETY	68,700 82,667 22,133 19,800 19,800 19,800 29,000	1,566.36 1,884.81 504.63 451.44 451.44 451.44 661.20
					61,310.00	

1115

Warrnambool City Council  
Minutes for Ordinary Meeting6 June 2016  
Page | 211

MINUTES 22/4/1984

32/...

EXTRA-ORDINARY BUSINESS (CONT.)

5. That the separate rate is made and levied for the purposes of the following works and undertakings:-
- (a) provision of off street car parking and rear access within and over the land delineated and shown hatched on Plan 2 accompanying the petition for the separate rate, and servicing the commercial premises in and being part of Crown Allotments 10, 12, 13 and 14, and the whole of Crown Allotment 11 of Section 19 Township of Warrnambool, Parish of Wangoom being the land delineated and shown hatched on Plan 1 and listed in Schedule 1 in the petition for the separate rate as the "benefitting land."
- (b) acquisition of the parking land, and on it to carry out the works and undertakings described in Schedule 2 for the purpose of establishing on the parking land, provision for car parking and access to the rear of the benefitting land, including payment of legal, survey, valuation and associated costs for the acquisition of such parking land.

AMENDMENT

Cr. Barham/Cr. Daffy

That Council renegotiate for the purchase of the property prior to making a decision on the striking of the separate rate.

AMENDMENT LOSTVoting 3 in favor  
6 againstTHE MOTION WAS THEN PUT AND CARRIEDVoting 6 in favor  
3 against

**APPENDIX C**

MINUTES 21/07/86

20/...

**8. Notices of Motion**Notice of Motion No. 1914

Cr. Barham declared an interest and retired from the meeting.

Cr. Patterson/Cr. Crouch

Separate Rate for properties within the block bounded by Liebig, Koroit, Kepler and Timor Streets

1. That the Council is of the opinion that works or undertakings authorised by the Local Government Act, namely the provision of car parking, drainage and rear access are for the special benefit of a particular portion of the municipal district, namely the rateable properties detailed in the attached Schedule 1, and hereinafter referred to in the subsequent resolutions as "the benefitting land".

2. That Council notes that it has been presented with a petition praying the Council to make and levy a separate rate exclusively in respect of the benefitting land, which petition has been properly signed and complies with the requirements of the Local Government Act, the prayer of which is that a separate rate be made and levied in respect of the benefitting land, following which Council on 7th July, 1986 resolved to undertake the formal requirements to make and levy the separate rate;

and the Town Clerk and City Engineer have presented at this meeting an estimate of the cost of the proposed works and undertakings and all other expenditure in connection with such rate and a statement of the manner in which the monies raised by the rate will be applied to meet such costs and expenses, and the interest associated with a loan of \$475,000 required to complete the works and undertakings;

and the Council further notes that "Notice of Intention to Make a Separate Rate" has been given in the Warrnambool Standard, a newspaper generally circulated in the City of Warrnambool on 9th and 10th July, 1986 complying with the requirements of Section 284(2) of the Local Government Act, and that Council has authorised the acquisition of certain lands which are the lands upon which the separate rate proposals (which are the subject of the prayer of the petition) are proposed to be constructed, and in the petition are called "the parking land".

3. That Council is of the opinion that the land to be acquired by the Council from the following private property owners:-

Uniting Church Trustees	- rear 145-149 Timor Street
M.F. Trewartha & I.A Nosedo	- rear 167 Koroit Street
Ronsar Pty. Ltd.	- rear 196 Timor Street
Conn's Home Made Cakes Pty. Ltd.	- rear 194 Timor Street
C.R. & N.K. De Grandi	- rear 168-182 Timor Street

Estimated total cost of acquisition including legal costs - \$200,000

Ad) .../21



1117

Warrnambool City Council  
Minutes for Ordinary Meeting6 June 2016  
Page | 213

126

MINUTES 21/07/86

21/...

8. Notices of MotionNotice of Motion No. 1914 (Cont)

and

Land to be purchased for rear access to properties and access  
to carpark area from:-

Taypack Nominees Pty. Ltd.	- rear 85-87 Liebig Street
Thalel Nominees Pty. Ltd.	- rear 69 Liebig Street
M.J.Reinstein & M.A. Ziebell	- rear 59-67 Liebig Street
and Liebig Investments Pty. Ltd.	

Estimated total cost of acquisition including legal costs -  
\$5,000.are suitable for the works and undertakings for which it is  
proposed that the separate rate be made.Further, that in order for Council to raise annually the sum  
of \$91,300 over a period of ten years commencing as from 1st  
October, 1986, the Council hereby makes and levies a rate on  
the following properties in the sum of 2.08 cents in the dollar  
on site values. The site valuations of the rateable properties  
included in the rate shall be the valuation or valuations of  
the properties contained in Schedule 1 attached, for the purpose  
of the general rate made by the Council on 5th November, 1985,  
as listed in the said Schedule 1 attached.

4. The separate rate is made and levied for the purpose of the  
following works and undertakings and to pay interest attaching  
with the provisions of a loan of \$475,000:-
- (a) To acquire the land not already owned by the Council shown  
within the heavy black line and hatched on Plan 2 attached  
hereto and rights of access over the roads and laneways  
leading thereto in this Petition called "the parking land"  
and to meet the Council's expenses in establishing the  
carpark including legal fees; the obtaining of any necessary  
approvals; Titles Office fees and any expenditure in connection  
with the levying of the separate rate.
  - (b) To establish paved carparking and access facilities on  
the parking land including but without limiting the generality  
thereof all works of construction, (including sealing)  
of the pavement, line marking, drainage, beautification,  
fencing, traffic and parking regulations markings including  
the bringing of control of the car parking area under  
the jurisdiction of the Road Traffic Act necessary to  
instal a regulated public car park onto the parking land.

CARRIED

Cr. Barham returned to the meeting.

.../20

K21

MINUTES 21/7/1986

22/...

1254

Notice of Motion No.1914 (Cont.)

SCHEDULE I

TABLE OF BENEFITTING LANDS - OWNERS AND OCCUPIERS AT 2/6/1986

PROPERTY NO. SCHEME	RATE RECEIPTS	LOCATION	OWNER	OCCUPATION LISTING	OCCUPIER	SITE VALUE	RATE PAYABLE AT 2.0% IN \$	OWN/OCC
1		158-160 TIMOR STREET	E.L. & G. McENZIE 21 Banyan Street	158 TIMOR STREET 160 TIMOR STREET (FLAT) 160 TIMOR STREET (SHOP) 150 TIMOR STREET (REAR FLAT) 158 TIMOR STREET (ABOVE FLAT)	J.P.W. DONOHUE 158 Timor Street DIANNE WILLMAN Above 160 Timor St. BERNINA SEWING MACHING CO. 160 Timor Street EDVIN FOGARTY Near 158 Timor St. FRANCIS EDWARD Above 158 Timor St.	14665 7330 18340 7330 7330	305.00 152.45 381.50 152.45 152.45	OWN OCC OCC OCC OCC
2		162 TIMOR STREET	HAMBPOOL PTY LTD 5 Dryden Street Hamilton 3000	162 TIMOR STREET	A.N.Z. BANKING GROUP 141 Liebig Street	50000	1040.00	OWN OCC
3		164-166 TIMOR STREET	MORPHY HOHINEES PTY LTD C/- Hancock & O'Leary, 29th Fl. 367 Collins St. Melbourne 3000	164 TIMOR STREET (FLAT ABOVE) 164 TIMOR STREET 166 TIMOR STREET (FLAT ABOVE) 166 TIMOR STREET (SHOP)	VACANT WARRNAMBOOL & DISTRICT BAKERY 164 Timor Street VACANT A. SHANNAHAN & C. HAST 166 Timor Street	7265 95600 7265 22370	151.10 1988.50 151.10 465.30	OWN OCC OCC OCC
4		166-170 TIMOR STREET	H.W. & S.E. SMART 46 Pecton Avenue Warrnambool	166-170 TIMOR STREET	H.W. & S.E. SMART 46 Pecton Avenue	75000	1560.00	OWN OCC
5		172-174 TIMOR STREET	DE GRANDI SPORTS GOODS PTY LTD 180 Timor Street Warrnambool	172-174 TIMOR STREET	J.H. & G.J. REID 117 Stone Street	65550	1362.40	OWN OCC
6		176 TIMOR STREET	J. DOULL 10 Flaxman Street Warrnambool	176 TIMOR STREET	STRINGER, CLARK & CO. 176 Timor Street	22500	468.00	OWN OCC
7		178-182 TIMOR STREET	C.R. & H.E. DE GRANDI 178/182 Timor St.	178-182 TIMOR STREET	C.R. & H.E. DE GRANDI 178/182 Timor St.	140000	2912.00	OWN OCC
8		186 TIMOR STREET	F.ST.G.D & E.H. HOLYMAN 290 Timor Street	186 TIMOR STREET (FLAT ABOVE) 186 TIMOR STREET (SHOP)	F. HADISON Above 186 Timor St. V.P. AMARANT Commercial Road Loret 3282	25700 31300	534.55 651.00	OWN OCC OCC

.../23

*Handwritten mark*

1119

Warrnambool City Council  
Minutes for Ordinary Meeting6 June 2016  
Page | 215

1255

MINUTES 21/7/1986

23/...

Notice of Motion No. 1914 (Cont.)

PROPERTY NOS.		LOCATION	OWNER	OCCUPATION LISTING	OCCUPIER	SITE VALUE	RATE PAYABLE AT 2.05% IN \$	OWN/OCC
SHEDS	RAIL REEDS							
9		188 TIMOR STREET	I.M. BRITTAIN 9 Barkly Street Warrnambool	188 TIMOR STREET	I.M. BRITTAIN 9 Barkly Street	50000	1040.00	OWN OCC
10		190 TIMOR STREET	RON SAR PTY LTD 98 Jamieson Street Warrnambool	190 TIMOR STREET (SHOP FLAT & REAR)	BRIAN SPONG 190 Timor Street	58500	1216.80	OWN OCC
11		192 TIMOR STREET	C.G.L SPEED 14 Koroit Street Warrnambool	192 TIMOR STREET	C.G.L. SPEED 14 Koroit Street	30300	796.65	OWN OCC
12		194 TIMOR STREET	CORN'S HOME MADE CAKES PTY LTD 861 Hagley Pde Warrnambool	194 TIMOR STREET (SHOP & REAR)	K.F. JOHNSON 194 Timor Street	49500	1029.60	OWN OCC
13		196 TIMOR STREET	RON SAR PTY LTD 98 Jamieson Street Warrnambool	196 TIMOR STREET (REAR)	PETER JOHNSON 196 Timor Street	13000	270.40	OWN OCC
				196 TIMOR STREET (SEF & FLAT ABOVE)	PETER JOHNSON 196 Timor Street	40000	832.00	OCC
14		198 TIMOR STREET	WARRNAMBOOL POTTERS WHEEL 74 Leighb Street Warrnambool	198 TIMOR STREET (SHOP)	JANETTE DALEY 198 Timor Street	27150	564.70	OWN OCC
				198 TIMOR STREET (FLAT ABOVE & REAR)	JANETTE DALEY 198 Timor Street	11850	246.50	OCC
15		200 TIMOR STREET	WARRNAMBOOL CITY COUNCIL	200 TIMOR STREET	T.A.F.E. COLLEGE	81500	1695.20	OWN OCC
16		214 TIMOR STREET	WARRNAMBOOL CITY COUNCIL	214 TIMOR STREET	WARRNAMBOOL CITY COUNCIL	245000	5096.00	OWN OCC
17		30 KEPLER STREET	COUNTRY WOMENS ASSOCIATION 30 Kepler Street	30 KEPLER STREET	COUNTRY WOMENS ASSOCIATION 30 Kepler Street	40000	832.00	OWN OCC
18		32 KEPLER STREET	ST JOHN'S MASONIC LODGE C/- J. Jones 11 Panorama Ave. Warrnambool	32 KEPLER STREET	ST JOHN'S MASONIC LODGE C/- J.Jones 11 Panorama Ave.	66000	1372.80	OWN OCC
19		34-36-38 KEPLER STREET	H.J. SPEIRS Spring Creek Road Woolsthorpe	34/36 KEPLER STREET	H.J. SPEIRS Spring Creek Road Woolsthorpe	41000	852.80	OWN OCC
				38 KEPLER STREET	T. BEAMES 38 Kepler Street Warrnambool	29000	603.20	OCC

.../24

H22



Warrnambool City Council  
Minutes for Ordinary Meeting

1120  
6 June 2016  
Page | 216

MINUTES 21/7/1986

24/...

1200

Notice of Motion No.1914 (Cont.)

PROPERTY NOS. 3242-C	RATE RELIEFS	LOCATION	OWNER	OCCUPATION LISTING	OCCUPIER	SITE VALUE	RATE PAYABLE AT 3.00% IN \$	OWN/OCC.
20		40-42 KEPLER STREET	KEPLER INVESTMENTS PTY LTD 1A Liebig Street Warrnambool	40 KEPLER STREET ROOMS 1,2 & 3 40 KEPLER STREET ROOM 4 40 KEPLER STREET ROOM 5 40 KEPLER STREET ROOMS 6,7,8 & 9 40 KEPLER STREET ROOM 10 42 KEPLER STREET	SOVEREIGN OFFICE SUPPLIES Rm 1 40 Kepler St. WESTLINE SIDINGS Rm 4 40 Kepler St. AUSTRALIAN FIRED TRUSTS Rm 5 40 Kepler St. E. CHILLER AND P. HAYLOCK Rm 6 40 Kepler St. REID STEPHOUSE Rm 10 40 Kepler St. KEPLER KETTLE 42 Kepler Street	13830 4068 4068 17880 4065 23585	287.65 84.60 84.60 371.90 84.55 490.55	OWN OCC OCC OCC OCC OCC
21		44-48 KEPLER STREET	DRUMMAK PTY LTD 104 Liebig St.	44-48 KEPLER STREET	B.H. & P.M. HOY 454 Raglan Parade	78000	1622.40	OWN OCC
22		50-52 KEPLER STREET	ESTATE OF JAMES M. FLAHERTY C/- 5 Verdon St. Warrnambool	50 KEPLER STREET (SHOP) 50A KEPLER STREET (SHOP) 52 KEPLER STREET (OFF AT REAR) 52A KEPLER STREET (SHOP) 52B KEPLER STREET (SHOP) 1/52 KEPLER STR. 2/52 KEPLER STR. 3/52 KEPLER STR. 4/52 KEPLER STR. 5/52 KEPLER STR. 6/52 KEPLER STR. 7/52 KEPLER STR.	A. S. L.V. BOYLE 16 Derby Street H. & R. BLOCK 50A Kepler Street H. S. & J. R. SUTHERLAND 52 Off Kepler St. P. J. & M. R. MULLIN 52A Kepler Street MRS M. FLAHERTY 52B Kepler Street MR PAUL 1/52 Kepler Street ASTHUR McDOWELL 2/52 Kepler Street EDWARD QUARRELL 3/52 Kepler Street IAN BENTHAM 4/52 Kepler Street DESHA HUGHES 5/52 Kepler Street MRS DUDGDON 6/52 Kepler Street MICHAEL SCOTT 7/52 Kepler Street	6726 6726 7737 8403 16816 6726 6726 6726 6726 6726 6726 6726	139.90 139.90 160.90 174.90 349.80 139.90 139.90 139.90 139.90 139.90 139.90 139.90	OWN OCC OCC OCC OCC OCC OCC OCC OCC OCC OCC OCC
23		54 KEPLER STREET	VILLAGE DRIVE IN (WARRNAMBOOL) P/L Box 1411 GPO Melbourne	54 KEPLER STREET (THEATRE)	VILLAGE DRIVE IN (WARRNAMBOOL) P/L Box 1411 GPO Melbourne	95000	1976.00	OWN OCC
24		ONE KEPLER & KOROIT STREETS	ANDOTI PTY LTD C/- 185 Koroit St. Warrnambool	54A KEPLER STREET (SHOP) 54B KEPLER STREET (SHOP) 185 KOROIT STREET (HOTEL)	VACANT COLIN HOLDEN 54B Kepler Street ANDOTI PTY LTD C/- 185 Koroit St.	15140 9630 74960	314.90 200.30 3639.20	OWN OCC OCC OCC

.../25

4-25

1121

Warrnambool City Council  
Minutes for Ordinary Meeting

6 June 2016  
Page | 217

MINUTES 21/7/1986 1257  
Notice of Motion No. 1914 (Cont.) 25/...

PROPERTY NOS.		LOCATION	OWNER	OCCUPATION LISTING	OCCUPIER	SITE VALUE	DATE PAID AT 2.00% DISC	O/SY OCC
SCHEME	RATE SERVICE							
25		167 KORROIT STREET	M.F. TREWARTHA & A.I. NOSEDA 167 Korroit Street Warrnambool	167 KORROIT STREET (SHOP)	AAHI CAR INSURANCE 167 Korroit Street M.F. TREWARTHA 167 Korroit Street	63000	1310.40	OCC
						25800	536.65	OCC
25		149 KORROIT STREET	STATE ELECTRICITY COMMISSION VICT. 15 William Street Melbourne 3000	149 KORROIT STREET	STATE ELECTRICITY COMMISSION OF VIC.	229000	4763.20	OWN OCC
27		147 KORROIT STREET	PYRAMID PERMANENT BUILDING SOCIETY 16 James Street Geelong 3220	147 KORROIT STREET	PYRAMID PERMANENT BUILDING SOCIETY 16 James Street Geelong 3220	62350	1296.90	OWN OCC
28		145 KORROIT STREET	B.R. & T.C. ROGERS 3 Vendon Court Warrnambool	145 KORROIT STREET	B.R. & T.C. ROGERS 3 Vendon Court Warrnambool	191500	3983.20	OWN OCC
29		CNR KORROIT & LIEBIG STREETS	UNITING CHURCH TRUSTEES C/- J.P. Moore Box 308 Warrnambool	143A KORROIT STR.	B. & M.A. KING 143A Korroit Street	63500	1320.80	OCC
				143 KORROIT STR.	X. SHID 143 Korroit Street	56800	1181.45	OCC
				141 KORROIT STR.	PHOTO EXPRESS 273 Caebervell Rd. Caebervell 3124	68500	1424.80	OCC
				105D LIEBIG STR. (FLAT)	ALISON JOHNSTONE 105D Liebig Str.	12500	260.00	OCC
				105C LIEBIG STR. (SHOP)	E.W. & P.M. HOGG 79 Wollaston Road Warrnambool	58750	1222.00	OCC
				105B LIEBIG STR. (SHOP)	JUST JEANS 105B Liebig Str.	63500	1320.80	OCC
				105A LIEBIG STR. (SHOP)	BRAELYN HOWINEES PTY LTD 105A Liebig Str.	58750	1222.00	OCC
				105 LIEBIG STR. (SHOP)	P. McDOUGAL 105 Liebig Str.	63500	1320.80	OCC
				103 LIEBIG STR. (SHOP)	SOULSBY & STRUTH 103 Liebig Str.	68500	1424.80	OCC
				103A LIEBIG STR. (SHOP)	G. MARSHALL HI LITE RESTAURANT 103A Liebig Str.	68500	1424.80	OCC
				101A LIEBIG STR. (SHOP)	R.S. & K.R. CORDON 101A Liebig Str.	68500	1424.80	OCC
				101 LIEBIG STR. (SHOP)	W'BOOL SHOOTERS & ANGLERS 101 Liebig Str.	68500	1424.80	OCC
30		99 LIEBIG STREET	ESTATE OF HOGAN C/- L.A. Hogan 99 Liebig Str. Warrnambool	99 LIEBIG STREET	L.A. HOGAN 99 Liebig Street	75000	1560.00	OWN OCC
31		97 LIEBIG STREET	L.P. HAND 97 Liebig Street	97 LIEBIG STREET	L.P. HAND 97 Liebig Street	60000	1248.00	OWN OCC

.../26

Warrnambool City Council  
Minutes for Ordinary Meeting1122  
6 June 2016  
Page | 218

MINUTES 21/7/1986

26/...

Notice of Motion No. 1914 (Cont.)

PROPERTY NOS. SCHEME	RATE RECORDS	LOCATION	OWNER	OCCUPATION LISTING	OCCUPIER	SITE VALUE	RATE PAYABLE AT 2.00% D/S	OWN/OCC
32		95 LIEBIG STREET	R. VOIGHT 95 Liebig Str.	95 LIEBIG STREET	R. VOIGHT 95 Liebig Street	65000	1352.00	OWN/OCC
33		93 LIEBIG STREET	A.V. & A.M. & N. SERRA Merris Banks Dennington	93 LIEBIG STREET	A.V. & A.M. & N SERRA 93 Liebig Street	55000	1144.00	OWN/OCC
34		91-89 LIEBIG STREET	A. SYCOPOULIS 89 Kepler Street & R. PAPPAS 271 Lava Street Warrnambool	91 LIEBIG STREET 89 LIEBIG STREET	C.T. & P.J. HARDY 91 Liebig Street J. GLEESON 89 Liebig Street	39000 42000	811.20 873.60	OWN/OCC
35		87-85 LIEBIG STREET	TATPACK NOMINEES PTY LTD 85-87 Liebig Str.	87-85 LIEBIG STREET	TATPACK NOMINEES PTY LTD	85000	1768.00	OWN/OCC
36		83 LIEBIG STREET	J.B. ASTBURY 24 Merris Cresc. W.C. SINCLAIR 104 Liebig Str. A.L. ANDERSON 367 Tisor Str. Warrnambool	83 LIEBIG STREET	NEW ZEALAND INS. LIMITED 83 Liebig Street	48000	998.40	OWN/OCC
37		81 LIEBIG STREET	F.H. JACOBS 4 Riverview Tce. Warrnambool	81 LIEBIG STREET	THE MANAGER BRUCE & HOGAN MANCHESTER 81 Liebig Street	48000	998.40	OWN/OCC
38		79 LIEBIG STREET	K.B. ARMSTRONG Woodford 3282 A. GRAHAM 12 Skidaw Cres. L.H. GRAHAM 222 Lee Point Rd. Cassurina 5792	79 LIEBIG STREET	GRAHAM'S FLOOR SERVICE 79 Liebig Street	48000	998.40	OWN/OCC
39		77 LIEBIG	E.A. McLEDD 12 Craig Street G.M. McLEDD 118 Brownfield St. Warrnambool	77 LIEBIG STREET	E.A. McLEDD 12 Craig Street G.M. McLEDD 118 Brownfield Str.	60000	1248.00	OWN/OCC
40		75 LIEBIG STREET	ESTATE OF RALPH ILLIDGE C/- 75 Liebig Str. Warrnambool	75 LIEBIG STREET	THE MANAGER YOUTH ACCESS NETWORK 75 Liebig Street	66000	1372.80	OWN/OCC

.../27

ACI



1123

Warrnambool City Council  
Minutes for Ordinary Meeting

6 June 2016  
Page | 219

MINUTES 21/7/1986

27/...

Notice of Motion No. 1914 (Cont.)

PROPERTY NOS.		LOCATION	OWNER	OCCUPATION LISTING	OCCUPIER	SITE VALUE	RATE PAYABLE AT 2.08% IN \$	O/W OCC
SECTION	RATE REBATES							
41		73 LIEBIG STREET	C.G. & D.M. & I.C. BOYLE L.D. & A.D. BRESLER All of 73 Liebig Street	73 LIEBIG STREET (SHOP)	D.M. BOYLE 73 Liebig Street	60000	1248.00	OWN
				73 LIEBIG STREET (FLAT)	D.M. BOYLE 73 Liebig Street	9000	187.20	OCC
42		71 LIEBIG STREET	E.L. MCKENZIE 21 Banyan Street Warrnambool	71 LIEBIG STREET	B.M. & S.F. CREEK 71 Liebig Street	50000	1040.00	OWN OCC
43		69 LIEBIG STREET	THALE INVESTMENT PTY LTD 203 Doveton Street Ballarat Sch. 3350	69 LIEBIG STREET	K.P. & M.J. WOOD 31 Banyan Street	50000	1040.00	OWN OCC
44		67-61 LIEBIG STREET	M.J. REINSTEIN Woodbine, Hopkins Point Road, Allansford 3277 M.A. ZIEBELL Woodbine, Hopkins Point Road, Allansford 3277 LIEBIG INVESTMENTS PTY LTD 69 Kepler St. Warrnambool	67 LIEBIG STREET	WARRNAMBOOL SPEED & CUSTOM CENTRE 67 Liebig Street	42000	873.60	OWN OCC
				65 LIEBIG STREET	ALISON JOHNSTONE 65 Liebig Street	42000	873.60	OCC
				63 LIEBIG STREET	G.V & L.H. ROYCE 63 Liebig Street	40000	832.00	OCC
				61 LIEBIG STREET	M.J. REINSTEIN Woodbine, Hopkins Pt. Rd. Allansford	42000	873.60	OCC
45		59 LIEBIG STREET	L.J. & D.M. WANCARROW 59 Liebig Street	59 LIEBIG STREET (HOTEL)	L.J. & D.M. WANCARROW 59 Liebig Street	150000	3120.00	OWN OCC
TOTAL						\$4389466	\$91300.80	

.../28

MINUTES  
WARRNAMBOOL CITY COUNCIL  
COUNCIL MEETING – 25 OCTOBER 1999

### 2.3 CBD OFF-STREET PARKING

#### **PURPOSE**

To report to Council on the outcomes of the two Working Party meetings, with recommended strategies for further improvements to CBD off-street parking.

#### **BACKGROUND**

A number of factors have necessitated a review of "off-street" carparking, viz.

- i. Increasing congestion of all-day parking by students in vicinity of TAFE.
- ii. Effects of the likely loss of 75 car spaces from old Bowling Club carpark adjacent to Council offices.
- iii. Funding of Block 10 construction.
- iv. Ongoing "cat and mouse games" between Council Traffic Officers and CBD staff, over unacceptable all-day parking, in prime parking locations.
- v. Problems experienced with tenants of residential accommodation above CBD shops in accessing longer term parking for their vehicles.
- vi. Many CBD workers prepared to pay for convenient, all day parking.
- vii. Survey results showing 40-55% occupancy of Council controlled off-street carparks by CBD workers at 9.00am.
- viii. The cost of establishing new off-street carparks is approximately \$1 million.
- ix. Car ownership in Australia is increasing at twice the rate of population growth.

1125

Warrnambool City Council  
Minutes for Ordinary Meeting6 June 2016  
Page | 221

MINUTES  
WARRNAMBOOL CITY COUNCIL  
COUNCIL MEETING – 25 OCTOBER 1999

**WORKING PARTY MEETINGS**

A Working party was established and comprised the following members:-

- Warrnambool City Council** – Cr Glenys Phillpot, Bruce Anson, Murray Murfett, Brian Lane and Barry Warren.  
**Warrnambool Business Action Group Representatives** – Max Lowe and Bruce Ludeman.  
**Invited Representatives** – Jeff Donney (Target Manager), Ruth Isbel (Brophy Family Services).

Meetings were held on 7 and 22 September 1999 and considered the following issues:

- Process of the review
- Structure of a working party
- The background of parking issues
- Survey of usage of CBD parks by CBD workers
- Availability of vacant land for parking
- Future needs of TAFE
- Legal aspects of Parkers/Ozone Square Parks
- Options
- Recommendations for Council.

**SURVEY RESULTS**

A survey of Council controlled off-street parks was conducted during a normal week at 9.00am (very few shoppers in evidence at this time). It should be noted that there has been a significant increase in part-time workers. Many of whom work between 10.00am - 2.00pm. These vehicles would further increase the use of the available carparks by staff rather than customers.

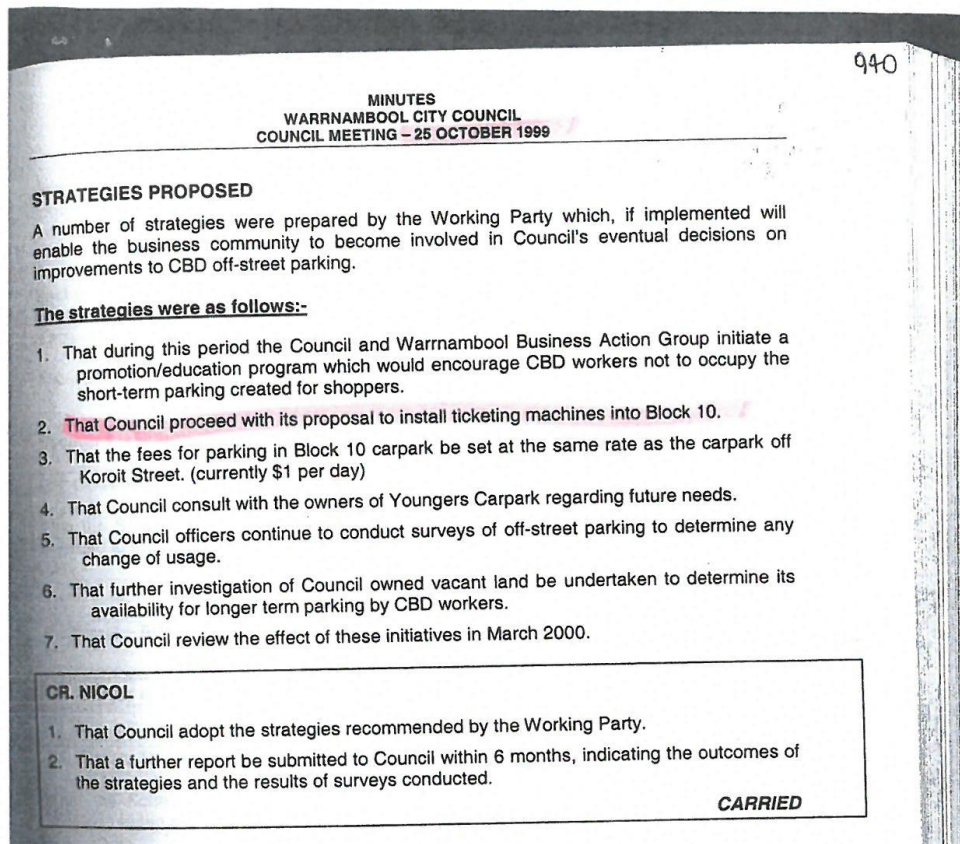
The following results indicate the percentage of use of bays. It is assumed that the vast majority of vehicles were owned by CBD workers.

(NB: A follow-up survey during the school holidays revealed that the impact on use by TAFE staff/students in the Ozone Square Carpark was negligible.)

Warrnambool CBD Off-Street Parking Review 1999 Occupancy of carparks surveyed at 9.00-9.15am						
	Ozone Square	Parkers	Coles	Target	Roller Bowl	Koroit Street
<b>Total No. Spaces</b>	271	167	158	122	63	92
Wed 8 Sept	157	70	66	11	23	
Thurs 9 Sept	155	66	71	9	33	
Fri 10 Sept	136	72	78	17	29	26
Mon 13 Sept	163	71	82	17	31	26
Tues 14 Sept	137	65	73	10	30	36
<b>Average Use</b>	150	69	74	13	29	29
<b>%Occupancy</b>	55%	41%	47%	11%	46%	31%

Target figures exclude the 8 bays reserved permanently for Target management.





***Cr. Neoh returned to the meeting at 6.32pm.***

## **5.8 PRINCES HIGHWAY WEST PROJECT – ‘TIME FOR A PLAN’**

### **PURPOSE**

***To provide information to support further funding and upgrades to the Princes Highway West.***

### **EXECUTIVE SUMMARY**

- Council's in the South West region have advocated strongly for increased road funding and despite recent funding announcements, there are still safety and condition issues with the Princes Highway that will remain unresolved.
- An information document has been prepared to help support our argument for further funding and upgrades to the Princes Highway West.
- VicRoads and Transport for Victoria don't currently have a clear plan for priority upgrade works on the Princes Highway West.
- Council has developed new information documents that stress the need for a clear plan. These documents are broken into two components being a local Warrnambool focus and a regional focus (Refer Attachment A & B).
- The documents are now being present for the information of Councillors and to invite input on the key projects identified.
- The purpose of these documents is to shift our focus from one of advocacy to one of influencing outcomes.

**MOVED: CR. NEOH**  
**SECONDED: CR. HERBERT**

### **That Council:**

1. **Adopts the ‘Princes Highway West - Focus on Warrnambool’ and the ‘Princes Highway West - Colac to the South Australian Boarder’ documents.**
2. **Works proactively with neighbouring municipalities to promote local improvement priorities**
3. **Requests Transport for Victoria, as a matter of urgency, develop a corridor plan for the Princes Highway West between Colac and the South Australian border in consultation local municipalities.**
4. **Forward to Transport for Victoria and VicRoads its priority list of road improvement projects from Allansford to Dennington.**

**CARRIED - 7:0**

### **BACKGROUND**

Following extensive advocacy campaigns some funding for the Princes Highway West has recently been announced by State and Federal Governments.

What has been evident in recent funding announcements is that neither the State nor Federal Governments have a clear plan for upgrades on the Princes Highway West.

Warrnambool City Council has developed a set of information documents which ask the State Government to develop a Corridor Strategy for the Princes Highway West.

The draft documents are now being presented for the information of Councillors and to invite input on the key projects identified.

## ISSUE

While recent funding announcements have been welcomed there is concern that the State Government has no clear plan for upgrade priorities for the Princes Highway West.

Council officers have developed a list of local and regional priorities and compiled these into information documents to support our case that Transport for Victoria or VicRoads should develop, in consultation with local government, a clear Corridor Strategy for the Princess Highway West.

It is important that we distinguish between the two important issues that exist for the Princes Highway West being:

- (i) That no clear plan exists for local and regional upgrade priorities
- (ii) Its inclusion on the National Land Transport Network (NLTN)

A plan for upgrade priorities is required to demonstrate the needs, priority and objectives for upgrade works, whereas its inclusion on the NLTN responds to funding opportunities for prioritised upgrade works.

These two components are complimentary and both are priority actions for regional Councils.

It is also important that a distinction is drawn between maintenance works and essential safety and network improvements. Recent allocations for the Princes Highway West appear to be focused on rehabilitation of the existing road pavements rather than network improvements. Maintenance and rehabilitation works should be a fundamental part of the state's obligations to South West communities and whilst welcomed should not be viewed as anything more than was already required by the State Government.

## COMMUNITY IMPACT/CONSULTATION

It is intended that these documents be used to gain community support for priority actions on the Princes Highway West.

We are currently working with other Council's in the South West Region to develop a joint information document that promotes the case for a 'Corridor Study'. This will likely build on the regional document prepared by Warrnambool City Council.

## FINANCIAL IMPACT

This information document has been developed using in house resources. Any funding to support the delivery of our campaign will be sourced from recurrent funding or the subject of a budget bid.

## ENVIRONMENTAL/RISK IMPACT

Nil



# Princes

## Highway West

*focus on Warrnambool*



## Warrnambool is the major urban centre within the Great South Coast region.

It provides a centre for commerce, health and education and services a regional population of 120,000.

The city – a popular seachange destination - has grown significantly over recent decades from a population of about 23,000 in 1986 to a current population of 35,000.

The growth in population, along with increases in visitor numbers to attractions including Port Fairy and Tower Hill, have added to the task carried by the region's road network, including the Princes Highway.

Along with the number of people calling the South West home local industries, particularly the dairy industry, have prospered. This has added to the road network a significant freight task.

Much of this increase in transport activity is centred within and around Warrnambool.

The Princes Highway West has reached a point where a strategy and investment are required to meet the expectations of industry and motorists.



## Our ask

## Warrnambool City Council has identified a range of key improvement projects for the highway in and around Warrnambool, based on traffic volumes, accident data and on-site assessments

Project site	Issue	Treatment required	Priority
Allansford Princes Highway-Garabaldi Lane intersection	Intersection treatment to accommodate truck traffic and to provide safe access for 2,000 vehicles per day (VPD) entering and exiting township. Garabaldi Lane provides the main access into the township including for heavy vehicles. Traffic count along this stretch of highway is 13,000 VPD.	Roundabout / acceleration lane (bridge widening) / channelization/ compliant turning lane treatment.	Critical
Princes Highway Bridge Merri River	Bridge has not been assessed for AB Double traffic and restricts freight movement between key local nodes.	Bridge assessment/ strengthening / widening.	Critical
Intersection Raglan Parade (Princes Highway) / Fitzroy Road / Botanic Road	Botanic Road has a significant amount of traffic with a high volume of right turning traffic out of Botanic into the highway. Intersection has an accident history.	Signalisation.	Critical
Princes Highway duplication from Rooneys Road to Conns Lane	High turn residential and commercial area. Restricted passing opportunities through township zone and heavy truck movements. No opportunity to pass slow moving heavy vehicle traffic in a stop-start environment. Dennington overpass redundant and poorly aligned which restricts pedestrian and cyclist movement and an area of future growth.	Road duplication; increase in turning lanes; removal of Dennington overpass.	High
Improved on-road bike lanes Raglan Parade ( Derby Street – Deakin University)	Currently there are sections of Raglan Parade that do not provide for on-road cycling. This is a critical cycling linkage for Deakin University	Provision of on-road cycling lanes.	High
Lighting Raglan Parade (Princes Highway) between Selby Road - Mahoneys Road	A 500m section of Raglan Parade does not have any street lighting. This is a major entrance to Warrnambool in a retail precinct with high volumes of traffic.	Install Australian Standards-compliant lighting.	High
Intersection of Raglan Parade (Princes Highway) / Banyan Street	Accident statistics indicate a high occurrence. High volume east/west to north/south interaction.	Review phasing and lane configuration	High
Raglan Parade (Princes Hwy) Bell Street & Derby Street intersection	Accident history at unsignalised intersection. Pedestrian linkages and crossing points require improvement to current standards.	Install pedestrian refuges, improve footpath linkages and tactile indicators	High
Intersection Raglan Parade (Princes Highway) / Simpson Street	Accident history at signalised intersection.	Review phasing and line configuration	Medium
Intersection of Raglan Parade (Princes Highway) / Foster Street	Accident statistics indicate a high occurrence of "cross traffic" accidents in this area.	Median treatment	Medium
Intersection of Raglan Parade (Princes Highway) / Hider Street	Accident statistics indicate a high occurrence of "cross traffic" accidents in this location.	Median treatment	Medium
Intersection of Raglan Parade / Kelp Street	Accident statistics indicate a high occurrence of "cross traffic" accidents in this area.	Median treatment	Medium
Raglan Parade (Princes Highway) / Henna Street	Cross road intersections have dual lane medians, which require wide road approaches into city centre.	Review phasing and lane configuration	Medium
Princes Highway-Great Ocean Road intersection	Safety improvements required in a high accident zone. Potential to create a greater sense of arrival.	Assess safety treatments for intersection.	Medium
Pavement improvement/ rehabilitation	Stretches of highway and other VicRoads managed roads in poor condition.	Review of maintenance schedule	Medium
Improvements to deceleration/ storage lanes at level crossings	In close proximity along the Princess Hwy east of Warrnambool are the rail line / level crossings. The distance between the level crossing and highway is insufficient to hold long vehicles. The level crossings also have insufficient treatments (not signalised). Significant examples are at Rowans Lane and Jubilee Park Rd.	Provision of storage area adjacent to through lanes.	Low







Pavement and road markings at Princes Highway-Gateway Rd intersection



Potential to build the sense of arrival and improve safety at the Great Ocean Road and Princes Highway intersection at Allansford.



Safety and pavement improvements required at the intersection of Princes Highway and Garabaldi Lane, Allansford



Traffic signal upgrade would increase safety at the intersection of Princes Highway and Banyan Street, Warrnambool



Traffic light phasing at the Princes Highway and Banyan Street intersection can confuse motorists approaching the intersection



The bridge over the Merr River is narrow and unable to support fully loaded AB milk tankers which are integral to the South West dairy industry



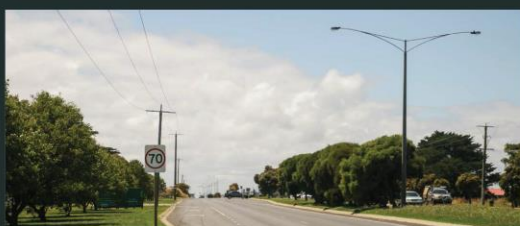
A dual carriageway through Dennington would improve safety



Deceleration lanes are required in the approaches to key intersections along rural sections of the highway including here at Jubilee Park Road



Increasing traffic loads have created challenges around maintenance of the road pavement



Street lighting in-fill is required along the Princes Highway between Gateway Road and Horne Road





# Princes Highway West

*focus on Warrnambool*



[www.warrnambool.vic.gov.au](http://www.warrnambool.vic.gov.au) | Connect to Council



# Princes

## Highway West

### *Colac to the South Australian border*



## Time for a plan

**The fertile Great South Coast region of Victoria produces a third of Victoria's beef, a third of its dairy, a third of its lamb and one quarter of its wool.**

The vast majority of this produce - worth more than \$1.8 billion - is bound for markets further afield, mostly international.

A key to the ongoing prosperity of the Great South Coast is an effective transport network. Central to this network is the Princes Highway.

The Princes Highway West is the key east-west route in

south-western Victoria, providing a strategic transport link between Melbourne and the South Australian border, and beyond to Adelaide.

The highway conveys grain, livestock, dairy, timber and smelter products.

It also conveys people in growing number.



[www.warrnambool.vic.gov.au](http://www.warrnambool.vic.gov.au)

Connect to Council 

# Time for a plan

While traffic on the highway has grown in volume in recent years, the highway infrastructure west of Colac has received only minor upgrades.

It has been 18 years since the last VicRoads strategy for the Princes Highway West was produced. It is time for a new plan.

The Princes Highway bridge over the Merri River at Dennington has not had an engineering assessment for AB-double vehicles, placing a restriction on freight movement between key local transport nodes.

More than a decade ago VicRoads reported the crash rate was greater than the state average in the winding sections between Colac and Warrnambool and between Portland and Heywood.

The majority of these were 'run off the road' fatigue-related or head-on due to driver error.

Accident hotspots also occur where the highway intersects with busy urban streets, particularly in Warrnambool.

Outside a limited number of passing lanes, there have been no significant improvements to what remains a dangerous stretch of highway.

## Princes Highway at Dennington, Warrnambool



## Danger zones

**Nine fatalities, 80 serious injuries and 141 other injuries.**

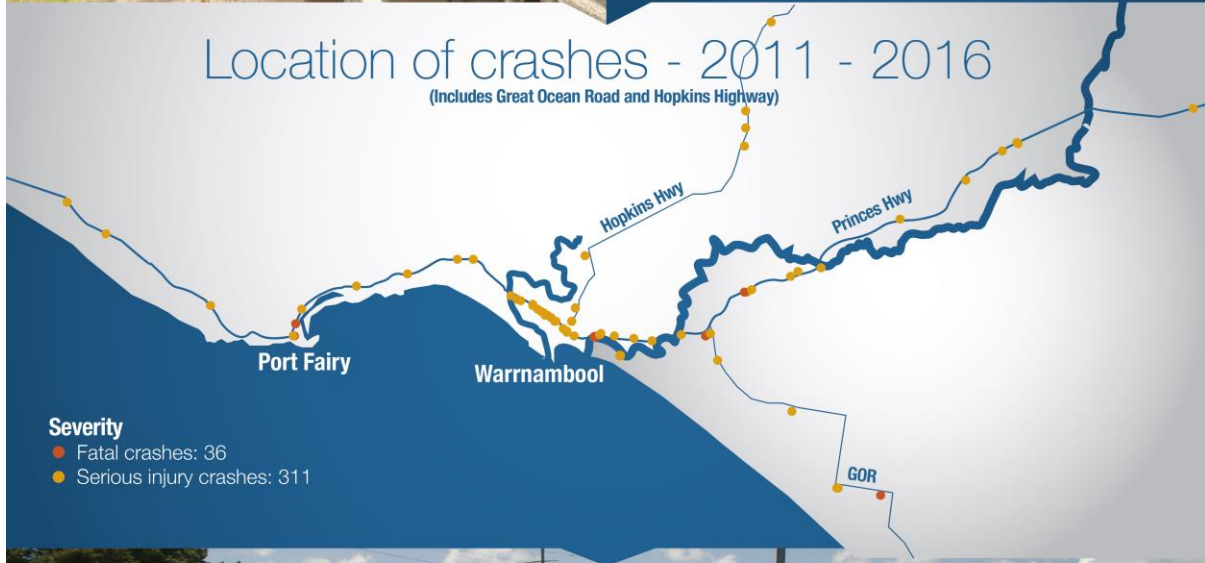
Those figures represent the human toll on the Princes Highway over a five-year period to June 2016 between Colac and the South Australian border.

Over the same period the short 9.4km stretch of the highway from Swan Lane, Allansford, to Mahoneys Road, Warrnambool has seen one fatality, seven serious injuries and seven other injuries.

The highway as it passes through Warrnambool is also a serious accident zone. The 13.9km stretch has recorded one fatality, 22 serious injuries and 58 other injuries.

## Location of crashes - 2011 - 2016

(Includes Great Ocean Road and Hopkins Highway)





## The growth in traffic

**2016 vehicles per day (VPD) counts show that stretches of highways in and around Warrnambool are among the busiest on the regional sections of the Princes Highway.**

Traffic counts		
Location	1999	2016
Central Warrnambool	13,000	20,000
Warrnambool to Port Fairy (Allansford)	5,000	13,000
Great Ocean Rd intersection		13,000

Traffic numbers over the past 15 years along section of highway at Warrnambool have increased by about 50 per cent. The VPD counts from VicRoads most recent

Princes Highway West Corridor Strategy (1999) indicate vehicle counts in Warrnambool's urban area were about 13,000. They are now 20,000 and this figure includes a commercial/heavy vehicle number estimated at 2,400.

VPD between Warrnambool and Port Fairy are currently 13,000, compared to 5,000 in 1999. This single lane stretch is a high accident zone and populations of both urban centres continue to grow.

The growing traffic volumes have impact the road surfaces and created some challenges around maintenance schedules.

## The economic imperative

In 2014–15, Victoria accounted for 27 per cent of Australia's total food and fibre exports and remained Australia's largest state exporter. Victoria has a 25 per cent share of Australia's total food exports and a 40 per cent share of Australia's total fibre exports (Food and Fibre Report Victoria 2014-2015).

Victoria accounted for 83 per cent of Australia's dairy exports by value. Milk and cream products (worth just over \$1 billion) and cheese and whey products (worth \$748 million) were the most valuable dairy export categories, making up 89 per cent of Victoria's dairy exports. (Food and Fibre Report Victoria 2014-2015).

## A growing region

**The population of the South West, traversed by the Princes Highway West, continues to grow and the highway performs an important commuter service.**

Municipal/Urban area	Population 1996	Population 2011	2036 Projection
City of Greater Geelong	174,800	210,875	320,791
Winchelsea	1,000	1,579	
Colac	9,800	11,778	
Camperdown	3,200	3,463	
Warrnambool	26,100	32,029 (now 35,000)	46,742
Port Fairy	2,600	2,835 (excludes visitor popn)	
Portland	9,700	9,950	

## The target for Victoria

Victoria has set a target of fewer than 200 deaths per year by 2020. If the trend over recent years continues, this target will not be achieved. Deaths in regional Victoria continue to be higher than those in metropolitan Melbourne and resolving the challenges of the Princes Highway West is part of the solution to achieving the lower road trauma ambition.

(2015 Victorian Road Trauma - Analysis of Fatalities and Serious Injuries)

The Victorian Government has highlighted the impact of serious injury arising from road accidents and why they must be prevented:

*"We also want much better outcomes for people who survive serious crashes. This is the 'hidden road toll', affecting about 5,000 people a year whose lives are suddenly upended by the physical and mental trauma of road crashes."*

From Towards Zero 2016-2020 Victoria's Road Safety Strategy & Action Plan.



## Our ask

**We are seeking a strategy for the Princes Highway West between Colac and the South Australian border that clearly identifies the improvements and upgrades the highway will require.**

It is anticipated the corridor strategy would include:

- Duplication of the Princes Highway between Warrnambool and Port Fairy
- Additional, improved and more regular passing opportunities between Colac and the border. These would need to be longer lanes providing safer passing opportunities for both east and west-bound traffic
- Investigation into feasibility of the 2 + 1 model
- Investigation into the feasibility of more overtaking lanes
- Investigation into the feasibility of duplication of the highway between Colac and the border

Funding to implement the recommendations of a strategy for the Princes Highway West will also be required.



# Princes Highway West *Colac to the South Australian border*



[www.warrnambool.vic.gov.au](http://www.warrnambool.vic.gov.au) | Connect to Council



**5.9 PETITION - FOR COUNCIL TO IMPROVE THE AMENITY OF E.J.KING RESERVE****PURPOSE**

*To receive petition in relation to improving the amenity of E.J. King Reserve.*

---

**EXECUTIVE SUMMARY**

- A petition has been received with 18 signatures for Council to improve the amenity and appearance of the E.J.King Reserve.
- In accordance with Local Law L.1 Governance the petition is received, and referred to the Chief Executive for consideration and response.

---

**MOVED: CR. HULIN**  
**SECONDED: CR. HERBERT**

**In accordance with Local Law L1 Governance, the petition is received and referred to the Chief Executive for consideration and response.**

**CARRIED – 7:0**

---

**BACKGROUND**

Council has received a petition signed by 18 signatories for Council to improve the amenity and appearance of the E.J King Reserve - **refer Appendix A.**

**ISSUES**

The E.J King Reserve is maintained by Council as part of its open space network maintained by Parks and Gardens.

In forming a response consideration will be given to what actions will be taken and when.

**CONSULTATION / COMMUNICATION**

The Chief Executive will contact the petition organiser (first signatory) to inform them of the Council process and subsequent recommendations.



6 Snell Court  
Warrnambool 3280

26 January 2017

Mr. Bruce Anson  
CEO  
City of Warrnambool  
Liebig Street  
Warrnambool 3280

Warrnambool City Council	
- 6 FEB 2017	
Ref N*	
Officer	
Scanned Yes / No	Clk:

Dear Bruce

We have noticed the removal of some vegetation in E J Kings Park and there is a planned cleanup of the area and to plant under the trees. This plan seems to have stopped and the area is starting to become overgrown.

The work on the park stops at the storm water outlet. From that point on there are a number of trees which have died from borers in the trees. Under the trees is boxthorn and other noxious weeds. Under the trees the grass has not been cut and will become a fire hazard in the future. This area is becoming very unkempt, untidy and is an eye-sore. This area could be attractive and an asset to our tourist route.

At the end of Wicking Place on the park land is an old gum tree. This tree has already had a branch fall down and removed by Council. These trees do drop branches in hot weather. Children and dogs do play in this area and I hope I am not there if a child is hit by a branch falling as has happened in other places.

It has been suggested that E J Kings Park be cleaned up and that selective removal of dead trees, noxious weeds and boxthorn. This could be a positive approach to improving the park and creating a place where children and families can enjoy.

We feel that some attention should be given to the park to improve its safety for all users and to improve its appearance in a tourist route area. Many of the residents have lived here for thirty years and have seen little attention to maintain and improve the park.

Yours sincerely

Bob McHaren  
Jennie McHaren  
Kellian  
H. Gault  
F. Chivers  
Christine Hayes  
Mehul Patel  
Jean Flackness  
H. Osborne  
Bruce Flackness  
Blanche  
Shanna EmLaver  
Judith Fraser  
Nardine Fraser  
Les Bond  
Chris Portman  
J. Wang  
Jerry Bracell  
Nonpooh

Concerned residents  
K. Hall  
K. Brooks  
P. Stalring  
A. Michaeling  
D. DeL...



Signatories and their addresses to this letter.

Peter and Christine Hayes	6 Snell Court
Peter and Barbara Marriott	9A Snell Court
Murray and Telma Smith	12 Snell Court
David and Fran Crooks	13 Snell Court
Lana McLaren	15 Ferguson Street
Robert and Jenny McLaren	1 Snell Court
Mark and Dawn Mischkulnig	2 Snell Court
Stephen and Nicki Thompson	3 Snell Court
Helen Osbourne	4 Snell Court
Pearl Wong	8 Snell Court
Mehul Patel	2 Wickling Place
Les and Jenny Burchel	3 Wickling Place
Ray and Jenny Hall	5 Wickling Place
Luke and Chris Pontonio	6 Wicking Place
Bruce and Jean Harkness	7 Wicking Place
Martin and Judy Fraser	40 Simpson Street
Ashley and Judy Zanker	38 Simpson Street
Faye Chenoweth	36 Simpson Street

---

**5.10 PETITION - FOR COUNCIL TO INCREASE THE OPENING HOURS OF THE WARRNAMBOOL LIBRARY**

---

**PURPOSE**

*To receive petition in relation to increasing the opening hours at the Warrnambool Library.*

---

**EXECUTIVE SUMMARY**

- A petition has been received with 360 signatures for Council to increase the opening hours of the Warrnambool Library.
- In accordance with Local Law L.1 Governance the petition is received, and referred to the Chief Executive for consideration and response.

---

**MOVED: CR. HULIN**  
**SECONDED: CR. ANDERSON**

**That in accordance with Local Law L1 Governance, the petition is received and referred to the Chief Executive for consideration and response.**

**CARRIED – 7:0**

---

**BACKGROUND**

Council has received a petition signed by 360 signatories requesting Council increase the opening hours at the Warrnambool Library - refer **Appendix A**.

**ISSUES**

The request for increase in service hours at the Warrnambool Library will necessitate work to be done to ascertain the cost of operating the Library for the extended hours and a report will be submitted to Council for consideration within the 2017/18 Budget.

**CONSULTATION / COMMUNICATION**

The Chief Executive will contact the petition organiser (first signatory) to inform them of the Council process and subsequent recommendations.



24/2/2017

Milla Darmanin  
11 Bridge view Court Warrnambool  
dar0059@warrnamboolps.vic.edu.au  
0488 366 110 (my mums mobile)

To Kylie Gaston,

I'm Milla Darmanin, an 11 year old from Warrnambool Primary school who believes our town library's opening hours should be extended!

The town library offers many benefits to members of the community, both young and old. I often use the library to borrow books, hangout with friends and family, but most importantly to READ. In my regular visits to the library, I get to see just how many people frequently use the library and its facilities. The library isn't just a place for reading and borrowing books; the very young can engage in story times, whilst others can enjoy knitting sessions. Furthermore, free internet access means that young people can complete their study without the hassle of worrying about costs or going over their data limits, and extending the library's hours would only encourage students, teachers and parents to utilize such a valuable resource.

Unlike the Warrnambool Library, other towns have longer opening hours. Such as Echuca which only has a population of 12,613, but still manages to stay open from 10am to 1pm on Saturday and from 2pm to 4:30pm on Sunday! There's also Pakenham, which has a population of 32,911, and stays open from 10am to 4pm on Saturday and from 2pm to 5pm on Sunday. Moe, with a population of 15,292, is open from 9am to 12pm on Saturday and from 10am to 2pm on Sunday! Traralgon with a population of 24,590, is open from 9am to 12pm on Saturday and from 3pm to 6pm on Sunday. I could go on for ever and EVER, but I figure that all these hours compared to our LOUSY two would be enough to convince you that Warrnambool's library hours need to be similar with other regional centers.

I have recently discovered that there is a community-based collaboration called 'Beyond the Bell'. This initiative aims to improve young people's chances in Year 12 and to ultimately better prepare them for a successful transition into the next stage of their lives. Beyond the bell is one of the most concerted efforts the community has ever made to tackle the Great South Coast's low Year 12 attainment rates and to promote support for the young from conception to adulthood. To my absolute shock I found out that in our region only 57% of young people achieve Year 12 or equivalent whilst the state average is almost 75%!

I met with the Lisa Macdonald the library Manager on Friday the 17th and discussed the possibilities of having the library open longer on the weekends. She said that she found it easy to get people to work on Saturday because she rosters them on a month early so they can plan their holidays in advance. Speaking with the library Manager and looking at all the numbers its obvious that WE NEED THE LIBRARY OPEN LONGER!!!!

Please find attached a petition of 35 signatures in support of my proposal to have the town library's opening hours extended. These signatures were collected at Graze (a local coffee shop), Warrnambool Primary School, Woodford, outside the Warrnambool Library, Warrnambool College, Warrnambool Special Development School and other local community groups between the 10th and the 19th of February. It is clear that the residents of Warrnambool seek council to take action on this issue. I hope that this petition is successfully submitted to council, however, if there are any further measures that need to be taken to ensure this happens, please let me know.

I hope that you agree and will consider my proposal that the current weekend opening hours are unacceptable for the WHOLE community YOUNG AND OLD!!! I can be reached by my mail, phone or email should you have any further enquiries or request any additional information.






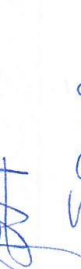






Yours Sincerely



Milla Darmanin and my team which includes:

Dominic Darmanin  
Arwen Bounds  
Jasmine Anderson  
Dayna Haberfield  
Madelaine Bryant  
Ella Bryant  
Natalie Wong  
Tjula Holder  
Simran Agarwal

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 📖🌨️👪

Name:	Age:	Address:	Signature:
ERIN FOX	36	Lansdowne Road, W'bool	
KRISTEN HILL	29	Hyland St, Warrnambool	
Ebony Jarvis	26	Merrivale drive	
Brooke Price	23	Hyland st, Warrnambool	
Sarah murray	42	Hyland St, Warrnambool	
Allison Fraser	30	Hyland St W'bool	
Jo Roche	42	Hopkins Highway Grassmere	
Sue Boyle	52	Somers Rd. W'bool	
Abbie Sheridan	30	Toleman St W'bool	
JAN BOLLEN	52	Hyland St. W'bool	
Sarah Noonan	39	Hyland St. W'bool	
Leigh Wells	40	Hyland St W'bool	





**Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️**













Name:	Age:	Address:	Signature:
Anita Bounds	30+	Bushfield	<i>[Signature]</i>
Mia Copland	12	Warrnambool	<i>[Signature]</i>
Stephanie	22	Warrnambool	<i>[Signature]</i>
Borcha	12	Warrnambool	<i>[Signature]</i>
Cecilia Brown	50	WARRNAMBOOL	<i>[Signature]</i>
Chloe Hammond	24	Warrnambool	<i>[Signature]</i>
Leanne Smith	30+	Warrnambool	<i>[Signature]</i>
Dianne Gable		Warrnambool	<i>[Signature]</i>
Kathy Stacey	60+	W'Bool	<i>[Signature]</i>
Lochlan Abbott	17	W'Bool	<i>[Signature]</i>
<del>Tina</del> Aicken Morley	18	W'Bool	<i>[Signature]</i>

28 FEB 2016

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
TIM OSULLIVAN Kellee Phillipotts	17	35 EVELYN CRES Warrnambool	 

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️













Name:	Age:	Address:	Signature:
Donna Lamb	21+	4 Abbey lane W'bool	
Julia Mahoney	35	1 Merrivale Drive	
<del>Warrnambool</del>	32	Furnin	
Michael Carter	39	Warrnambool	
Lauren Colwell	37	Warrnambool	
Kay Dood	70	Caroville St. W'bool	
PETER UMBERS	55	16 SOMERS ROAD WARRNAMBOOL	
Shamaus Walkh	31	1 Somers Road W'bool	
Zoe Noroni	32	1 Somers Road, W'BOOL	
RAVEEN	32	11 Somers Road, W'Bool	
TESSY JOSEPH	37	11 Somers Road, W'BOOL	
Mary Tobin.	40.	51 Banyan St	



Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
J. Nesbitt	over 18.	W'bool.	
A. Johannesen	46	W'bool	
Kate Dammanin	38	11 Bridgerview crt W'bool	
PAUL CONHEADY	49	9 BRIDGEVIEW CRT W'bool	
CORAK ROBERTS	68	1 BRIDGEVIEW CAT W'bool	
IAN COWLING	52	6 BRIDGEVIEW CRT W'bool	
KEN GIBSON	62	8 BRIDGEVIEW CRT W'bool	
Carol Parsons	64	12 Bridgerview - Cat W'bool	
Ella Bryant	<del>49</del> 9	Warrnambool	
Peter Bryant	50+	18 Somers Rd. W'bool	
Ian Hedra	60+	18 Somers Rd W'bool	
Edwina Hedra	40+	18 Somers Rd. W'bool	

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
TIM DARMANIN	39	11 BRIDGEVIEW CRT WBOO	
JANNE KEMPTON	60	17 SOMERS RD WBOO	
RONALD SINCLAIR	65	15 SOMERS RD WBOO	
ALISON SINCLAIR	60	15 SOMERS RD WBOO	
MARCIA NELSON	47	77 BOTANIC RD	
MAX COOMBER	70	6 SOMERS ROAD	
NICOLE MADDERN	37	39 TOM WITE	
HELEN COOMBER	65	6 SOMERS RD	
MARYANNE MILLS	25+	16 REGINALD GROVE WARRNAMBOOL	
DEBBIE LAWRENCE	25+	99 VERDON ST WARRNAMBOOL	
ASSON WATERFALL	41	1 FAIR FAX AVE	
GATE MARTIN	37	4 REGINALD GROVE	














Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️




Name:	Age:	Address:	Signature:
LORRANE O'BRIEN	63	220 HOPKINS POINT RD W'BOOL	<i>Lorraine O'Brien</i>
TAMARA SMITH	44	70 JAPAN ST W'BOOL	<i>Tamara Smith</i>
Fiona Lee	47	15 Patterson st w'bood	<i>Fiona Lee</i>
Ruth Alger	42	19 Beavard Drive, W'bood.	<i>Ruth Alger</i>
Bill Ryan	45	239 Russell STREET	<i>Bill Ryan</i>
Susan Morris	47	5 Flinders St	<i>Susan Morris</i>
Helen Morris	70	15 Ryok St W'bood.	<i>Helen Morris</i>
Jodie Hill	40	16 Makinw ct, Port Fairy	<i>Jodie Hill</i>
Leanne Pickett	44	25 Stanley St W'bood	<i>Leanne Pickett</i>
Daniel Roachie	45	4 Michelle ct W'bood	<i>Daniel Roachie</i>
Kirsty Ryan	41	239 Russell st	<i>Kirsty Ryan</i>
Katherine McDewitt	28	6 Whiteread crt W'bood	<i>Katherine McDewitt</i>



Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
ROB SMYTH	57	57 CANTERBURY RD	
DANNY SMYTH	26	" "	
Elaine Gome	46	61 Canterbury Rd	
Ailsa Gome	11	61 canterbury Rd	
Jacob Gome	14	" "	
Matthew Gome	10	" "	
Lachlan Gome	7	" "	
Cara Harry	16	65 Canterbury Rd	
Sophie Harry	13	65 Canterbury Rd	
Jane R Gorman	67	67 Canterbury Rd	
Louise Jennie	54	83 Botanic Rd	
A. Jennie	87	60 CANTERBURY RD	

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
BARRY BROOKES	72	56 CANTERBURY RD	
CHAD RIDOLE	71	37 CANTERBURY RD	
PAULINE RIDOLE	73	37 CANTERBURY RD	

















Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
Talia Stewart	12	Warrnambool	Talia Stewart
Issabelle Kenahan	11	Warrnambool	Issabelle Kenahan
Timothy Speed	10	Warrnambool	Timothy Speed
Zac Pyson	12	Warrnambool	Zac
Letia Archetti	57	W'bool	Letia Archetti
Rayton	10	Warrnambool	Rayton, N
Breanna Coppin	11	Warrnambool	Breanna
Hayne Porter	11	Warrnambool	Hayne Porter
Georgia Turner	11	Warrnambool	Georgia Turner
Rylan	11	Warrnambool	Rylan
Ethan Saunders	11	Warrnambool	Ethan Saunders
Riley Finlay	11	Warrnambool	Riley Finlay

**Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️👨👩👧👦**

Name:	Age:	Address:	Signature:
Finn Roche	18	1351 Hopkins Hwy	
Stephanie Fedley	52	Hyland St. W'bool	
Carol Bounan	54	Cl- Hyland St W'bool	
Amber Sharp	39	Hyland St W'bool	
Jane Swaggi	42	Breten St, W-bool	
R-Hawkins	39	10 Mitchell street	
Angela Sully	21	Moore St W'bool	
Nicole Withmann	27	236 Liebig St W'bool.	
Harrison Lee	39	22 McCannan St W'bool	
Julie Hampshire	51	Winslow	
KERRIE POPE	38	Winslow	
Daniel Towarshaw	47	Winslow	



Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
Aidan Nicolson	35	16 Pomrosow Drive	
Lisa Radcliffe	47	4 Boyle Close	
SONIA BARNETT	39	17 HETDON AVE	
Anja Shields-Jorgensen	30	1/2 Perthobe Rd	
Sue Gall	50	45 Couch St	
Daniel Barling	26	21 Latrobe St	
Deanie Squires	43	5 Wendy Place	
Wesley Isles	21	Unit 2, 7 Timor St.	
Cherie Geyer	37	115 Laverock rd	
Lisa Lee	45	22 McGennan St	
Louise Blackwood	45	11 Hallowell's Rd	
Lisa Shepherd	50	P.O box 5305, Warrnambool	



Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🧣🧤

Name:	Age:	Address:	Signature:
Angus Gardiner	10	Warrnambool	Angus
Cadel Howie	11	Warrnambool	Cadel
Clara Forth Bligh	12	Warrnambool	Clara
Bailey Jervies	11	Warrnambool	Bailey
Hamish Morrow	12	Warrnambool	Hamish
Ebony Wilson	9	Warrnambool	Ebony
Cathy Gleeson	21+	c/o Warrnambool Primary School	Gleeson
Erin McSweeney	21+	Warrnambool	McSweeney
Julie Giblin	21+	Warrnambool	Giblin
Gina Mills	21+	"	Gina Mills
Jacob Duggan	12	Warrnambool	Jacob
Riley Fitzlayson	11	Warrnambool	Riley







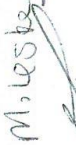





Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 📖👤👤👤

(Free Wifi) ★❤️

Name:	Age:	Address:	Signature:
Lynne Nelson	21++	Boona Place W'bool	Lynne Nelson
Bec Ranta	21+	W'bool	
John Pattison	62	13 Laucefield st Warrnambool	John Pattison
Colleen Morphett	50	47 Jamieson st W'bool	Colleen Morphett
Sage Welsh	50+	10 Steeple Crk Warrnambool	Sage Welsh
Jemma Boylan	11½	24 Warrnambool	Jemma Boylan
Anita Carey	27	W'bool	Anita Carey
Pear Clements	21++	W'bool	Pear Clements
Donna Dixon	21++	Killarney	Donna Dixon
Seth Wallace	11	Warrnambool	Seth Wallace
Lidia Allen	39	Warrnambool	Lidia Allen
Ana Gore	38	Warrnambool	Ana Gore















Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
Emilia Leung	73	W'Bool	
Mara Kwippers	82	W'Bool	
Joseph Daly	25	W'Bool	
Ali Smith	36	Warrnambool	
Jack Howard	54	W'Bool	
J McCutcheon	49	W'Bool	
Ben	22	W'Bool	
M Stanley	32	W'Bool	
Ben Wohlers	40	W'Bool	
Tina Bryant	28	W'Bool	
Mara Kwippers	31	W'Bool	
DES PADDEN	69	W'Bool	



Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
Joy Cowie	56	W'Boo	
Daniel Gardner	27	W'Boo	
Suey Hunt	53	W'Boo	
MICHAEL WHITTON	33	W'Boo	
L. Wilson	80	W'Boo	
A. Philpot	45	W'Boo	
J. Philpot	12	W'Boo	
D. Crabbe	45	" "	
J. Johannsen	11	W'Boo	
S. Johnson	64	W'Boo	
H. Bartlett	87	W'Boo	
A. Bunt	21	W'Boo	

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
A Ann Barber	30	4/68 Chandler Park	
Olivia Howitt	21	"	
Rita R	60	9/23 Campbell St Port Fairy	
Melissa Potts	44	Caramut Rd Mildosford	
J. M. Lambert	81	Warrnambool	
J J Bowman	70	Woods thorne	
E. Ewerson	41	warrnambool	
Sloba.	56	Warrnambool	
Debbie McKenzie	42	Warrnambool	
John Carey	40	Warrnambool	
Tina Gartlan	43	Camperdown	
Jess Knight	22	Warrnambool	

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🧣🧤

(Free WiFi)

Name:	Age:	Address:	Signature:
Kate Anderson	39	Warrnambool	K Anderson
Madeline Good	27	Warrnambool	Clifford
Kellie McConnell	29	Warrnambool	Julie Mann
Pranny Josy	11	Warrnambool	Pranny
Luca Florie	11	Warrnambool	Luca
Blair Seamus	11	Warrnambool	Blair
Levi Martini	12	Warrnambool	Levi
Izaak Agnew	11	Warrnambool	Izaak
Cara Wheatley	11	Warrnambool	Cara
Sienna Clifton	11	Warrnambool	Sienna
Rebecca Pike	37	Warrnambool	Rebecca D. Pike
Cassie	8	Warrnambool	Cassie



Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
Elizabeth Macatanaoa	10	Warrnambool	Elizabeth
Asha Guld	11	Warrnambool	
MIC Papa.	21+	"	AP
Jasmine Prakash	11	Warrnambool	Jas.P
Isabelka Waterfall	12	Warrnambool	Pella.W
GEORGIA BOLDEN	48	Warrnambool	S.S.
Arley Street	12	Warrnambool	Arley Street
Mackelaine B	11	Warrnambool	Maddie
Stephanie Ham.	46	Warrnambool P.S	
Evelyn Baulch	50	Warrnambool . P.S.	Evelyn Baulch
Maddy Welch	10	Warrnambool P.S	Maddy
Danielle Toone.	43	Warrnambool	Danielle T.

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🇺🇸🇦🇺🇳🇪🇸🇵🇸

Name:	Age:	Address:	Signature:
Abbey oneill	10	Warrnambool	akly
Natalie Wong	11	Warrnabool, Vic	Natalie Wong
Amelia Pram	10	Warrnambool	Amelia
Jasmine Anderson	11	Warrnambool	Jasmine
Dayna Haberfield	11	Warrnambool	Dayna X
Michelle Rea	21+	Warrnambool	Michelle Rea
Tjula Hslder	11	warrnambool	Tjula AD
Simran Agarwal	11	Warrnambool, Vic	Simran A
Miguel Tejar	11	Warrnambool	M.T
Georgia Gilmour	10	Warrnambool, vic	Georgia
Anne Davis	11	Warrnambool vic	Anne Davis
Rsla Miller	10	Warrnambool, vic	Rsla



The Library is only open 2hrs on Saturday!!

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🧣🧤

Name:	Age:	Address:	Signature:
Dominic Darmanin	11	Warrnambool	
Milla Darmanin	11	Warrnambool	
Jacinta Lenehan	27	Warrnambool	
MOIRA ABERNETHY	38	WARRNAMBOOL	
PAZ RILEY	39	W'BOOL.	
MAKÉE LANE.	39.	WBOOL.	
emma mahony	43	w'bool	
MARCIA McENATY	21	w'BooL	
Jeanette Brooker	21	W'BooL	
Linda O'Neil	37	W'BooL	
Olivia Morgan	35	W'BooL	
Kath Greene	88.	W'BooL	










Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
Taleah	9	367 Framling RD	Taleah
Grace	8	28 Roger place	Grace
Elli	9	234 Liedig Street	Elli
June	49	43 James St, Port Fairy	June
Lila	8	a the hill COURT	Lila
E Liza	8	111 Rosethorn	ELIZA
Kate	8	6 Clara ct. Woodford	Kate
Lucy	10	5 Climery cres Woodford	Lucy
Emma	11	5 Lila court woodford	Emma
Mackenzie	12	420 Tower hill road	Mackenzie
Mia M	9	14 St Josphas Drive	Mia
Evie K	10	111 Markwells RD wa rk	Evie K











Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️







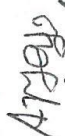




Name:	Age:	Address:	Signature:
Arwen Bounds	11	46 Bridge rd Bushfield vic 3281	
David Atkinson	35	23 crims rd Bushfield 3281	
Niamh Stockart	12	75 Dobsonway	Niamh.
Jessica Keast	10	103 barriers rd bushfield	Jessica
Bridie <del>Hayrears</del> Hayrears	11	5 Meliora crt woodford	BH
Laura Watson	11	111 Roseneath road Grassmere	
Abbey Titmus	11	3280 <del>3280</del> Schan Road Bushfield.	
Maggie McGowan	11	1 Reddie Road 3281 vic	mjm
Annabelle Vorker	11	46 bellmans road bushfield	Annabelle
Kiara Mufelt	11	367 fraingham RD	K B Mufelt
Amelia Nutting	11	woodward the hill court 3281	AN
Taylor Kidd	11	2 Clara court Wf	



Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🧣🧤

Name:	Age:	Address:	Signature:
Gabrielle	11	651-655 Tower hill RD	
Annemeike	11	63 mc Kenzies RD	
Ben Logan	31	Warrnambool, 3280	
Holli Sansz	<del>12</del>	#35 Mitchelle st	
Grace Watt	10	Bryaniolyn RD	
Alexandra	10	18 bridge rd lushfield	ATTZ
Abby-Jane Clark	10	76 merri view road <sup>Woodford</sup>	ATC
Gracie	11	melesfat	GM
Daniel Watson	40	Reeneath Rd Curramore	
Poppy Brown	11	6 Wight st Krait	
Charlotte	10	6 Clara Ct Woodford	
Mia Doukas	10	30 Russeil Stodd	Mia is AWESOME.

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🧣🧤

Name:	Age:	Address:	Signature:
Anthony	10	111 Rose north Road	
Lachie, Pirrye, Willb	10	86 Barriers Road bushfield	
Hannah Taneah	10	19 Cillmave cres	
Imogen	9	60 <sup>th</sup> Foresters Road bushfield	
Monte Ramulus	6	50 gate way Taneah	
Arjay	6	14 humphrys street	
Billy Patz	11	56 Gate way road	
Amelia Gardner	40!	71 Wimmers Rd	
		Home	
		9 the Hill Ct Wdky	
		6 Clavact	



Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
Jacinta Skilbeck	40-	52 Foster St, W'beed.	Jacinta Skilbeck
Jacinta Gardner	36	56 Foster St, W'beed	Jacinta Gardner
Kerrie Hutchins	35	41 Merrivale Dr	Kerrie Hutchins
Agneta Johnson	74	14 Belfour St W'beed	Agneta Johnson
Bridgette Drake	13	11 Carramar Cr	Bridgette Drake
Melissa Cashion	35	Drummond St	Melissa Cashion
Nick Young	22	Drummond St	Nick Young
Debbie Ricketts	36	Russell St, Dennington	Debbie Ricketts
MICHAEL RICKETS	39	RUSSELL ST DENNINGTON	Michael Ricketts
Lucy Gleason	16	30 Fairway Cres W'beed	Lucy Gleason



Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:

Charlotte Graesse

Age:

45






Address:

20 Riteways Rd  
Allanston

Signature:








**Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🧣🧤**

Name:	Age:	Address:	Signature:
Judy Boyle	37	Hyland St.	
Sue Springg.	30	Hyland St.	
Scott Cooper	34	Toolong Nth Rd.	
Sharon Lawther	42	Hyland Street	
Alicia Bermudez	32	15 Thomas Place, Wool	







Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️👨👩👧👦

Name:	Age:	Address:	Signature:
Ryan	11	Warrnambool	
Nathan Crute	28	Warrnambool	
BRIDGET CLANCY	45	55 Banyan St Warrnambool	
Adrienne Osullivan	48	55 Banyan St Wbool	
Gill Prime	24	55 Banyan St Wbool	

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
SONIA PARSONS	42	8 Rongoe Drive W'Boo	
LEANNE HABERFIELD	46	25 Cleary Road, ''	L Haberfield
SYLVANA HARRISON	50	1/76 Henna St Warrnambool	S Harrison
Bridie West	38	4 Ritchie Cr1, Port Fairy	Bridie West
Elaine Knowles	47	31 WICKHAM ROAD WOOLSTHORPE	Elaine Knowles
PHILLIP WOODS	55	15 Lakeside Dr Yambola	

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️👨👩👧👦

Name:	Age:	Address:	Signature:
Lil Mills	10	Warrnambool	LiBeasti
Anthony Debrno	11	Warrnambool	Debrno.
Joe Winstanley	11	Warrnambool	Joe Winstanley
Oliver Smith	11	warrnambool	ollie Smith
Sam Anderson	9	Warrnambool	Sam
Olivia Anderson	7	Warrnambool	Olivia
Maisie Mae	10	Warrnambool	Mae
Rachel Lewis	11	Warrnambool	Rachel Lewis














Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 📖📖📖


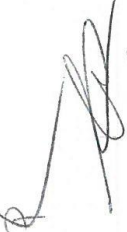


Name: Noah Klift  
Age: 8  
Address: bushfield  
Signature: [Handwritten Signature] PS. I read lots and lots of books!



Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🌨️🌨️🌨️

Name:	Age:	Address:	Signature:
Elisia Nichol	33	25 Gladstone St.	
Rebecca Burchell	35	27 Mickle cres	
MARION SIMONDS	21	176 THOR ST, WBOOL	
Alice Richardson	40	5/30 Riverview Tce	
Sam Morley	42	5 Dooling Wood	
Jane Dowd	41	19 Merrivale Dve	
Michael Dean	38	Battarbes st.	
Jean Bott	85	Allanford	
Ly Crowe	52	Cochington	
Megan Warburton	29	Nulawarrie	
G Kaye	74	18 Hissus	

Please sign this petition to show the Warrnambool City Council that WE need OUR town Library's opening hours extended. We propose Saturday afternoon and Sunday especially during winter! 🇺🇸🇦🇺🇳🇪

Name:	Age:	Address:	Signature:
SARAH-JANE CLAUSEN	30	243 Sims Rd Mailors flat	
Anil Clausen	35	243 Sims Rd Mailors Flat	
CAMPBELL THOMPSON	37	36 THOMPSON ST WBOOC	
EDDA THOMPSON	36	36 THOMPSON ST WBOOC	



---

**5.11 ADVISORY COMMITTEE REPORT****PURPOSE**

***This report contains the record of one Advisory Committee meeting.***

---

**REPORT**

1. **Warrnambool Regional Airport Advisory Committee – refer Appendix B]**  
Monday 13 February 2017

---

**MOVED: CR. NEOH**  
**SECONDED: CR. ANDERSON**

**That the report of the Warrnambool Regional Airport Advisory Committee be received.**

**CARRIED – 7:0**

---

WARRNAMBOOL REGIONAL AIRPORT ADVISORY COMMITTEE (WRAAC) MINUTES			
<b>Date:</b>	Monday 13 February.	Time: 10.30 am.	Location: Aero Club Building at Airport.
<b>Meeting Objective:</b>	Discussion & Advise on Airport Operations and Development, Security, and Emergency Management.		
<b>Attendees:</b>	Stephen Lucas (Chairman) Cr Robert Anderson (Warrnambool City) John Stuart, John Franc.		
<b>WCC Staff in attendance:</b>	Scott Cavanagh (Director City Infrastructure) Ian Couper (Acting Manager Infrastructure Services) Terry O'Sullivan (Airport Reporting Officer, ARO)		
<b>Others in attendance:</b>	Janelle Wight (Warrnambool Aviation) Kevin Hickey (ARO/Groundsman) Steve Nichols (Midfield Group)		
<b>For Information:</b>	Ian Harper (Moyné Shire) HEMS4 Team Manager, Sgt Pat Day (Koroit Police) Troy Bentley (Air Apply) Ken Veal (SWI Air)		
<b>Apologies:</b>	Andrew Paton (Director City Growth) Cr Jim Doukas (Moyné Shire) John Malin.		
No	Discussion	Who	Action
1.	Welcome.	Chair.	
2.	Declaration of conflict of interest.	All.	S Lucas. Hangar Owner / Member Aero Club. J Stuart. Hangar Owner.
3.	Confirmation of minutes of Meeting 15 August 2016.  Minutes were received at Council at its Meeting 5 September 2016.	All.	<b>Moved: J Franc.</b> <b>Seconded: S Lucas.</b> <b>Carried:</b>
4.	Business arising from the Minutes.	All.	Nil.
5.	<b>Airport Development.</b>  Lease agreements for the construction of Hangars in Aviation Business Park have been finalised.          Funding for Agreed Development Priorities.	Scott Cavanagh.	The lease is finalised. Thank you to members who provided comment on the lease which was circulated to members last quarter 2016. First proponent will sign this week with hangar construction to proceed shortly thereafter. No significant increase in the pipeline of enquiries – continue to have communications with up to 4 interested parties.   To be considered as part of Council's annual budget process.

	<p>The Committee and Airport Operations Staff have previously agreed that the highest works priority for the Airport is the construction of 7,300 m<sup>2</sup> additional Apron area to expand the main apron and upgrade secondary taxiway to Code C to improve aircraft flow on and off the main Apron which includes removal / relocation of Hangar 16.</p> <p>Council in ongoing discussion with owner of hangar 16.</p> <p>Airport needs to be promoted and marketed more starting by articles in Aircraft Owners &amp; Pilots Association, AOPA.</p>		<p>Development Priorities to be reviewed at next Meeting.</p> <p>Apron congestion is a real concern at peak times.</p> <p>Council is having a stand at the Avalon Airshow to promote the Airport.</p> <p>Council would be interested in the Committee's ideas on promoting the new aviation precinct.</p>
<b>6.</b>	<p><b>Airport Fees and Charges.</b></p> <p>To be reviewed as part of Council's annual budget process.</p>	Scott Cavanagh.	Council to seek feedback on proposed Fees and Charges from Committee.
<b>7.</b>	<p><b>Operational items for information.</b></p> <p><b>7.1.</b> Ray Oakley, Airports Plus, undertook Safety Inspection of the Airport 14-16 December. This inspection is a requirement of CASA due to the Sharp RPT Service.</p> <p><b>7.2.</b> Pavement failure on Apron recently repaired early February.</p> <p><b>7.3.</b> Runway 13/31, apron, taxiways, etc, swept 14 &amp; 15 July. Western end swept 28 October and 10 November.</p> <p><b>7.4.</b> Runway 04/22 rolled/watered 7 October, 10 November, 22 December, and 23 January.</p> <p><b>7.5.</b> Sewer from Terminal and HEMS4 Facility is now connected to Treatment Plant in Aviation Business Park.</p>	Terry O'Sullivan.	Items noted.



	<p><b>7.6.</b> The Aviation Business Park has created quite a lot of extra work for Airport Staff.</p> <p><b>7.7.</b> A Helicopter parking area marked out east side of Aircraft Tie-Down Area.</p> <p><b>7.8.</b> Woolsthorpe Wind Farm. ARO referred Planning application for increase in height from 135m to 168 m to CASA for consideration.</p> <p><b>7.9.</b> Telstra plan to construct another Communications facility, 55 m tower, to the north of the existing Tower Hill facility, which is 61 m. Council has responded to Moyne requesting the tower be marked and lit.</p> <p><b>7.10.</b> Onion Grass and broadleaf weed sprayed with selective herbicide along with insecticide to control Cockchafer as part of Wildlife Hazard Management 31 May. On Monday 10 October Brad Ness, Agronomist, inspected the sprayed areas with the ARO. Brad very pleased with results which show a significant reduction in the bulb of the Onion Grass which is a food source for Corellas. The plan now is to spray for Onion grass again in the Autumn, then follow up with a complete spray out of grasses, then re seeding the areas.</p>			
8.	<p><b>Airport Security Committee.</b></p> <p><b>8.1.</b> Due to the RPT Service Council is required to have a Security Committee.</p> <p><b>8.2.</b> The Airports Transport Security Program is valid until 2020 however an internal / independent Audit of the Plan be undertaken early 2017.</p> <p><b>8.3.</b> Airport Staff to undertake random audits to ensure persons Airside hold a valid ASIC. The Government is strengthening the ASIC Scheme in 2017. Changes include who can get a card, how you prove your identity, and a new card design.</p> <p><b>8.4.</b> ARO has registered with Office of Transport Security to keep</p>	Terry O'Sullivan.	<p>Noted.</p> <p>ARO to arrange for Audit.</p> <p>Allen's Freight / Toll Couriers audited for ASIC cards 9 February by ARO.</p> <p>Noted.</p>	

	up to date with Transport Security Incidents and trends as changes to the current threat environment.			
<b>9.</b>	<p><b>Airport Emergency Management Committee.</b></p> <p><b>9.1.</b> ARO has reviewed Operations Manual and Emergency Response Plan. The Emergency Plan should be included as an Appendix to Council's Municipal Emergency Plan and circulated to Emergency Services.</p> <p><b>9.2.</b> Site familiarisation evening with CFA, Police, SES, and Council / Airport Staff undertaken Tuesday 25 October. Around 50 personal on site. A lot of interest was expressed in having a full scale exercise.</p> <p><b>9.3.</b> ARO in conjunction with Justin Hinch, Municipal Emergency Resource Officer, has commenced planning for full scale Exercise in 23 May 2017.</p>	Terry O'Sullivan.	<p>Noted.</p> <p>Worthwhile exercise to familiarise services with existing conditions.</p> <p>ARO to continue with arranging exercise. All agreed a good thing to do.</p>	
<b>10.</b>	<p><b>Drag Race Facility / Events.</b></p> <p><b>10.1.</b> Moyne Shire Council rejected the Drag Race Associations bid to develop land north of Koroit for a dedicated Drag Race facility.</p> <p><b>10.2.</b> Association have approval for use of the Airport for Drag Race activity (no Burn Out Competition)</p> <ul style="list-style-type: none"> <li>• Sunday 27 November 2016 – Event cancelled due soft wet ground conditions.</li> <li>• Sunday 15 January 2017.</li> <li>• Sunday 25 February 2017.</li> <li>• Sunday 25 March 2017.</li> </ul> <p><b>10.3.</b> Major items that need to be considered in assessing request are:</p> <ul style="list-style-type: none"> <li>• Security.</li> <li>• RPT Operations.</li> <li>• PAPI not available for night operations evening prior to the event.</li> </ul>	Terry O'Sullivan.	<p>Matter going to VCAT in April.</p> <p>Noted.</p>	

	<ul style="list-style-type: none"> <li>Impact of event / burn out competition on resealed runway.</li> <li>Use by Ambulance Fixed Wing Aircraft for patient transfers</li> <li>Possible use by CFA / DEWLP for fire spotting and/or fire bombing Aircraft.</li> <li>Storage of Drag Race facilities on site infringe the OLS (150 m runway strip for 13/31)</li> <li>Current Planning Permit issued by Moyne Shire allows for 3 events per season.</li> </ul>			
<b>11.</b>	<b>Australian Airports Association, AAA.</b>  11.1. ARO participates in regular teleconferences with other Regional Airports.  11.2. Victorian Division Meeting is at Avalon on 28 February.  11.3. National Conference is in Adelaide in 13-17 November.	Terry O'Sullivan.	Being a Member of AAA keeps Council / Airport Staff up to date with Industry standards and practices.	
<b>12.</b>	<b>General Business.</b>  12.1. Airport Local Law.  12.2. Council review of Advisory Committees.  12.3. Standby Electricity Generator.		To be reviewed. Can't be in conflict with any State or Federal Government Legislation. Copy of local law to be circulated to Committee for review / comment.  Periodic review. Committee to be kept advised.  ARO to check operation.	
<b>13.</b>	<b>Next Meeting.</b>	Chair.	Monday 10 April.	
<b>14.</b>	<b>Close of Meeting.</b>	Chair.	11.15am.	
<b>15.</b>	<b>Copy of Minutes to be forwarded to Moyne Shire Council.</b>	Terry O'Sullivan.	For information.	



## **5.12 ASSEMBLY OF COUNCILLORS RECORDS**

### **PURPOSE**

*The purpose of this report is to provide the record of any assembly of Councillors, which has been held since the last Council Meeting, so that it can be recorded in the Minutes of the formal Council Meeting.*

---

### **BACKGROUND INFORMATION**

The Local Government Act provides a definition of an assembly of Councillors where conflicts of interest must be disclosed.

A meeting will be an assembly of Councillors if it considers matters that are likely to be the subject of a Council decision, or, the exercise of a Council delegation and the meeting is:

1. A planned or scheduled meeting that includes at least half the Councillors (5) and a member of Council staff; or
2. an advisory committee of the Council where one or more Councillors are present.

The requirement for reporting provides increased transparency, particularly the declarations of conflict of interest.

### **REPORT**

Section 80A(2) of the Local Government Act 1989 requires the record of an Assembly of Councillors be reported to the next practicable Ordinary Meeting of Council.

The record of the following Assembly of Councillors is enclosed:-

1. Monday, 13 February 2017 – refer **Appendix A**.
2. Monday, 20 February 2017 – refer **Appendix B**.
3. Thursday 27 February 2017 – refer **Appendix C**.

---

**MOVED: CR. CASSIDY**  
**SECONDED: CR. HERBERT**

**That the information be received.**

**CARRIED – 7:0**

---

**Assembly of Councillors Record**

Purpose of meeting:	Councillor Briefing
Meeting date:	13 February 2017
Start time:	1.00pm
Councillors present:	Cr. K Gaston – Chairperson Cr. R Anderson Cr. S Cassidy Cr. T Herbert Cr. P Hulin Cr. M Neoh Cr. D Owen
Council Officers present:	Bruce Anson, Chief Executive Scott Cavanagh, Director City Infrastructure Vikki King, Director Community Development Andrew Paton, Director City Growth Lisa McLeod, Manager Community Policy & Planning Richard Stone, Manager Capacity Access & Inclusion Russell Lineham, Manager, Recreation & Culture Jenny Emeny, WCC Open Space Planner Fran Fogarty, Service Manager, Community Support Kevin Ryan, Service Manager, Home & Community Care  Ben Storey, Project Manager, City Centre Renewal
Other persons present:	Damon Obst, Outlines Landscape Architecture Consultant Mark Brennan, Executive Officer, SW Primary Care Partnership Cameron Price, South West Primary Care Partnership
Apologies:	Nil.
Conflict of Interest Disclosures:	Nil
Items discussed:	<ul style="list-style-type: none"> <li>• Councillors Induction Community Development Directorate.</li> <li>• City Centre Renewal Project – Introduction and Strategic Direction.</li> </ul>
Other items raised by Councillors & Officers:	<ul style="list-style-type: none"> <li>• Operating items for officer consideration</li> </ul>

The meeting closed at 4:00pm.

**Assembly of Councillors Record**

Purpose of meeting:	Councillor Briefing
Meeting date:	20 February 2017
Start time:	4.00pm
Councillors present:	Cr. K Gaston – Chairperson Cr. R Anderson Cr. S Cassidy Cr. T Herbert Cr. P Hulin Cr. M Neoh Cr. D Owen
Council Officers present:	Bruce Anson, Chief Executive Scott Cavanagh, Director City Infrastructure Vikki King, Director Community Development Andrew Paton, Director City Growth Peter Utri, Director Corporate Strategies
Other persons present:	<ul style="list-style-type: none"> <li>• Andrew Jeffers, Managing Director, Wannon Water</li> <li>• Simon Hermans, General Manager Assets</li> <li>• Kellie King, General Manager Community &amp; Corporate Services</li> </ul>
Apologies:	Nil.
Conflict of Interest Disclosures:	Cr Neoh City Centre renewal Budget Update Cr Herbert Future Urban Growth areas ( land East of Aberline Rd)
Items discussed:	<ul style="list-style-type: none"> <li>• Presentation from Wannon Water regarding South Warrnambool Water Treatment Plant Investment.</li> <li>• City Centre Revitalisation – Budget Update.</li> <li>• Barwon South West Local Coastal Hazard Assessment Project.</li> <li>• Future Urban Growth Area (Land East of Aberline Road).</li> <li>• National Broadband Network (NBN) Works.</li> <li>• Councils and Emergencies Directions Paper.</li> <li>• Emergency Management Victoria – Resilient Recovery Discussion Paper.</li> </ul>
Other items raised by Councillors & Officers:	<ul style="list-style-type: none"> <li>• Operating items for officer consideration</li> </ul>

The meeting closed at 6:35pm.



**Assembly of Councillors Record**

Purpose of meeting:	Councillor Briefing
Meeting date:	27 February 2017
Start time:	1.45pm
Councillors present:	Cr. K Gaston – Chairperson Cr. R Anderson Cr. S Cassidy Cr. T Herbert Cr. P Hulin Cr. M Neoh Cr. D Owen
Council Officers present:	Bruce Anson, Chief Executive. Scott Cavanagh, Director City Infrastructure. Vikki King, Director Community Development. Andrew Paton, Director City Growth. Peter Utri, Director Corporate Strategies. Ben Storey, Project Manager - City Centre Renewal. Glen Reddick Interim Manager Health and Local Laws Mark Mirtschin Coordinator Municipal Depot Operations Justin Hinch Manager Infrastructure Development and projects
Other persons present:	Mick Hassatt, Landscape Architect.
Apologies:	Nil.
Conflict of Interest Disclosures:	Cr Neoh in relation to joint letter about parking in the CBD Cr Hulin in relation to Planning permit PP2016-0201- 94 Merri St
Items discussed:	<ul style="list-style-type: none"> <li>• Liebig Street Walk.</li> <li>• Activities &amp; Initiatives 2016/17 – December Quarter.</li> <li>• Council Advisory Committees – Review of Operations.</li> <li>• Planning Permit Application PP2016-0062 – 4 Koroit Street, Warrnambool.</li> <li>• Planning Permit PP2016-0201 – 94 Merri Street, Warrnambool.</li> <li>• Joint Use Library and Learning Centre Project Control Group – Verbal Report.</li> <li>• City Gateways Project Workshop.</li> <li>• Parking Strategy Implementation.</li> <li>• Response to Joint Letter from CBD Businesses regarding Parking in the CBD.</li> <li>• Petition - For Council to Improve the Amenity of E.J. King Reserve.</li> <li>• Princes Highway West Project – ‘Time For A Plan’.</li> <li>• Horses on Beaches – Verbal Report.</li> <li>• Ziegler Parade Bridge Meeting Update – Verbal Report.</li> <li>• Councillor Only Discussion Issues.</li> </ul>
Other items raised by Councillors & Officers:	<ul style="list-style-type: none"> <li>• Operating items for consideration</li> </ul>

The meeting closed at 7.20pm.

**5.13 MAYORAL & CHIEF EXECUTIVE COUNCIL ACTIVITIES – SUMMARY REPORT****PURPOSE**

*This report summarises Mayoral and Chief Executive Council activities since the last Ordinary Meeting which particularly relate to key social, economic and environmental issues of direct relevance to the Warrnambool community.*

**REPORT**

<b>Date</b>	<b>Location</b>	<b>Function</b>
8 February 2017	Allansford	Mayor : Assisted in the judging of site awards for the Sungold Field Days.
	Warrnambool	Mayor : Attended the Warrnambool and Moyne Youth Achiever Awards presentations.
9 February 2017	Warrnambool	Mayor : Attended and hosted the Great South Coast Councils forum.
	Melbourne	Chief Executive : Attended a meeting of Regional Cities Victoria.
10 February 2017	Hamilton	Mayor and Chief Executive : Attended a meeting of the Great South Coast Board.
	Warrnambool	Mayor : Participated in the opening ceremony of the Warrnambool & District Relay for Life 2017 event.
11 February 2017	Warrnambool	Mayor : Attended the 69 <sup>th</sup> Annual Handover dinner of the Warrnambool Legacy Club.
14 February 2017	Warrnambool	Mayor : Hosted the welcome to Deakin Medical School students for 2017.
18 February 2017	Warrnambool	Mayor : Attended the South C Dragons official boat blessing ceremony. Mayor : Attended the Disabled Surfers Association surfing day.
19 February 2017	Warrnambool	Mayor : Assisted with the presentations at the 2017 Shipwreck Coast Fishing Classic.
23 February 2017	Warrnambool	Mayor : Attended the Geelong Football Club Community Camp welcome to Warrnambool.
	Terang	Mayor : Attended a meeting of the Corangamite Regional Library Board.
24 February 2017	Melbourne	Mayor & Cr. Cassidy : Attended a meeting of the Rail Freight Alliance and Port of Melbourne tour. Mayor : Officially Opened the 2017 Sustainability Festival. Mayor : Attended the Premier Speedway Lucas Oil Speedcar Championships.
25 February 2017	Warrnambool	Mayor : Attended the Tarer Concert held at the Lighthouse Theatre.

**MOVED: CR. NEOH**  
**SECONDED: CR. OWEN**

**That this report be received.**

**CARRIED – 7:0**

**6. PUBLIC QUESTION TIME**

Nil.

**7. CLOSE OF MEETING**

The meeting closed at 6.45pm.

**CHAIRMAN**

**I certify that these minutes were confirmed at a subsequent meeting of Council**

.....  
**CR KYLIE GASTON  
MAYOR**